

CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
info@ci.ham-lake.mn.us

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, AUGUST 10, 2026

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: July 27, 2026

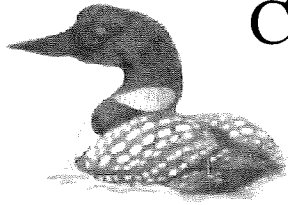
PUBLIC HEARING: None

NEW BUSINESS:

1. Coon Creek Watershed District (CCWD), located at 13632 Van Buren Street NE (Lot 3, Block 1, Majestic View) requesting Commercial Site Plan approval for a 5,244 square foot parking lot expansion.

COMMISSION BUSINESS:

1. City Council Update



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CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, JULY 27, 2026

The Ham Lake Planning Commission met for its regular meeting on Monday, July 27, 2026, in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Dave Ringler, Jeff Entsminger, Lorrie Albers, Michael Frid, and Erin Dixon

MEMBERS ABSENT: Commissioner Kyle Lejonvarn

OTHERS PRESENT: City Planner, Matt Holzworth and City Engineer, David Krugler

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Dixon, seconded by Entsminger, to approve the minutes of the May 26, 2026 Planning Commission meeting as written. All present in favor, motion carried.

PUBLIC HEARING: - None

NEW BUSINESS:

Harlan Worsham of Solid Rock Construction, requesting Commercial Site Plan Approval to construct Solid Rock Construction at 14376 Johnson Street NE.

Commissioner Dixon completed the inspection, a copy of which is on file. Upon inspection of the property, Commissioner Dixon stated that she reviewed the proposed landscaping plan and researched the proposed trees to see how large they will be once at mature height. Commissioner Dixon stated that the proposed trees will suffice for sufficient screening and landscaping requirements. Dixon stated that there are no residential properties behind them currently. Commissioner Dixon mentions the billboard on the adjacent property. Chair Pogalz and Commissioner Dixon discuss the billboard and conclude that it is up to the City Council to facilitate a discussion at this time. **Motion by Dixon, seconded by Frid, to recommend approval of the Commercial Site Plan for Solid Rock Construction to construct a 14,741 square-foot building on 14376 Johnson Street NE, subject to meeting the requirements of the**

City Engineer and Building and Zoning Official and all City, County and State requirements. All present in favor, motion carried. *This application will be placed on the City Council's Monday, August 3, 2026 agenda.*

COMMISSION BUSINESS:

City Council Update

City Planner Holzworth stated that there were no new items from the Planning Commissions previous meeting that needed to be approved by the City Council. A Planning Commissioner will not be attending the City Council's August 3, 2026, meeting.

ADJOURNMENT:

Motion by Dixon, seconded by Entsminger, to adjourn the Planning Commission meeting at 6:13 p.m. All present in favor, motion carried.

Matt Holzworth, City Planner



CITY OF HAM LAKE

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Ham Lake, MN 55304

(763) 434-9555 info@hamlakemn.gov

PLANNING REQUEST

Date of Application 8/6/26

Date of Receipt X

Receipt # X

Amount \$ X

Meeting Appearance Dates:

Planning Commission 8/10/2026 City Council

Please check request(s):

- | | |
|---|--|
| ☐ Metes & Bounds Conveyance \$500.00 | ☐ Commercial Building Permit \$1,000.00 |
| ☐ Sketch Plan \$700.00 per lot/unit | ☐ Certificate of Occupancy |
| ☐ Preliminary Plat Approval* | ☐ Home Occupation Permit \$200.00 |
| ☐ Final Plat Approval | ☐ Special Home Occupation Permit \$400.00 |
| ☐ Rezoning* \$400.00 | ☐ Conditional Use Permit* New or Amend.\$1,000.00 |
| ☐ Multiple Dog License* \$400.00 | ☒ Other <u>Parking Lot Expansion</u> |

***NOTE: Advisory Signage is required for land use alterations and future road connections.
This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: Coon Creek Watershed District

Address/Location of property: 13632 Van Buren St NE, Ham Lake, MN 55304

Legal Description of property: LOT 3 BLK 1 MAJESTIC VIEW, SUBJ TO EASE OF REC

PIN # 31-32-23-41-0034 Current Zoning PUD CD-3 Proposed Zoning PUD CD-3

Notes:

Applicant's Name: Tyler Thompson

Business Name: Coon Creek Watershed District

Address 13632 Van Buren St NE

City Ham Lake State MN Zip Code 55304

Phone 763-258-7659 Email

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature]

DATE 8/6/26

- FOR STAFF USE ONLY -

Action By: Planning Commission

Property Taxes Current YES NO

City Council

Any Active/Deferred Assessments YES NO

**NOTICE TO ALL APPLICANTS FOR MUNICIPAL
PERMITS, LICENSES,
OR OTHER MUNICIPAL ACTION**

1. *If you are requesting municipal action on any request for any of the above, you will be required to furnish certain information about yourself, the project you are involved in, or other matters pertaining to the subject. Some of the information you are asked to provide is classified by state law as either private or confidential. Private data is information which generally cannot be given to the public but can be given to the subject of the data. Confidential data is information which generally cannot be given to either the public or the subject of the data.*
2. *The purpose of this information is to enable the City Staff, Commissions, Council or other government agencies to evaluate relevant factors in considering your request. You are not legally required to provide this information. If you do not provide the requested information, the City may not act upon your request.*
3. *The information you supply will be public and available to any entity requesting to inspect the information.*

**DATA PRACTICES ADVISORY
TENNESSEN WARNING
REQUIRED BY MINNESOTA STATUTES CHAPTER 13.04**

SIGNED BY 

COMPANY/TITLE: Caon Creek Watershed District - Adam McCall

DATE: 8/6/26

**CITY OF HAM LAKE
ACKNOWLEDGMENT OF RESPONSIBILITY
TO REIMBURSE EXPENSES**

The undersigned, Tyler Thompson, CCWD, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

Type of Application

acknowledges that the sum of \$_____, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

Applicant Signature  Dated 8/6/26

The following statement must be signed if the applicant is not the property owner:

Tyler Thompson, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

I am aware of the application being submitted by the applicant and approve the request.

Property Owner Signature  Dated 8/6/26

Memorandum

Date: August 6, 2026
To: Planning Commissioners
From: David A. Krugler, City Engineer 
Subject: Coon Creek Watershed Parking Addition

Introduction:

The proposed 5,244 square foot parking addition to the Coon Creek Watershed building is located on the 3.22-acre Lot 3, Block 1 of the 2001 plat of Majestic View at 13632 Van Buren Street.

Discussion:

The applicant has submitted revised plans, dated July 27, addressing the previous review comments. The revised submittal includes the Cover Sheet, General Notes, Existing Conditions and Removals Plan, Erosion Control Plan, Site Plan, Grading Plan, Restoration Plan, and Details. Also attached for reference are a 100-scale aerial map, a 100-scale zoning map, and a 400-scale half-section map.

The proposed parking lot expansion will incorporate permeable pavement, eliminating any increase in stormwater runoff resulting from the additional paved surface. Due to the limited size of the project and the use of permeable pavement, neither a Coon Creek Watershed District permit nor an NPDES Construction Stormwater permit is required.

Recommendation:

It is recommended that the plans for the parking addition to Coon Creek Watershed building be recommended for approval.

5-00

1. PROJECT MANUAL XXXX
2. MINNESOTA DEPARTMENT OF TRANSPORTATION (MN/DOT) "STANDARD SPECIFICATIONS FOR CONSTRUCTION" LATEST EDITION AND SUPPLEMENTS.
3. CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATIONS FOR UTILITIES LATEST EDITION
4. APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES

1. UNLESS REVISION BLOCK STATES "ISSUED FOR CONSTRUCTION" THE PLAN SET IS NOT CERTIFIED FOR CONSTRUCTION.
2. EXISTING CONDITIONS SHOWN ARE FROM UDAR DATA AND SURVEY COMPLETED BY THE CLIENT, CCWD, JULY 24, 2024. EXISTING FEATURES MAY NOT BE EXACT TO THEIR LOCATION. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CONDITIONS OF THE SITE AND MUST IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES OR VARIATIONS FROM THE DRAWINGS.
3. QUANTITIES ARE APPROXIMATE AND MAY VARY TO ALLOW COMPLETION OF WORK.
4. WORK AND MATERIALS MUST COMPLY WITH CITY, COUNTY, STATE, AND FEDERAL (INCLUDING OSHA) REGULATIONS AND CODES.
5. CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTORS PERFORMING WORK AT OR NEAR THE SITE.
6. CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS TO ADJACENT PROPERTIES THROUGHOUT CONSTRUCTION.
7. CONTRACTOR SHALL COORDINATE AND MAINTAIN MAIL, GARBAGE, AND RECYCLING SERVICES TO PROPERTIES THROUGHOUT CONSTRUCTION.
8. CONTRACTOR SHALL COORDINATE AND MAINTAIN STORMWATER DRAINAGE CONVEYANCE THROUGHOUT CONSTRUCTION (BOTH PIPED AND OVERLAND FLOW).
9. CONTRACTOR SHALL COORDINATE AND MAINTAIN WATER AND SANITARY FLOW TO AND FROM PROPERTIES. PROVIDE BYPASS AND TEMPORARY SYSTEMS, AS NECESSARY.
10. CONTRACTOR SHALL COORDINATE AND MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICE MUST NOT BE INTERRUPTED WITHOUT APPROVAL FROM OWNER, CITY, AND ADJACENT PROPERTIES.
11. CONTRACTOR RESPONSIBLE FOR CONTACTING GOPHER STATE ONE CALL (1-800-252-1166) A MINIMUM OF 48 HOURS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) BEFORE STARTING WORK FOR LOCATIONS OF UNDERGROUND UTILITIES.
12. CONSTRUCTION LIMITS ARE TO PROPERTY LINE UNLESS SHOWN OR NOTED OTHERWISE. CONTRACTOR SHALL RESTRICT CONSTRUCTION ACTIVITIES TO AREAS DESIGNATED ON PLANS WITHIN THE CONSTRUCTION LIMITS.
13. CONTRACTOR SHALL PRESERVE AND PROTECT EXISTING PAVEMENT, SITE FEATURES, UTILITIES, TREES, ETC., UNLESS NOTED OR SHOWN OTHERWISE.
14. CONTRACTOR SHALL PHOTO OR VIDEO DOCUMENT EXISTING CONDITIONS OF TREES AND PLANTINGS, ADJOINING CONSTRUCTION, SURFACES, AND SITE IMPROVEMENTS, ETC. TO REMAIN THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY CONSTRUCTION OPERATIONS. SUBMIT TO ENGINEER AND OWNER BEFORE CONSTRUCTION BEGINS. USE ADEQUATELY DETAILED PHOTOGRAPHS OR VIDEO RECORDINGS. INCLUDE PLANS AND NOTATIONS TO INDICATE SPECIFIC EXISTING DAMAGE CONDITIONS OF ITEMS DESIGNATED TO REMAIN. ANY DAMAGE TO THE EXISTING PAVEMENT, CURBING, STRIPING, OR OTHER SITE FEATURE TO REMAIN MUST BE REPLACED BY THE CONTRACTOR, TO OWNER'S SATISFACTION, AT NO ADDITIONAL COST TO THE OWNER.
15. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING CONSTRUCTION AND WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES.
16. CONTRACTOR MUST IMMEDIATELY NOTIFY THE OWNER AND ENGINEER IN WRITING OF DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER. FAILURE TO NOTIFY OWNER AND ENGINEER OF AN IDENTIFIABLE CONFLICT BEFORE PROCEEDING WITH INSTALLATION RELIEVES OWNER AND ENGINEER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
17. CONTRACTOR SHALL HAVE ONE COPY OF EACH REQUIRED CONSTRUCTION PERMIT AND ONE COPY OF THE MOST CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS (INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT, SPECIAL CONDITIONS AND PROVISIONS, ETC.) AVAILABLE AT THE PROJECT SITE AT ALL TIMES AS APPLICABLE.
18. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR IMPLEMENTATION AND ENFORCEMENT OF SAFE WORK PRACTICES, INCLUDING BUT NOT LIMITED TO PERSONNEL MONITORING, USE OF TRENCHING, SHEETING, AND SHORING, SCAFFOLDING, MATERIALS HANDLING AND DRILLING, OPERATION OF EQUIPMENT, AND SAFETY OF PUBLIC DURING PROGRESS OF WORK.
19. CONTRACTOR SHALL PLAN FOR AND ENSURE PERSONNEL COMPLY WITH PROVISIONS OF OSHA SAFETY AND HEALTH STANDARDS (29 CFR 1910) AND GENERAL CONSTRUCTION STANDARDS (29 CFR 1926) AS APPROPRIATE.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH WORK. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS FOR SAFETY OF EMPLOYEES ON PROJECT SITE AND OTHER PERSONS AND ORGANIZATIONS WHO MAY BE AFFECTED BY THE PROJECT. CONTRACTOR'S DUTIES AND RESPONSIBILITIES FOR SAFETY IN CONNECTION WITH WORK SHALL CONTINUE UNTIL SUCH TIME AS ALL WORK IS COMPLETED, AND ENGINEER HAS ISSUED NOTICE TO CONTRACTOR THAT WORK IS COMPLETE.
21. HAZARDOUS MATERIALS, INCLUDING BUT NOT LIMITED TO OIL, GASOLINE, PAINT AND OTHER HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED BY THE CONTRACTOR, INCLUDING SECONDARY CONTAINMENTS, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MCPA REGULATIONS. CONTRACTOR SHALL REMOVE SPILL OF FUELS, OILS, OR OTHER CHEMICALS IMMEDIATELY UPON DETECTION.
22. CONTRACTOR SHALL DOCUMENT AND MAINTAIN AS-BUILT INFORMATION AS CONSTRUCTION PROGRESSES AND IS RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER AS REQUIRED BY JURISDICTIONAL AGENCIES FOR CERTIFICATION. ALL AS-BUILT DATA MUST BE COLLECTED BY A STATE OF MN PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED AND PAID FOR BY THE CONTRACTOR.
23. NO IN-CHANNEL WORK MAY BE COMPLETED BETWEEN MARCH 15 THROUGH JUNE 15 TO ALLOW FOR FISH SPAWNING AND MIGRATION PER THE MNDNR WORK EXCLUSION DATES. OFF-CHANNEL, EARTHWORK MUST BE COMPLETED BY MAY 30. NO EARTHWORK MAY BE COMPLETED BETWEEN MAY 30 THROUGH NOVEMBER 15 TO COMPLY WITH MNDNR PERMIT REQUIREMENTS FOR BLANDING'S TURTLE AND FEDERAL REQUIREMENTS FOR LONG-EARED BATS.

1. THE HORIZONTAL CONTROL FOR THIS PLAN IS **NAD83 ANOKA COUNTY COORDINATES SYSTEM US FOOT.**
2. THE VERTICAL CONTROL FOR THIS PLAN IS **NAVD88.**

1. SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
2. CONTRACTOR SHALL OBTAIN PERMITS REQUIRED FOR DEMOLITION, REMOVAL AND DISPOSAL.
3. CONTRACTOR SHALL REVIEW FEATURES NOT SPECIFICALLY IDENTIFIED ON PLAN FOR SALVAGE OR REMOVAL THAT CONFLICT WITH CONSTRUCTION WITH THE ENGINEER.
4. MATERIALS REMOVED/DEMOLISHED BY CONTRACTOR BECOME PROPERTY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL LOAD AND HAUL MATERIAL OFF-SITE AND PROPERLY DISPOSE OF MATERIALS IN ACCORDANCE WITH APPLICABLE REGULATIONS. CONTRACTOR MUST LEAVE THE SITE IN A CONDITION TO THE SATISFACTION OF THE OWNER AND ENGINEER.
5. IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR MUST CONTACT THE ENGINEER IMMEDIATELY. ALL CONTAINERS OR TANKS MUST BE DISPOSED OF PROPERLY AT A REGULATED/PERMITTED FACILITY.
6. CONTRACTOR SHALL REVIEW ALL TREE REMOVALS WITH THE OWNER AND ENGINEER PRIOR TO REMOVAL OPERATIONS.
7. CLEARING AND GRUBBING OPERATIONS MUST COMPLY WITH THE FOLLOWING:
 - A. PROTECT ALL TREES AND PLANTS NOT DESIGNATED FOR REMOVAL EXCEPT IF PRIOR APPROVAL HAS BEEN PROVIDED BY THE LANDOWNER AND THE OWNER/ENGINEER.
 - B. CONDUCT OPERATIONS IN SUCH A MANNER THAT DOES NOT DAMAGE PROTECTED TREES AND VEGETATION.
 - C. CUT, REMOVE, AND DISPOSE OF TREES, BRUSH, SHRUBS, WINDFALLS, LOGS, STUMPS, ROOTS, FALLEN TIMBER, AND OTHER VEGETATION.
 - D. BACKFILL DEPRESSIONS WITH NATIVE SOILS OR SUITABLE FILL MATERIAL AS REQUIRED BY DESIGN AND COMPACT BACKFILL AS DIRECTED.
 - E. DISPOSE OF DEBRIS IN ACCORDANCE WITH APPLICABLE REGULATIONS.
 - F. CONSIDER BENEFICIAL USE DESIGNATIONS FOR UNADULTERATED WOOD, WOOD CHIPS, BARK AND SAWDUST.
 - G. NO BURYING OF CLEARED AND GRUBBED WASTE WITHIN THE CONSTRUCTION LIMITS.

1. SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION
2. CONTRACTOR SHALL COORDINATE AS NECESSARY WITH XXXX

4. SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE REQUIRED NPDES PERMIT FROM MPCA.
6. **CONTRACTOR SHALL CONFORM TO AND CONDUCT INSPECTIONS IN ACCORDANCE WITH THE NPDES PERMIT REQUIREMENTS.**
7. BEFORE SITE DISTURBANCE AND AS REQUIRED AS CONSTRUCTION PROGRESSES, CONTRACTOR SHALL INSTALL, MAINTAIN, REPAIR, AND REPLACE EROSION PREVENTION MEASURES AND SEDIMENT CONTROL DEVICES (INLET PROTECTION, CONSTRUCTION ENTRANCE, SILT FENCE, EROSION CONTROL BLANKET, ETC.) IN ACCORDANCE WITH THE NPDES PERMIT, **AND CITY, STATE, AND WATERSHED DISTRICT PERMITS.**
8. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DEPENDING ON SITE CONDITIONS DURING CONSTRUCTION. COORDINATE WITH ENGINEER.
9. CONTRACTOR SHALL STABILIZE ALL EXPOSED SOIL AREAS WITHIN THE CONSTRUCTION LIMITS WITHIN **7 DAYS** AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE THAT HAS TEMPORARILY (WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS) OR PERMANENTLY CEASED. STABILIZATION MUST BE INITIATED PROMPTLY.
10. CONTRACTOR SHALL REMOVE ANY SEDIMENT THAT HAS TRACKED ONTO PAVED SURFACES BOTH ON AND OFFSITE WITHIN 24 HOURS AND AS DIRECTED BY **CITY, OWNER, AND/OR ENGINEER**. SWEEP STREET IN ACCORDANCE WITH **CITY AND NPDES PERMIT REQUIREMENTS.**
11. CONTRACTOR SHALL MINIMIZE DUST FROM CONSTRUCTION OPERATIONS BY PROVIDING WATER OR OTHER APPROVED METHOD ON A DAILY BASIS.
12. CONTRACTOR SHALL PHASE GRADING WORK TO MINIMIZE THE DURATION THAT DISTURBED SOIL IS EXPOSED.
13. CONTRACTOR SHALL PROVIDE/INSTALL DIVERSION DITCHES, SEDIMENT BASINS, AND OTHER EROSION PROTECTION/SEDIMENT CONTROL MEASURES AS NECESSARY DURING INTERIM PROJECT CONDITIONS (NOT SHOWN ON PLANS) TO MANAGE/DIVERT STORM WATER AWAY FROM SITE FEATURES AND CONTROL EROSION/SEDIMENT. CONTRACTOR SHALL ADJUST MEASURES AS NECESSARY THROUGHOUT PROJECT PHASING.
14. CONTRACTOR SHALL NOT STOCKPILE SOILS. ALL SOILS SHALL BE HAULED OFFSITE UPON EXCAVATION.
15. CONTRACTOR SHALL REMOVE ALL EROSION CONTROL MEASURES AFTER SITE HAS BEEN STABILIZED AND VEGETATION HAS REACHED 70% ESTABLISHMENT AS DIRECTED BY ENGINEER. EROSION CONTROL MEASURES USED FOR CONSTRUCTION MUST NOT BE REMOVED UNTIL AUTHORIZED BY OWNER OR ENGINEER.
16. SOIL PREPARATION: PREPARE SOIL IN ACCORDANCE WITH THE PROJECT MANUAL.
17. PROJECT SITE IS LOCATED WITHIN A FLOOD HAZARD ZONE AND THEREFORE, NO STOCKPILING SHALL BE ALLOWED ONSITE WITHIN THE FLOODPLAIN CORRIDOR. ALL STOCKPILING SHALL OCCUR WITHIN THE PARKING LOT AS DESIGNATED ON THE PLANS.

1. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING TREES THAT ARE NOT TO BE REMOVED. A PROTECTIVE AREA OF 5 FEET OUTSIDE OF THE DRIP LINE OR AT THE PROJECT LIMITS WHICHEVER IS GREATER, SHALL BE ESTABLISHED. DO NOT PERFORM ACTIONS WITHIN THE PROTECTED AREA THAT MAY HARM THE TREE AND COMPACT THE SOIL. INCLUDING EXCAVATION, STORING MATERIALS, PARKING AND TRAFFIC DURING CONSTRUCTION WHERE CONSTRUCTION REQUIRES DISTURBANCE WITHIN THE PROTECTED AREAS, DISTURB THE ROOT ZONE AS LITTLE AS POSSIBLE.
2. TREE PROTECTION MEASURES/FENCING MUST BE IN PLACE PRIOR TO BEGINNING CONSTRUCTION AND MUST BE REVIEWED BY OWNER AND ENGINEER BEFORE STARTING CONSTRUCTION.
3. WHEN TREE ROOTS ARE ENCOUNTERED THAT MUST BE REMOVED, CONTRACTOR SHALL CUT ROOTS CLEANLY AS FAR FROM THE TREE AS POSSIBLE AND IMMEDIATELY WATER AND BACKFILL OVER THE ROOTS TO PREVENT DRYING.
4. ACCESS PATH CAN BE SHIFTED FROM PROPOSED LOCATION TO MINIMIZE DISTURBANCE AND AVOID TREE REMOVALS UNLESS REMOVALS ARE APPROVED BY THE LANDOWNER AND THE OWNER/ENGINEER.
5. PRIOR TO CONSTRUCTION, THE OWNER/ENGINEER WILL DESIGNATE AN AREA FOR CONTRACTOR TO HARVEST TREES FROM FOR THE WOOD TOE WITH ROOT WADS.
6. FOR TREES DESIGNATED FOR WOOD TOE WITH ROOT WADS, ENSURE PRECAUTIONS ARE TAKEN TO PROTECT THE INTEGRITY OF THE ROOT WAD.

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WARNING:

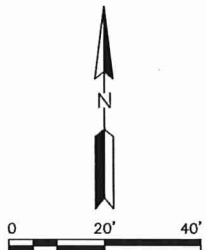
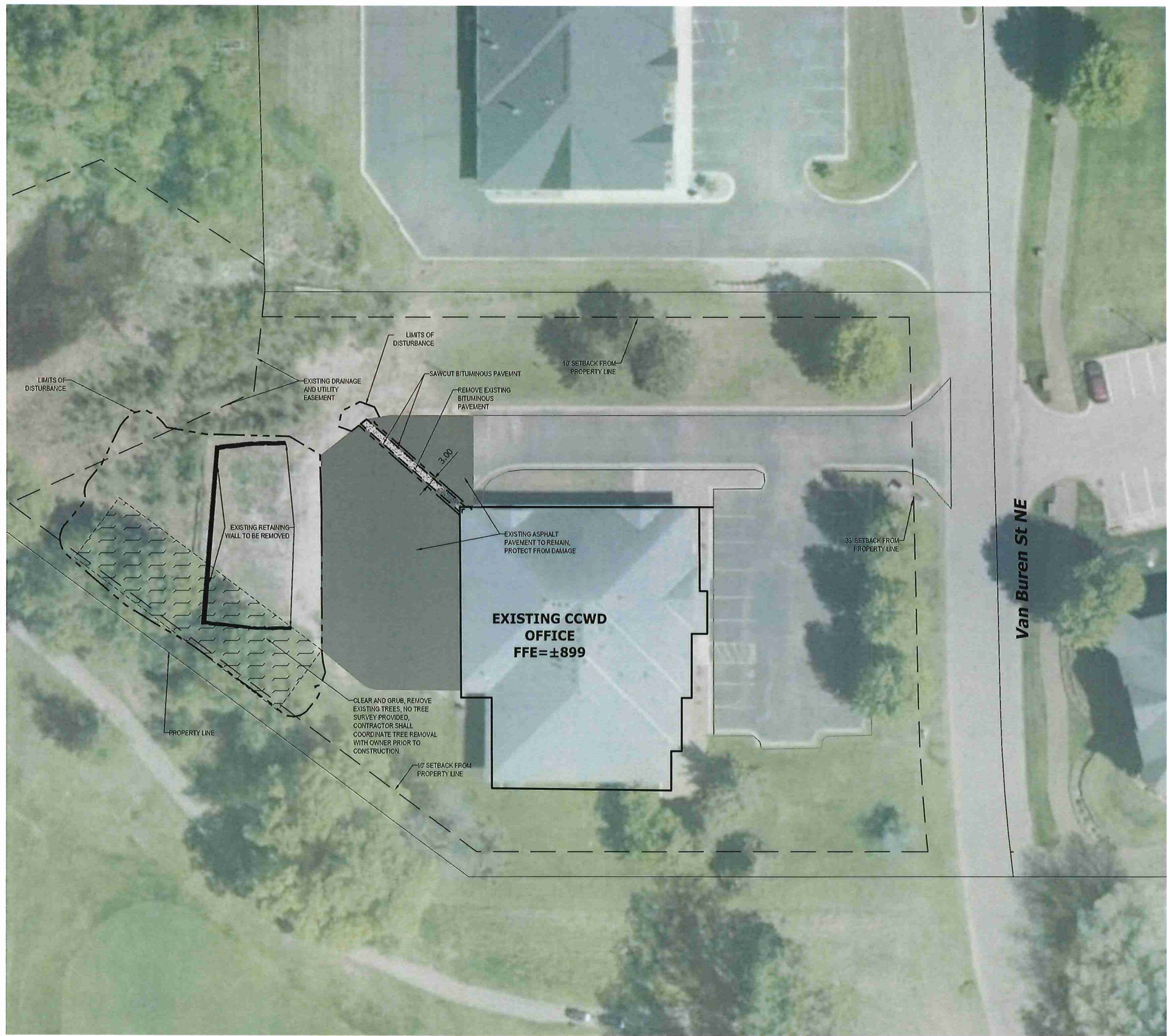
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG

GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166



	LIMITS OF DISTURBANCE
	DRAINAGE EASEMENT
	PARCEL BOUNDARIES
	SAWCUT PAVEMENT
	CLEAR & GRUB, REMOVE TREES, FIELD VERIFY W/OWNER
	REMOVE EXISTING PAVEMENT
	EXISTING PAVEMENT

**CONTRACTOR SHALL FIELD VERIFY LOCATIONS
OF EXISTING UTILITIES PRIOR TO
CONSTRUCTION, NO SURVEY OR UTILITY
LOCATE PROVIDED**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

CALL BEFORE YOU DIG

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166

CLIENT



13632 VAN BUREN ST NE, HAM
LAKE MN

LOT

HAM LAKE
ANOKA COUNTY, MINNESOTA

[illegible]

CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

LICENSE NO. 56108

PROJECT NO.:	227707625
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DWN BY: CHK'D BY: APP'D BY:

ISSUE DATE:	6/24/2026
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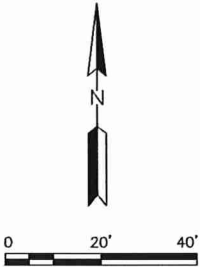
ISSUE NO. 3

SHEET TITLE:
EXISTING CONDITIONS
AND REMOVALS PLAN

SHEET NO.:
C-100

6/24/2026 3:48:22 PM

\\US0291-LPFFES30\shared_projects\227707625\technical\CCWD Office - Permeable Paver Addition\drainings DESIGN_1_CADD PLANS\Sheet\227707625-CC-200 EROSION CONTROL.dwg



LEGEND

- LIMITS OF DISTURBANCE
- - - DRAINAGE EASEMENT
- PARCEL BOUNDARIES
- SD SILT FENCE
- PERMANENT STABILIZATION
- ROCK CONSTRUCTION ENTRANCE
- EXISTING PAVEMENT

CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION, NO SURVEY OR UTILITY LOCATE PROVIDED

NOTES

- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS, OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER, OR AS SITE CONDITIONS DICTATE.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DEPENDING ON SITE CONDITIONS DURING CONSTRUCTION. COORDINATE WITH ENGINEER.
- ALL EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCEMENT OF WORK, MAINTAINED THROUGHOUT DURATION OF PROJECT, AND REMOVED UPON ESTABLISHMENT OF FINAL STABILIZATION AS DIRECTED BY ENGINEER. EROSION CONTROL MEASURES USED FOR CONSTRUCTION SHALL NOT BE REMOVED UNTIL AUTHORIZED BY OWNER OR ENGINEER.
- MINIMIZE DUST FROM CONSTRUCTION OPERATIONS BY PROVIDING WATER OR OTHER APPROVED METHOD ON A DAILY BASIS (INCIDENTAL).
- FINAL STABILIZATION TO BE COMPLETED WITHIN ONE WEEK (7 DAYS) OF SITE GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, OR ROCK BASE, AS DETAILED ON THE CONSTRUCTION DOCUMENTS.
- TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
- SOIL STOCKPILES SHALL BE FITTED WITH SEDIMENT TRAPPING MEASURES AND STABILIZED WITHIN 7 DAYS OF INACTIVITY.
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WARNING:

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CALL BEFORE YOU DIG

GOPHER STATE ONE CALL

TWIN CITY AREA 651-454-0002
TOLL FREE 1-800-252-1168



733 MARQUETTE AVENUE SUITE 1000
MINNEAPOLIS MN 55402-2314
PHONE (612) 712-2000
WWW.STANTEC.COM

CLIENT



COON CREEK
WATERSHED
DISTRICT

13632 VAN BUREN ST NE, HAM
LAKE MN

COON CREEK WATERSHED PARKING

LOT

HAM LAKE
ANOKA COUNTY, MINNESOTA

PROJECT TITLE

ISSUE NO.	DESCRIPTION	DATE
1	ISSUED FOR CLIENT REVIEW	1/22/2026
2	ISSUED FOR CITY REVIEW	1/30/2026
3	ISSUED FOR CITY REVIEW	6/24/2026

CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

LICENSE NO. 56108
DATE

PROJECT NO. 227707625

OWNED BY ECR
CHKD BY BRJ
APPD BY EAW

ISSUE DATE: 6/24/2026

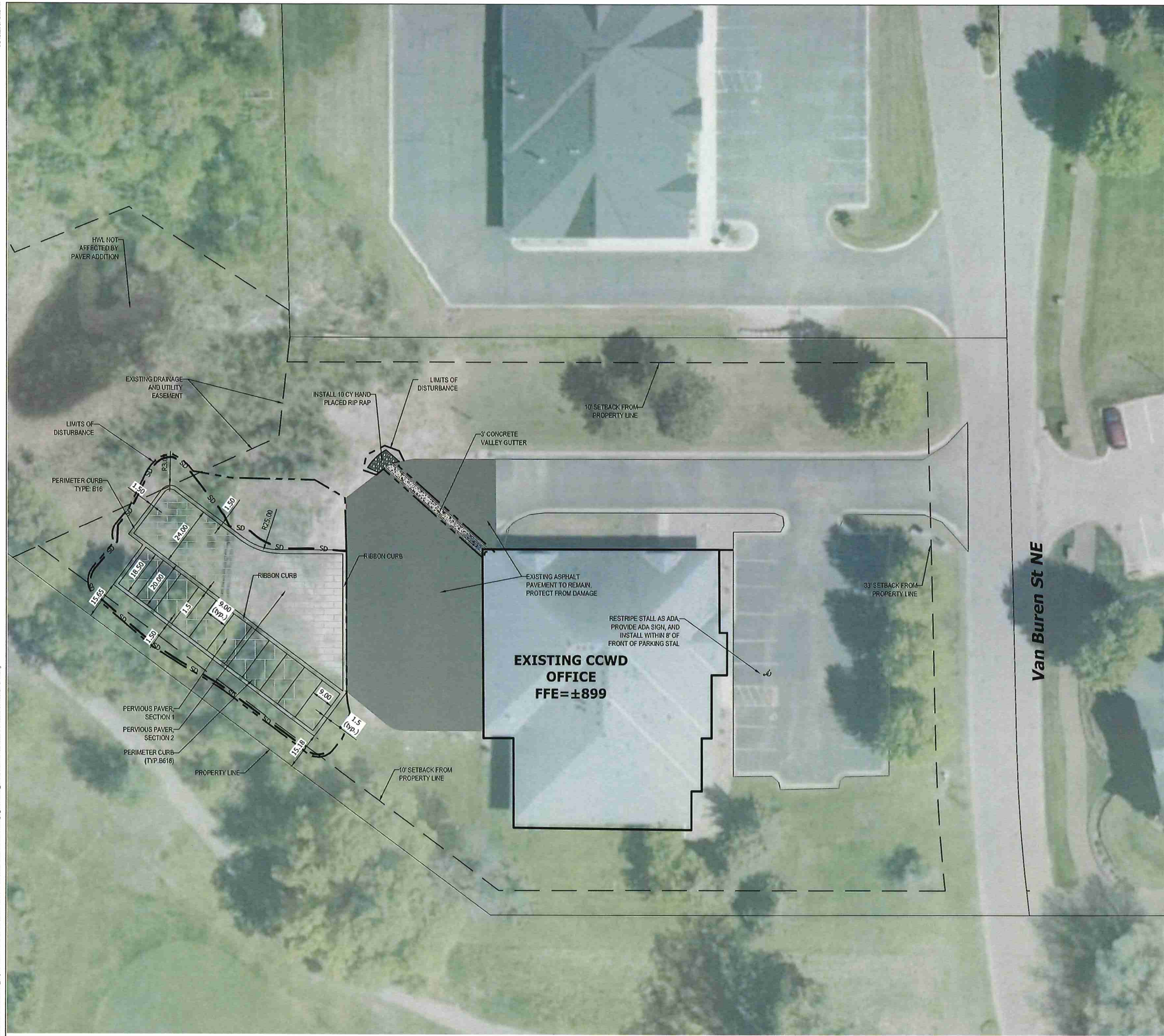
ISSUE NO. 3

SHEET TITLE

EROSION CONTROL PLAN

SHEET NO.

C-200



LEGEND

- | | |
|---|---------------------------------|
|  | LIMITS OF DISTURBANCE |
|  | DRAINAGE EASEMENT |
|  | PARCEL BOUNDARIES |
|  | PERVIOUS PAVER, SECTION 1 |
|  | PERVIOUS PAVER, SECTION 2 |
|  | CONCRETE PAVEMENT / RIBBON CURB |
|  | EXISTING PAVEMENT |

**CONTRACTOR SHALL FIELD VERIFY LOCATIONS
OF EXISTING UTILITIES PRIOR TO
CONSTRUCTION, NO SURVEY OR UTILITY
LOCATE PROVIDED**



733 MARQUETTE AVENUE SUITE 1000
MINNEAPOLIS MN 55402-2314
PHONE: (612) 712-2000
WWW.STANTEC.COM

CLIENT:



COON CREEK
WATERSHED
DISTRICT

13632 VAN BUREN ST NE, HAM
LAKE MN

COON CREEK WATERSHED PARKING

LOT

HAM LAKE
ANOKA COUNTY, MINNESOTA

DATE	DESCRIPTION	ISSUE NO.
1/27/2026	ISSUED FOR CLIENT REVIEW	1
1/30/2026	ISSUED FOR CITY REVIEW	2
6/24/2026	ISSUED FOR CITY REVIEW	3

CERTIFICATION

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LICENSE NO.: 56108
DATE: _____

PROJECT NO.	227707625
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DWI BY ECR	CHKD BY: BRJ	APPD BY EAW
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ISSUE DATE:	6/24/2020
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ISSUE NO.: 3

SHEET TITLE:

SITE PLAN

SHEET NO:

C-300

WARNING:

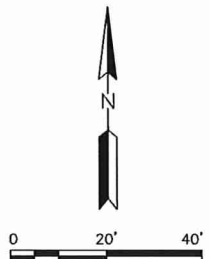
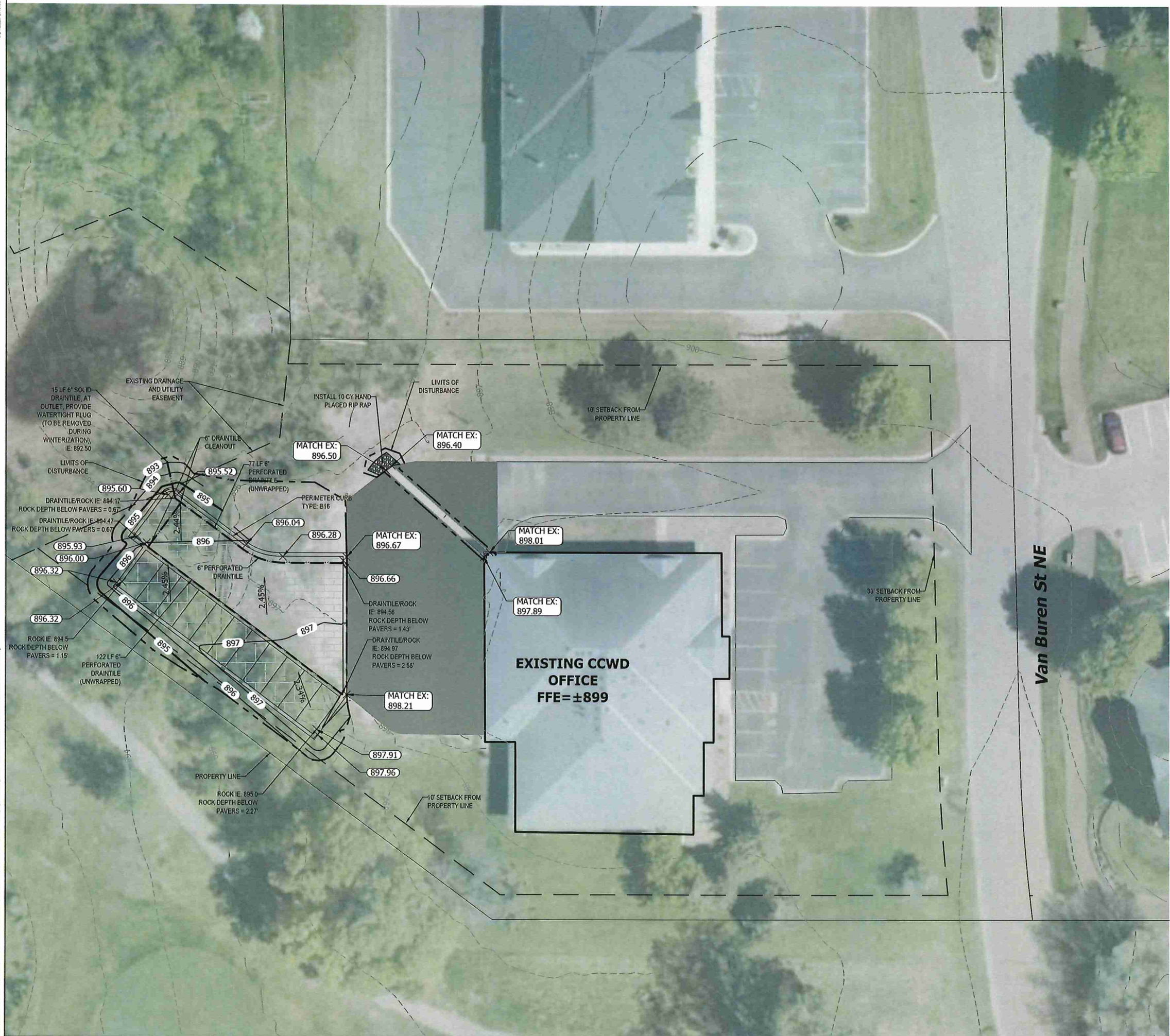
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CALL BEFORE YOU DIG

GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166



The diagram illustrates a road cross-section with the following features and elevations:

- LIMITS OF DISTURBANCE**: Indicated by a dashed line at the top.
- DRAINAGE EASEMENT**: Indicated by a solid line below the disturbance limit.
- PARCEL BOUNDARIES**: Indicated by a solid line below the drainage easement.
- EXISTING CONTOUR**: Indicated by a dashed line with an elevation of **901**.
- PROPOSED CONTOUR**: Indicated by a solid line with an elevation of **901**.
- PROPOSED STORM / DRAIN TILE**: Indicated by a dashed line below the proposed contour.
- PROPOSED SPOT ELEVATION**: A circled value of **896.68** with a cross (X) next to it.
- PROPOSED SURFACE SLOPE**: A boxed value of **2.45%**.
- EXISTING PAVEMENT**: Indicated by a solid line at the bottom.

**CONTRACTOR SHALL FIELD VERIFY LOCATIONS
OF EXISTING UTILITIES PRIOR TO
CONSTRUCTION, NO SURVEY OR UTILITY
LOCATE PROVIDED**



CLIENT



COON CREEK
WATERSHED
DISTRICT
13632 VAN BUREN ST NE, HAM
LAKE MN

COON CREEK WATERSHED PARKING
LOT
HAM LAKE
ANOKA COUNTY, MINNESOTA

[illegible]

CERTIFICATION

I HEREBY CERTIFY THAT THIS FULL SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

LICENSE NO. 56108

PROJECT NO.:	227707625
--------------	-----------

DWN BY: ECB	CHK'D BY: SBI	APP'D BY: EAM
----------------	------------------	------------------

ISSUE DATE: 6/24/2026

ISSUE NO.: 3

GRADING PLAN

SHEET NO

C-400

WARNING:

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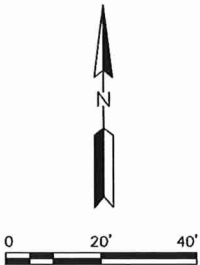
CALL BEFORE YOU DIG

GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166

6/24/2025 3:48:01 PM

\\US0201-PPES01\shared_projects\227707625\technical\CCWD Office - Pinnable Plan\addendum\227707625-CC-000 RESTORATION PLAN.dwg



LEGEND

- LIMITS OF DISTURBANCE
- DRAINAGE EASEMENT
- PARCEL BOUNDARIES
- EROSION CONTROL BLANKET AND SEEDING
- EXISTING PAVEMENT

CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION, NO SURVEY OR UTILITY LOCATE PROVIDED

NOTES

- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS, OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER, OR AS SITE CONDITIONS DICTATE.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DEPENDING ON SITE CONDITIONS DURING CONSTRUCTION. COORDINATE WITH ENGINEER.
- ALL EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCEMENT OF WORK, MAINTAINED THROUGHOUT DURATION OF PROJECT, AND REMOVED UPON ESTABLISHMENT OF FINAL STABILIZATION AS DIRECTED BY ENGINEER. EROSION CONTROL MEASURES USED FOR CONSTRUCTION SHALL NOT BE REMOVED UNTIL AUTHORIZED BY OWNER OR ENGINEER.
- MINIMIZE DUST FROM CONSTRUCTION OPERATIONS BY PROVIDING WATER OR OTHER APPROVED METHOD ON A DAILY BASIS (INCIDENTAL).
- FINAL STABILIZATION TO BE COMPLETED WITHIN ONE WEEK (7 DAYS) OF SITE GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, OR ROCK BASE, AS DETAILED ON THE CONSTRUCTION DOCUMENTS.
- TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
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GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166



733 MARQUETTE AVENUE SUITE 1000
MINNEAPOLIS MN 55402-2314
PHONE (612) 712-2000
WWW.STANTEC.COM

CLIENT



COON CREEK
WATERSHED
DISTRICT
13632 VAN BUREN ST NE, HAM
LAKE MN

COON CREEK WATERSHED PARKING

LOT

HAM LAKE
ANOKA COUNTY, MINNESOTA

PROJECT TITLE:

DATE	DESCRIPTION	ISSUE NO.
1/22/2026	ISSUED FOR CLIENT REVIEW	1
1/30/2026	ISSUED FOR CITY REVIEW	2
6/24/2026	ISSUED FOR CITY REVIEW	3

CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

LICENSE NO.: 56108
DATE:

PROJECT NO.: 227707625

DWG BY: ECR
CHKD BY: BRJ
APPD BY: EAW

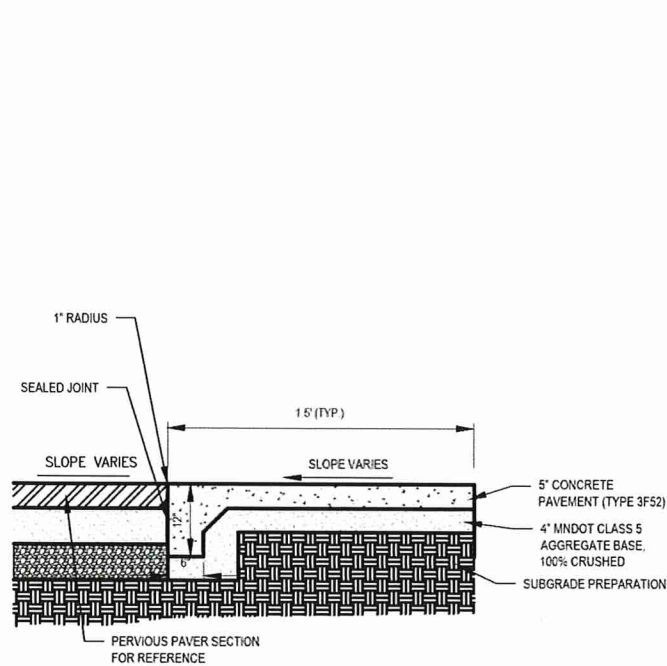
ISSUE DATE: 6/24/2026

ISSUE NO.: 3

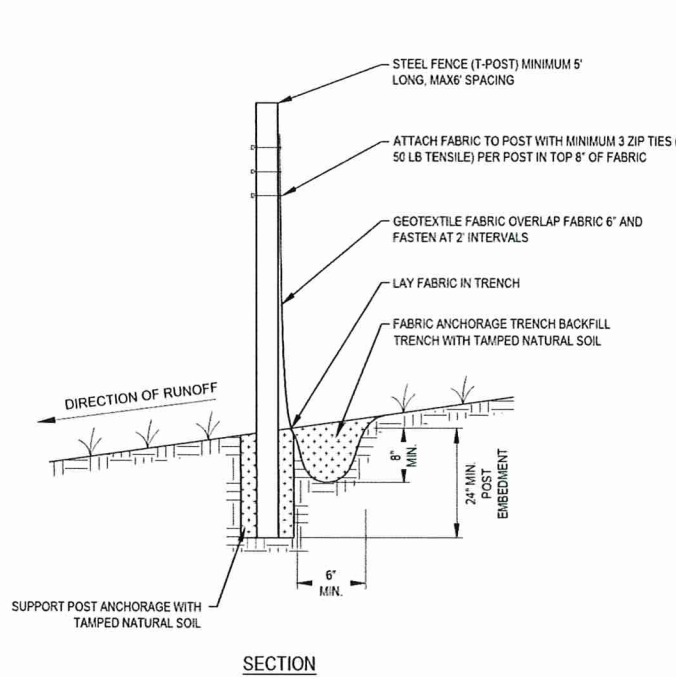
SHEET TITLE:

RESTORATION PLAN

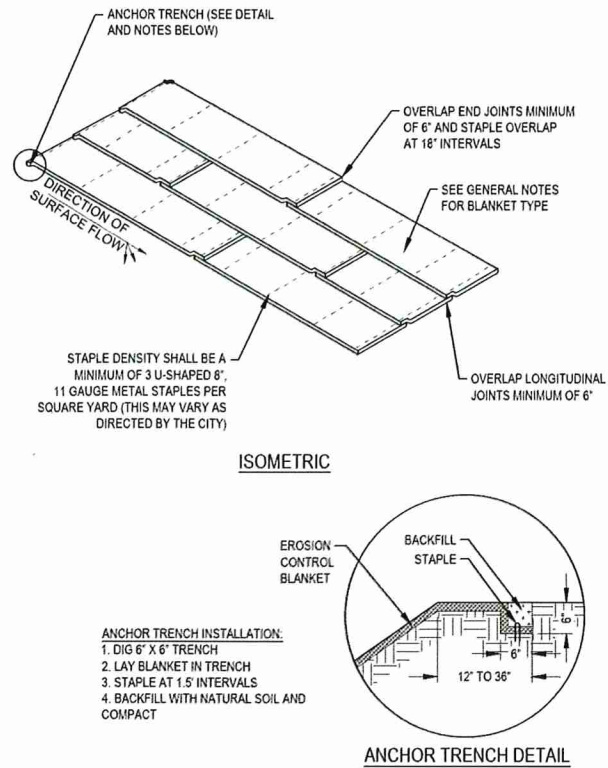
SHEET NO.:
C-500



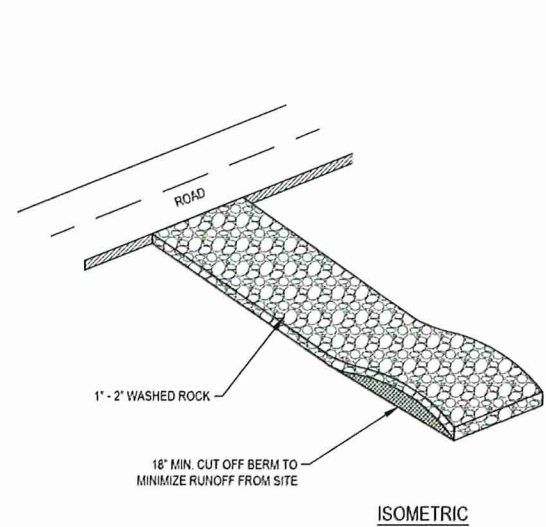
4 PERIMETER / RIBBON CURB
C-800 NOT TO SCALE



3 SILT FENCE MACHINE SLICED
C-800 NOT TO SCALE

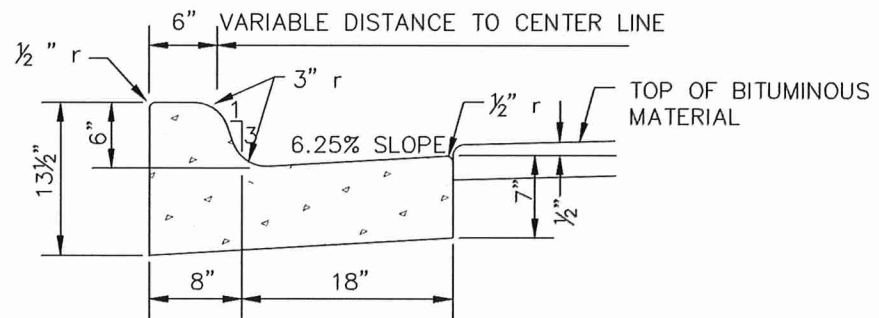
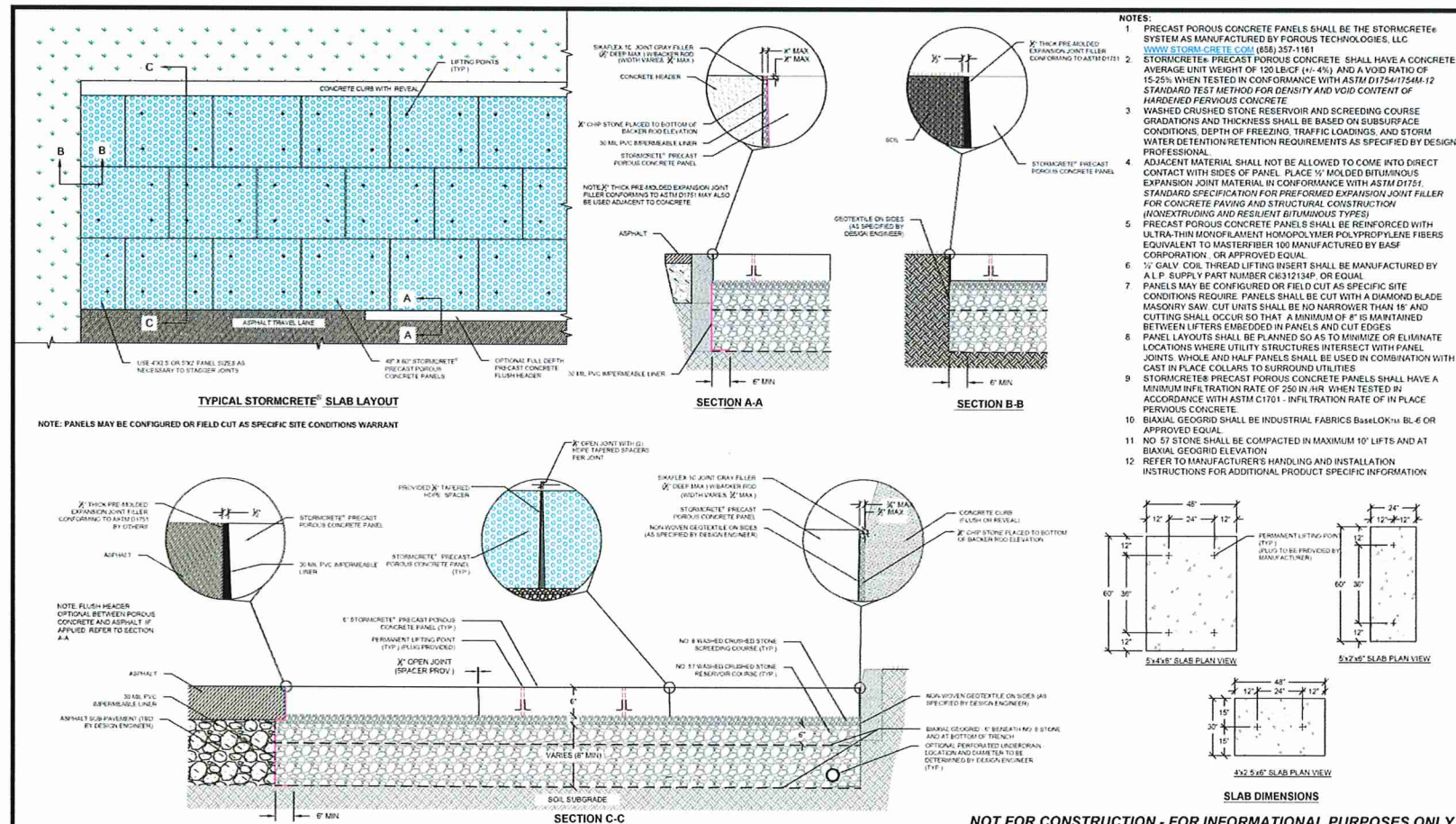


2 EROSION CONTROL BLANKET INSTALLATION
C-800 NOT TO SCALE



NOTES:
1. FILTER FABRIC SHALL BE PLACED UNDER ROCK TO STOP MUD MIGRATION THROUGH ROCK.
2. ENTRANCE MUST BE MAINTAINED TO PREVENT SEDIMENTATION ON PUBLIC ROADWAYS.
3. FUGITIVE ROCKS SHALL BE REMOVED FROM ADJACENT ROADWAYS DAILY OR MORE FREQUENTLY AS NECESSARY.

1 STABILIZED CONSTRUCTION EXIT
C-800 NOT TO SCALE



MnDOT B618
CONCRETE CURB AND GUTTER

5 MnDOT B618 CURB AND GUTTER
C-800 NOT TO SCALE



GENERAL
DETAIL

DATE: 05/02/2022
DRAWN BY: TJC
CHECKED BY: KJM
SCALE: NTS

DETAILS AND
NOTES

DWG NO.
D1

NOT FOR CONSTRUCTION - FOR INFORMATIONAL PURPOSES ONLY

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CALL BEFORE YOU DIG

GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1106

CLIENT



COON CREEK
WATERSHED
DISTRICT
13632 VAN BUREN ST NE, HAM
LAKE MN

COON CREEK WATERSHED PARKING
LOT

HAM LAKE
ANOKA COUNTY, MINNESOTA

PROJECT TITLE

ISSUE NO.	1	2	3
DESCRIPTION	ISSUED FOR CLIENT REVIEW	ISSUED FOR CITY REVIEW	ISSUED FOR CITY REVIEW
DATE	1/22/2026	1/30/2026	6/24/2026

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PROJECT NO.

227707625

DWRI BY: ECR
CHKD BY: BRJ
APPD BY: EAW

ISSUE DATE: 6/24/2026

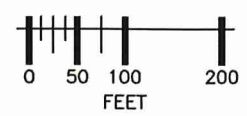
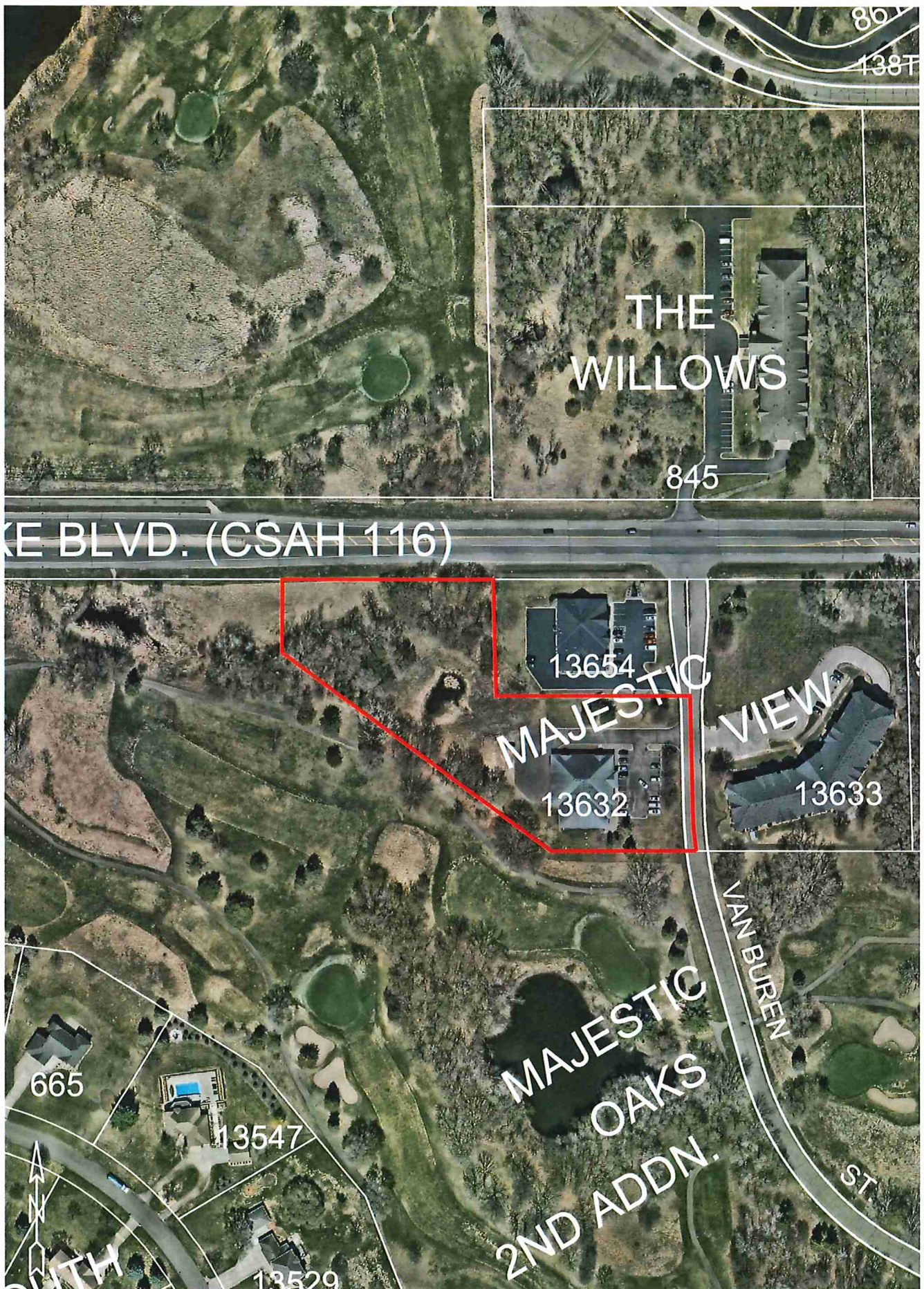
ISSUE NO: 3

SHEET TITLE

DETAILS

SHEET NO.

C-800





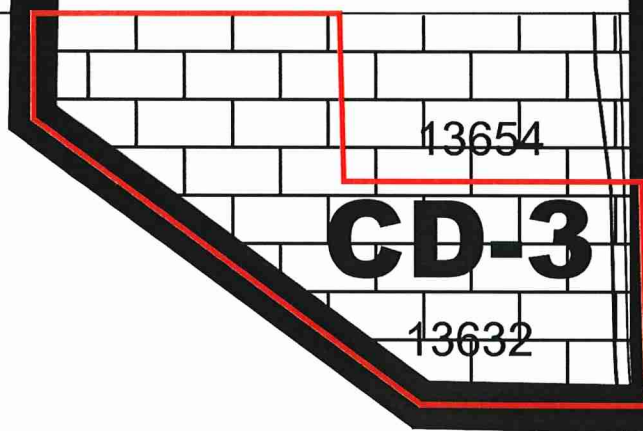
138TH LN

R-AH

**R-A
R**

845

BLVD. (CS 11111111)



13654

CD-3

13632

R-AH

13636

919 92

912

136TH

908

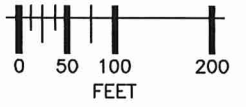
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924

PUD

VAN BUREN

13547



S 1/2 SECTION 31, T. 32, R. 23

CITY OF HAM LAKE



GRAPHIC SCALE
200 0 100 200
SCALE IN FEET

ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11
23	24	13	14
32	31	42	41
33	34	43	44

NORTH HALF OF SECTION

SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter Number	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 31-32-23-43-0011

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.