



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, JUNE 23, 2025

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: May 27, 2025

PUBLIC HEARING:

6:01 p.m. Ernie and Marian Rud requesting Preliminary and Final Plat approval, and rezoning of a portion of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential), for Ruds Skogsted, a residential development of one single-family residential lot and one outlot in Section 23.

NEW BUSINESS:

1. Art Rosenberg of Lincoln Street Commercial, LLC, requesting Final Plat approval for the Elwell Commercial Park Development (four commercial lots and one residential outlot) in Section 29.

COMMISSION BUSINESS:

1. City Council Update

CITY OF HAM LAKE
PLANNING COMMISSION MINUTES
TUESDAY, MAY 27, 2025

The Ham Lake Planning Commission met for its regular meeting on Tuesday, May 27, 2025, in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Erin Dixon, Kyle Lejonvarn, Dave Ringler and David Ross

MEMBERS ABSENT: Commissioners Brian Pogalz, Jeff Entsminger and Jonathan Fisher

OTHERS PRESENT: Building and Zoning Clerk Jennifer Bohr

CALL TO ORDER: Vice Chair Dixon called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Ringler, seconded by Ross, to approve the minutes of the May 12, 2025, Planning Commission meeting as written. All present in favor, motion carried.

PUBLIC HEARING:

Elizabeth Crawford requesting a Special Home Occupation Permit to operate Therapy Roots, LLC, a Biodynamic Craniosacral Therapy and myofunctional therapy business at 1222 Constance Boulevard NE (17-32-23-24-0014)

Ms. Elizabeth Crawford was present. Ms. Crawford stated she is currently enrolled in school for cranial sacral therapy. Ms. Crawford stated it is a modality therapy and is like holistic healing. Ms. Crawford stated as a practitioner, she will touch clients at certain points to promote healing and wellness from the inside out. Ms. Crawford stated the myofunctional therapy she would offer concerns working with muscles of the facial complex to improve breathing, eating and talking. Ms. Crawford stated Building and Zoning Official Mark Jones' memo indicates she will need to provide proof of certification from a massage therapy board or association as listed in Ordinance 9-220.2. Ms. Crawford stated she will have her certification through the Biodynamic Craniosacral Therapy Association of North America (BCTA/NA) and asked if that certification would be acceptable. Vice Chair Dixon stated the commissioners will need to discuss this. Commissioner Ross completed the inspection, a copy which is on file. Commissioner Ross stated he met with Elizabeth and Colin Crawford. Commissioner Ross stated the

property is as described in the documents submitted by Ms. Crawford. Commissioner Ross stated the applicant has no concerns about the conditions Building and Zoning Official Jones listed except for the type of certification that must be provided to the city. Commissioner Lejonvarn asked if there was a building on the property. Commissioner Ross stated there is a house and a large accessory building currently on the property; the 14-foot by 20-foot building where therapy will be performed still needs to be constructed.

Vice Chair Dixon opened the public hearing at 6:05 p.m. and asked for public comment.

Cathy Montain, 1160 Constance Boulevard NE

Ms. Montain stated her property is west of Ms. Crawford's parcel. Ms. Montain stated this is a great opportunity for Ms. Crawford and for the community.

Vice Chair Dixon closed the public hearing at 6:06 p.m.

Vice Chair Dixon asked Building and Zoning Clerk Bohr if the certification Ms. Crawford will have would be acceptable. Building and Zoning Clerk Bohr stated it is something staff will need to discuss. Commissioner Lejonvarn stated the organization Ms. Crawford obtains certification from should be accredited and Ms. Crawford should not start practicing this therapy until the city has been able to verify the type of certification offered by BCTA/NA. Vice Chair Dixon reviewed the comments made by Mark Jones, Building and Zoning Official, in his staff report. Vice Chair Dixon stated Building and Zoning Official Jones indicates the applicant will need to meet building standards for uses in mercantile districts. Vice Chair Dixon asked Ms. Crawford to confirm that the bathroom facilities used by clients will be in the main residence. Ms. Crawford stated that was correct. Vice Chair Dixon reiterated that hard surface walkways, driveway and parking areas must be concrete or asphalt to meet accessibility code. Vice Chair Dixon stated Building and Zoning Official Jones also provided a list of conditions of approval for the Special Home Occupation Permit. Commissioner Ross noted that Mr. and Mrs. Crawford told him they approached all their neighbors to talk with them about what they want to do on their property. Commissioner Ross stated people were provided opportunity to voice concerns or support for the Crawford's request. **Motion by Ross, seconded by Fisher, to recommend approval of a Special Home Occupancy Permit as requested by Elizabeth Crawford of Therapy Roots, LLC, a Biodynamic Craniosacral Therapy and myofunctional therapy business at 1222 Constance Boulevard NE subject to:**

- 1) Meeting all the requirements of Ordinance 9-350 Home Occupation Permits.**
- 2) Ms. Crawford being the only therapist practicing Biodynamic Craniosacral Therapy and myofunctional/speech therapy at this location.**
- 3) Ms. Crawford providing the city with a copy of the required certification(s) as noted in Ordinance 9-220.2(b) for Therapeutic massage or obtain approval from the city that certification from the Biodynamic Craniosacral Therapy Association of North America (BCTA/NA) is acceptable.**
- 4) No therapy can be performed until all course work has been completed, certifications have been obtained, and proof of certifications have been provided to the city.**
- 5) Business hours from 9 am to 4 pm Monday through Friday.**

- 6) All surfaces upon which motor vehicles will be parked, or driven, and all areas in which clients and pedestrians will be walking from point to point, shall be surfaced with asphalt or concrete, or a surface approved by the Building Official.
- 7) All areas that clients will travel, or have access to, shall meet the Minnesota Accessibility Code. This shall include the bathroom, walking surfaces and parking.
- 8) All parking surfaces must be marked per diagram and maintained.
- 9) The bathroom made available to clients must be in working order at all times.
- 10) Obtaining a building permit for the proposed building and a Certificate of Occupancy prior to the commencement of business.
- 11) Meeting all city, county and state codes.

All present in favor, motion carried. *This application will be placed on the City Council's Monday, June 2, 2025, agenda.*

PUBLIC HEARING:

Consideration of amendments to Article 9 of the Ham Lake City Code related to adding Brewer Taproom and Cannabis Retail Business as a Permitted Use in CD-1 (Commercial Development 1) zoning, adding Therapeutic Massage Facilities as a Conditional Use in R-1 (Single Family Residential) zoning, removing Temporary Conditional Uses in its entirety in (R-1) Single Family Residential, Residential-Manufacturing (R-M) and Rural Single Family Residential (R-A) and remove the requirement of a maintenance fee for wetland banking under Article 9-330.8 and general edits related to the required trail easement

Commissioner Lejonvarn asked why Temporary Conditional Uses were being removed from the various zoning districts. Building and Zoning Clerk Bohr stated a Temporary Conditional Use permit has not been requested for several years and, per the City Attorney, this type of permit should be labeled as an Interim User Permit instead. There was discussion related to the removal of the maintenance fee related to wetland banking. The commissioners expressed concern about the removal of the maintenance fee that had originally been included in the wetland bank ordinance. Building and Zoning Clerk Bohr informed the commissioners that the removal of the reference to the requirement of a maintenance fee for wetland banking has been proposed because the final wetland bank ordinance does not include the requirement to pay a maintenance fee. Building and Zoning Clerk Bohr stated the reference to the maintenance fee in Ordinance 9-330.8(C) was overlooked when the section related to maintenance fees in the wetland bank ordinance was removed. The commissioners had questions related to how fees for wetland banks would be charged. Building and Zoning Clerk stated the commissioners could request a workshop with the City Council if they were interested in discussing fees related to wetland banks further. Vice Chair Dixon read aloud the remaining amendments to Article 9 related to adding Brew Taprooms and Cannabis Retail Business as permitted uses in the Commercial Development I (CD-1) zoning district, the removal of Temporary Conditional Uses in Single Family Residential (R-1), Residential-Manufactured Home (R-M) and Rural Single Family Residential (R-A) zoning districts and adding Therapeutic Massage Facilities as a Conditional Use in the R-1 zoning district as noted in Administrator Webster's staff report.

Vice Chair Dixon opened the public hearing at 6:24 p.m. and asked for public comment; with there being none, Vice Chair Dixon closed the public hearing at 6:25 p.m.

Motion by Lejonvarn, seconded by Ross, to recommend approval of amendments to Article 9 of the Ham Lake City Code, as presented, relating to:

- 1) Adding Brewer Taproom and Cannabis Retail Business as a Permitted Use in CD-1 (Commercial Development 1) zoning.**
- 2) Adding Therapeutic Massage Facilities as a Conditional Use in R-1 (Single Family Residential) zoning.**
- 3) Removing Temporary Conditional Uses in its entirety in (R-1) Single Family Residential, Residential-Manufacturing (R-M) and Rural Single Family Residential (R-A).**
- 4) Removing the requirement of a maintenance fee for wetland banking under Article 9-330.8 and approving general edits related to the required trail easement for a Wetland Bank.**

Commissioners Lejonvarn, Dixon and Ross voted yes, Commissioner Ringler voted no, motion carried. *This application will be placed on the City Council's Monday, June 2, 2025, agenda.*

NEW BUSINESS: None

COMMISSION BUSINESS:

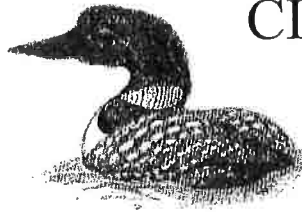
City Council Update

Vice Chair Dixon informed the Commissioners that the City Council concurred with the Commission's recommendations to approve the amendment to the Conditional Use Permit for Frovik's Towing and Recovery Twin City, Inc. There will not be a Planning Commissioner present at the June 2, 2025, City Council meeting.

ADJOURNMENT:

Motion by Lejonvarn, seconded by Ross, to adjourn the Planning Commission meeting at 6:25 p.m. All present in favor, motion carried.

Jennifer Bohr
Building and Zoning Clerk



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

NOTICE OF PUBLIC HEARING CITY OF HAM LAKE COUNTY OF ANOKA STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, June 23, 2025 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Ernie and Marian Rud, requesting preliminary and final plat approval and rezoning of a portion of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for Ruds Skogsted in Section 23, a parcel of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

The west 1152.14 feet of the north 726 feet of the South Half of the
Northeast Quarter of Section 23, Township 32, Range 23, Anoka County,
Minnesota.

At such hearing both written and oral comments will be heard.

DATED: June 13, 2025
Jennifer Bohr
Building and Zoning Clerk
City of Ham Lake

**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: June 23, 2025

INSPECTION ISSUED TO: Kyle Lejonvarn

APPLICANT/CONTACT: Ernie Rud

TELEPHONE NUMBER: 612-867-2424 or erud@egrud.com or
egmerud@gmail.com

BUSINESS/PLAT NAME: Ruds Skogsted

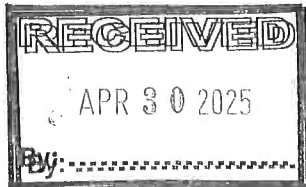
ADDRESS/LOCATION OF INSPECTION: 3958 155th Ave NE

APPLICATION FOR: Preliminary/Final Plat

RECOMMENDATION: _____

DATE: _____

PLANNING COMMISSIONER SIGNATURE: _____



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 4-30-2025 Date of Receipt 4-30-25
Receipt # _____ Amount \$ _____

Meeting Appearance Dates:

Planning Commission 6-23-2025 City Council _____

Please check request(s):

- | | |
|--|---|
| <input type="checkbox"/> Metes & Bounds Conveyance | <input type="checkbox"/> Commercial Building Permit |
| <input type="checkbox"/> Sketch Plan | <input type="checkbox"/> Certificate of Occupancy |
| <input checked="" type="checkbox"/> Preliminary Plat Approval* | <input type="checkbox"/> Home Occupation Permit |
| <input checked="" type="checkbox"/> Final Plat Approval | <input type="checkbox"/> Conditional Use Permit (New)* |
| <input type="checkbox"/> Rezoning* | <input type="checkbox"/> Conditional Use Permit (Renewal) |
| <input type="checkbox"/> Multiple Dog License* | <input type="checkbox"/> Other _____ |

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: RUDS SKOGSTED

Address/Location of property: 3958 155TH AVENUE NE

Legal Description of property: PT. NE 1/4, SEC. 32, T. 32, R. 23

PIN # 23-32-23-13-0003 Current Zoning _____ Proposed Zoning R-1

Notes: _____

Applicant's Name: ERNIE AND MARIAN RUD

Business Name: N/A

Address 3958 155TH AVENUE NE

City HAM LAKE State MN Zip Code 55304

Phone _____ Cell Phone 612-867-2424 Fax _____

Email address erud@egrud.com egmerud@gmail.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE Ernie & Marian Rud DATE 4-30-2025


- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____ PROPERTY TAXES CURRENT YES NO
City Council _____ Any Active/Deferred Assessments YES NO

Memorandum

Date: June 18, 2025

To: Planning Commissioners

From: David A. Krugler, City Engineer 

Subject: Ruds Skogsted Minor Plat

Introduction:

The Preliminary and Final Plat for Ruds Skogsted subdivides the 19.2-acre 3958 155th Avenue / 23-32-23-13-0003 parcel into one lot and one outlot. The parcel is currently zoned Rural Single Family Residential (R-A). The existing house and accessory building are located on the proposed Lot 1. Lot 1 will be rezoned to Single Family Residential (R-1) following final plat approval, the outlot will remain in the R-A zoning district. A 600-scale zoning map, 300 scale half-section map and a 400-scale aerial photo are attached.

Discussion:

The Final Plat, Preliminary Plat and Livability Plan received on April 29th address prior review comments. The proposed subdivision qualifies as a Minor Plat under City Code Section 10-101 which allows expedition of the plat approval process by approving both the preliminary and final plat at the same Council meeting

The existing house and pole building are located on the proposed Lot 1. Pole barns are permitted on parcels larger than 5.0 acres. Permission to exceed the 3,000 square feet limit on the pole barn was granted at the May 20, 2013 City Council meeting per the attached meeting minutes.

Per correspondence with Public Works Superintendent John Witkowski, parkland dedication fees are recommended rather than parkland or trail easement dedications. No bike easement is required as 155th Avenue between Naples Street and Lexington Avenue is not a proposed bike route. The developer will need to pay a \$200 drainage fund contribution along with a \$2,500 parkland dedication fee for Lot 1 and the outlot. The intent of the owner to further develop the property, however, since the developer has shown compliance with livability, it is recommended they pay the parkland dedication fee and drainage fee as if this was identified as Lot 2.

Special assessments were assigned for the 2020 155th Avenue upgrade. The City Council approved a deferral of the special assessment in 2020, per the attached Resolution 21-35 which states the special assessment shall be deferred until 2041 or until the property is sold or subdivided. The parcel was determined at the time of the project that it could be split into five lots. This resulted in one paid assessment and four deferred assessments. A portion of the special assessment must be remitted prior to the plat being filed with Anoka County. The total special assessment for parcel 23-32-23-13-0003 remaining is \$64,038.56. The portion to be paid prior to filing with Anoka County is \$16,009.64.

The Final Plat includes 33-feet of right-of-way dedication for 155th Avenue. The final plat also shows a 10-foot drainage and utility easement around the perimeter of Lot 1.

Because the minor plat is utilizing the existing infrastructure and no construction is shown on the plans, a Development Agreement will not be required. A Coon Creek Watershed District (CCWD) permit is not required. A wetland delineation was completed in 2024 to identify easement limits for Lot 1.

The Soil Boring Test Report confirms that there is adequate area for a primary and secondary septic system for the outlot. The attached April 10th Tradewell septic certification certifies that the outlot will support two standard septic systems in accordance with Minnesota Rules 7080. As the developer has proven livability for the outlot, combining the outlot with an adjacent parcel is not required.

Recommendations:

It is recommended that the Preliminary Plat and Final Plat for Ruds Skogsted be recommended for approval subject to:

- Paying \$16,009.64 for the required special assessment for the outlot
- \$5,000 for parkland dedication for Lot 1 and the outlot
- \$400 for the drainage fees for Lot 1 and the outlot

**City of Ham Lake
County of Anoka
Sec. 23, T32, R23**



E. G. RUD & SONS, INC.
Professional Land Surveyors

PRELIMINARY PLAT OF:

RUDS SKOGSTED

~for~ **ERNIE AND MARIAN RUD**
~of~ **3958 155TH AVENUE NE**
HAM LAKE, MN 55304

PROPERTY DESCRIPTION

The west 1152.14 feet of the north 726 feet of the South Half of the Northeast Quarter of Section 23, Township 32, Range 23, Anoka County, Minnesota. Subject to easements of record.

NOTES

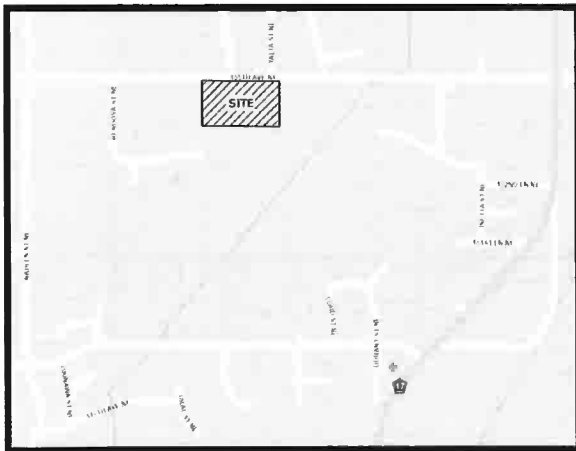
- Field survey was completed by E.G. Rud and Sons, Inc. on 8/9/2024 and January 2025.
- Bearings shown are on the Anoka Co. Coordinate System.
- PID: 23-32-23-13-0003.
- Wetland delineation by Jacobson Environmental in 2024.
- Soil borings by Art Dunn on 12/29/11 and 4/7/12 as labeled and by Mark Tradewell in February of 2025.
- Proposed lot areas are measured to the centerline of 155th Avenue NE.

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- ⊠ DENOTES ELECTRIC METER
- ⊠ DENOTES FIBER OPTIC BOX
- ⊠ DENOTES GAS METER
- ⊠ DENOTES MAILBOX
- ⊠ DENOTES SEPTIC SEWER MANHOLE
- ⊠ DENOTES SIGN
- ⊠ DENOTES SOIL BORING. (BY OTHERS)
- ⊠ DENOTES STORM SEWER APRON
- ⊠ DENOTES WELL
- ⊠ DENOTES WET LAND
- ⊠ DENOTES RETAINING WALL
- ⊠ DENOTES EXISTING SPOT ELEVATION
- ⊠ DENOTES EXISTING CONTOURS
- ⊠ DENOTES BITUMINOUS SURFACE
- ⊠ DENOTES CONCRETE SURFACE
- ⊠ DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

VICINITY MAP

PART OF SEC. 23, TWP. 32, RNG. 23
ANOKA COUNTY, MINNESOTA
(NO SCALE)



E.G. RUD & SONS, INC.
EST. 1977 Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701
www.egrud.com

GRAPHIC SCALE
1 INCH = 50 FEET

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
Date: 4/29/2025 License No. 41578

TYPICAL EASEMENT DETAIL

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:

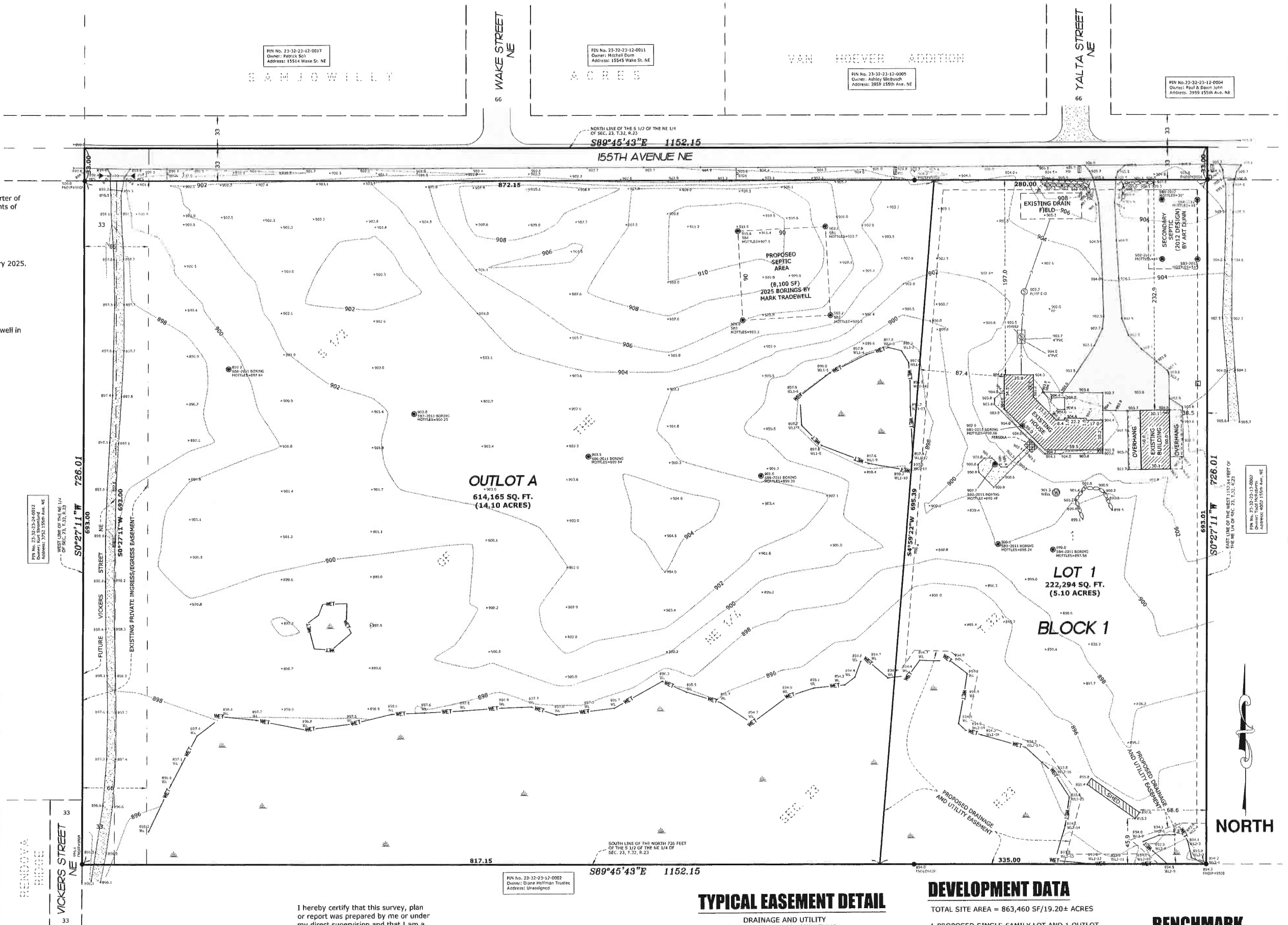
BEING 10 FEET IN WIDTH AND ADJOINING ALL LOT LINES UNLESS OTHERWISE SHOWN ON THIS PLAT.

DEVELOPMENT DATA

TOTAL SITE AREA = 863,460 SF/19.20± ACRES
1 PROPOSED SINGLE-FAMILY LOT AND 1 OUTLOT
AVERAGE LOT SIZE = 9.60 ACRES
MINIMUM STREET FRONTAGE = 200 FEET
PROPOSED ZONING = R-1
BUILDING SETBACKS
FRONT = 30 FEET
SIDE = 10 FEET
REAR = 50 FEET

BENCHMARK

ANOKA COUNTY BENCHMARK NO. 2005
ELEVATION = 905.730 (NAVD88)
DRAWN BY: BAR JOB NO: 10.031BT DATE: 4/16/2025
CHECK BY: JER FIELD CREW: BH/BJ
NO. DATE DESCRIPTION BY



PIN No. 23-32-23-13-0007
Owner: Tradewell
Address: 4007 155th Ave. NE

LIVABILITY PLAN FOR:

RUDS SKOGSTED

~for~ **ERNIE AND MARIAN RUD**
~of~ **3958 155TH AVENUE NE**
HAM LAKE, MN 55304

PROPERTY DESCRIPTION

The west 1152.14 feet of the north 726 feet of the South Half of the Northeast Quarter of Section 23, Township 32, Range 23, Anoka County, Minnesota. Subject to easements of record.

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES ELECTRIC METER
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- DENOTES GAS METER
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- DENOTES WET LAND
- DENOTES RETAINING WALL
- DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING CONTOURS
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)
- DENOTES PROPOSED BUILDING PAD AREA
- DENOTES PROPOSED YARD AREA
- DENOTES PROPOSED SEPTIC AREA

LIVABILITY STANDARDS

All residential lots shall contain at least 29,500 square feet of land which lies above the 100 year flood contour. Of this 29,500 square feet, the following additional requirements must be present.

- A. **ISTS Area** Each lot must contain at least 7,500 square feet of contiguous area which is reserved for both the ISTS originally constructed and a future ISTS. The ISTS Area need not be contiguous to the Eligible Building Area or the Yard Area, but the entire ISTS Area must exist at an elevation at least one foot above Unsuitable Soils, and must contain Undisturbed Soils or soils which meet the requirements of Rule 7080 of the Minnesota Pollution Control Agency for ISTS construction standards. The ISTS Area may be irregular in shape, provided they do not encroach into areas reserved by easement or otherwise for roadway, drainage or utility purposes, and provided that all of the area can be reasonably used for ISTS construction without the need for variances.
- B. **Eligible Building Area** Each lot shall contain at least 10,000 square feet of contiguous land which lies at an elevation at least four feet above Unsuitable Soils. The Eligible Building Area may not be irregular in shape, and should be generally rectangular or ovoid, with no panhandles, narrow necks or peninsulas. Eligible Building Areas may not encroach into any areas reserved by easement or otherwise for roadway, drainage or utility purposes. Fill may be used to create Eligible Building Area.
- C. **Yard Area** Each lot shall contain at least 12,000 contiguous square feet which:
- Lies above the 100 year flood contour, and
 - Lies at least one foot above soils unsuitable for the Intended usage of the Yard area, and
 - Is contiguous to the Eligible Building Area for a distance of at least fifty percent of the lineal perimeter of the Eligible Building Area. Yard Areas may encroach into the dedicated easement area which lies at a distance of ten feet from the perimeter of the lot, and may encroach into areas reserved by easement or otherwise for other public utility purposes, but may not encroach into any other area reserved by dedication or otherwise for road or drainage purposes, any may not encroach into any areas within the 100 year flood contour or into designated wetlands. Yard Areas may be irregular in shape except within thirty feet of the locations where the Yard Area is contiguous to the Eligible Building Area, at which locations the Yard Areas shall be a logical extension or expansion of the generally rectangular or ovoid shape of the Eligible Building Area. Fill may be used to create Yard Area.
- D. **Building Pad Areas** The entire Building Pad must lie within the Eligible Building Area, and shall meet the separation requirements for the Eligible Building Area.
- E. **Low Floor Elevations**
- For walkout designs, the low floor elevation shall be at least one foot above the 100 year flood contour, but, notwithstanding the 100 year flood contour, not less than one foot above unsuitable soils, as determined by the City's engineer.
 - For other designs, the low floor elevation shall be at least one foot above the 100 year flood contour, but, notwithstanding the 100 year flood contour, not less than one foot above unsuitable soils, as determined by the City's engineer.

NOTES

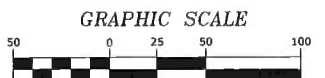
- Field survey was completed by E.G. Rud and Sons, Inc. on 8/9/2024 and January 2025.
- Bearings shown are on the Anoka Co. Coordinate System.
- PID: 23-32-23-13-0003.
- Wetland delineation by Jacobson Environmental in 2024.
- Soil borings by Art Dunn on 12/29/11 and 4/7/12 as labeled and by Mark Tradewell in February of 2025.
- Proposed lot areas are measured to the centerline of 155th Avenue NE.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
Date: 4/29/2025 License No. 41578

PIN No. 23-32-23-12-0002
Owner: Diane Hoffman Trustee
Address: Unassigned

| Lot # | Block # | Total Lot Area (sf) | Yard Area (sf) | Septic Area (sf) | Building Pad Area (sf) | Building Pad Area 4' Above Mottling (sf) | Garage Floor Elevation | Proposed Low Floor Opening Elevation | Proposed Low Floor Opening Elevation | Lowest Floor Opening Elevation | Lowest Floor Opening Elevation | Boring # | Boring Elevation | Mottles Elevation | Building Type |
|----------|---------|---------------------|----------------|------------------|------------------------|--|------------------------|--------------------------------------|--------------------------------------|--------------------------------|--------------------------------|----------|------------------|-------------------|---------------|
| 1 | 1 | 222,294 | 179,338 | 4,000 | N/A | N/A | N/A | N/A | N/A | N/A | N/A | S81-2012 | 907.10 | 903.8 | N/A |
| | | | | (SECONDARY) | | | | | | | | S82-2012 | 905.70 | 901.7 | |
| | | | | | | | | | | | | S83-2012 | 905.70 | 901.5 | |
| | | | | | | | | | | | | S84-2012 | 907.00 | 903.3 | |
| | | | | | | | | | | | | S81-2011 | 902.90 | 899.7 | |
| | | | | | | | | | | | | S82-2011 | 900.70 | 899.5 | |
| | | | | | | | | | | | | S83-2011 | 900.10 | 898.2 | |
| | | | | | | | | | | | | S84-2011 | 899.00 | 897.6 | |
| OUTLOT A | | 614,165 | 378,733 | 8,100 | 10,000 | 10,000 | 904.0 | 904.0 | 904.0 | 904.0 | 904.0 | S81 | 907.10 | 903.7 | SLAB |
| | | | | | | | | | | | | S82 | 906.20 | 900.5 | |
| | | | | | | | | | | | | S83 | 906.00 | 902.3 | |
| | | | | | | | | | | | | S84 | 911.60 | 907.1 | |
| | | | | | | | | | | | | S85-2011 | 901.60 | 899.4 | |
| | | | | | | | | | | | | S86-2011 | 903.50 | 899.5 | |
| | | | | | | | | | | | | S87-2011 | 902.80 | 900.3 | |
| | | | | | | | | | | | | S88-2011 | 899.30 | 897.8 | |



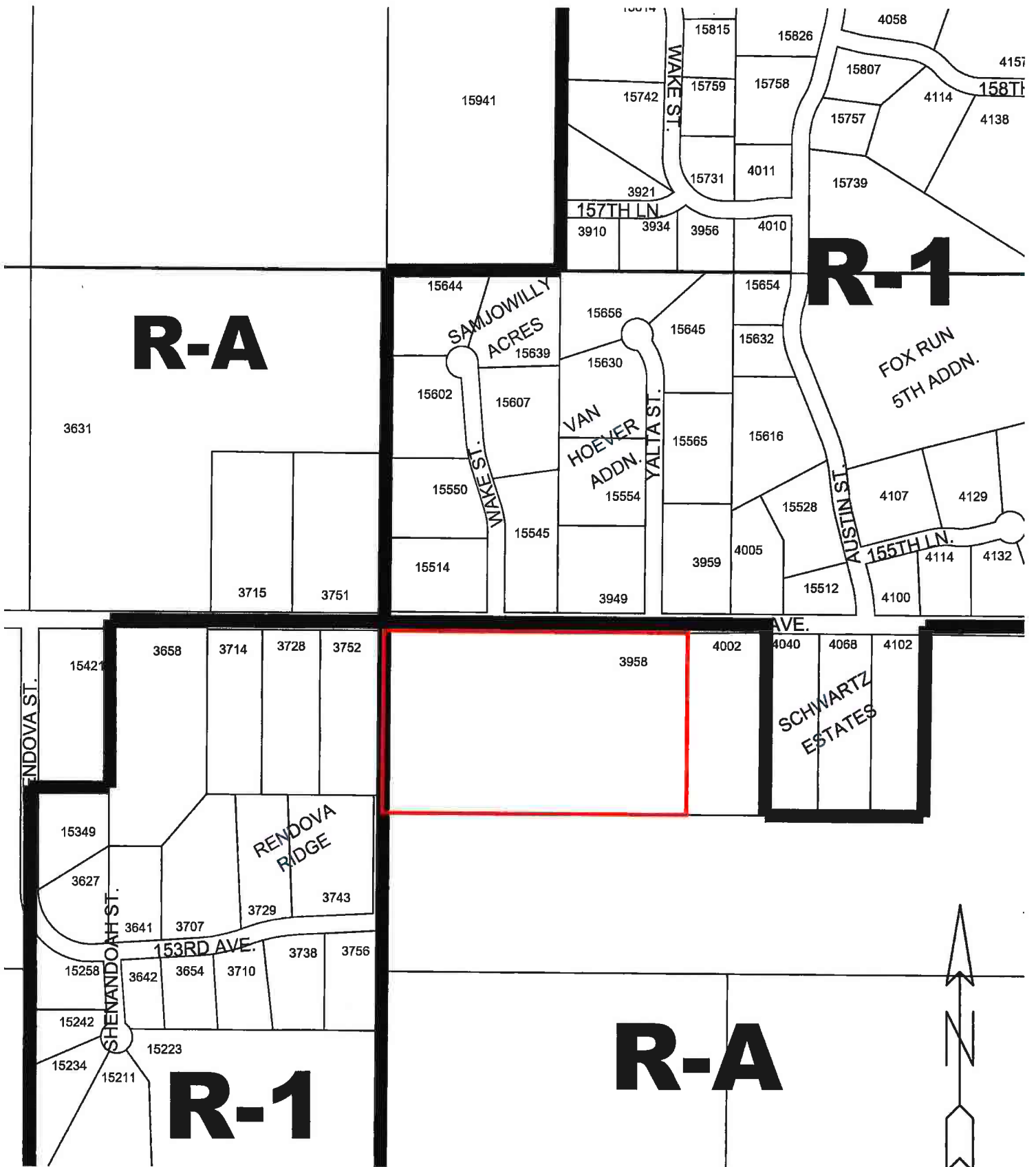
1 INCH = 50 FEET

BENCHMARK

ANOKA COUNTY BENCHMARK NO. 2005
ELEVATION = 905.730 (NAVD88)

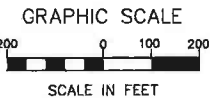
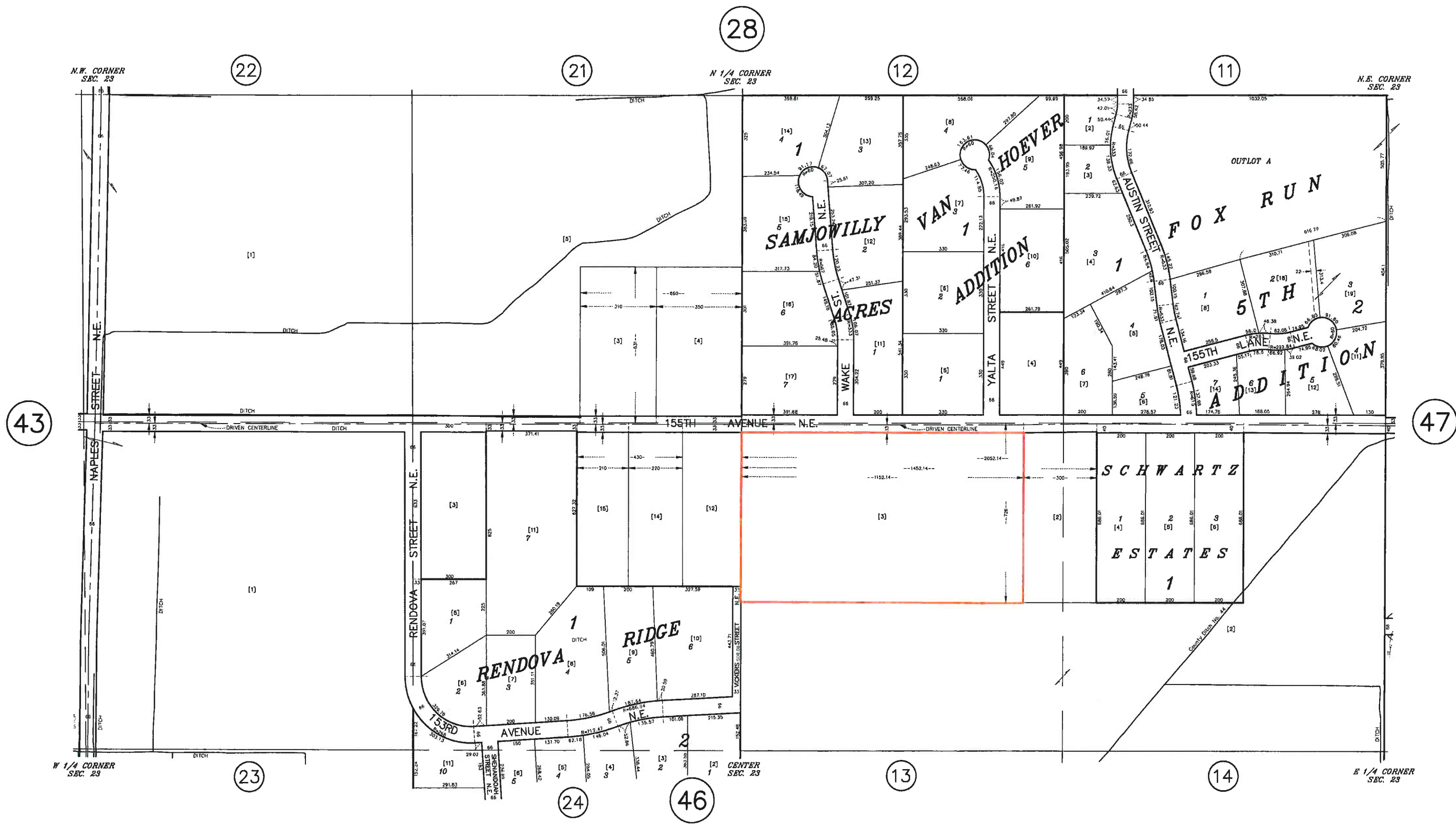
| | | |
|---------------|-------------------|-----------------|
| DRAWN BY: BAB | JOB NO: 10.031BT | DATE: 4/16/2025 |
| CHECK BY: JER | FIELD CREW: BH/BJ | |
| 1 | | |
| 2 | | |
| 3 | | |
| NO. | DATE | DESCRIPTION |
| | | BY |

E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701



N 1/2 SECTION 23, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

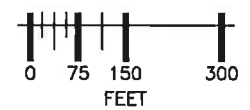
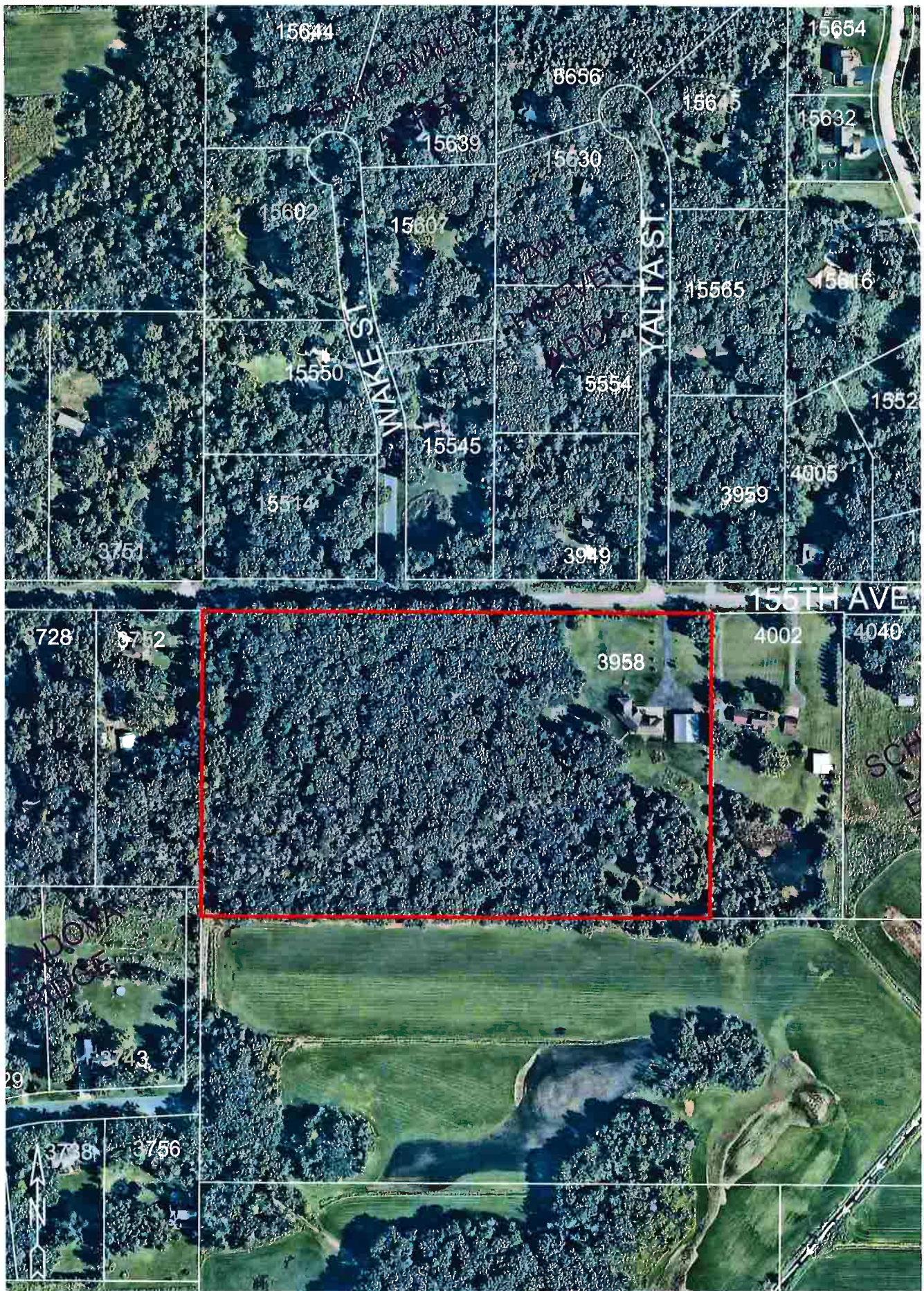
| QUARTER QUARTER INDEX | | | | | | | |
|-----------------------|----|----|----|--------------------------|--|--|--|
| 22 | 21 | 12 | 11 | NORTH HALF OF SECTION | | | |
| 23 | 24 | 13 | 14 | | | | |
| 32 | 31 | 42 | 41 | SOUTH HALF OF SECTION | | | |
| 33 | 34 | 43 | 44 | | | | |

PROPERTY IDENTIFICATION NUMBER

| Section Number | Township Number | Range Number | Quarter Number | Specific Parcel |
|----------------|-----------------|--------------|----------------|-----------------|
| XX | XX | XX | XX | XXXX |

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 23-32-23-24-0008

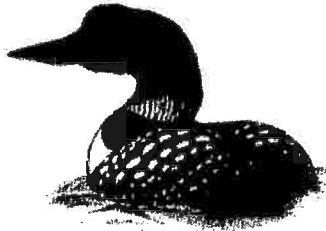
THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.



3958 - 155th AVE NE

C.C.
Approved
5/20/13

Meeting Date: May 20, 2013



CITY OF HAM LAKE

Staff Report

To: Mayor and Councilmembers

From: Doris Nivala, Administrator

Subject: Ernie & Marian Rud Oversized Accessory Building

Introduction/Discussion: Ernie and Marian Rud are requesting approval for construction of an oversized accessory building. The building will be 3,240 square feet of pole-type construction. This is a 19+ acre parcel zoned R-A. The City Code allows the pole-type construction on parcels exceeding five acres, but the proposed size is discretionary with the Council on parcels exceeding ten acres. The Ruds have obtained approval from the neighbor that is immediately adjacent to the proposed accessory building.

Recommendation: Approval of this request is discretionary with the Council, but I am not aware of any objections to the building.

8.0 APPEARANCES

8.1 Nancy Braastad, Harmony Estates – Requesting Deferment of Parkland Dedication Fees

Nancy Braastad from Harmony Estates was present. Ms. Braastad stated that she has final plat approval, but has not recorded the plat because of the \$36,000 parkland dedication fees that would be due. Ms. Braastad stated that she is before the Council to request to pay the \$3,000 parkland dedication fee as each lot is sold. Attorney Dorn stated that there would need to be a change to the City Code and precedence would be set for all future developments. There was discussion of other options for paying parkland dedication fees. Acting Mayor Johnson stated that he is not comfortable with changing the City Code at this time. **It was the consensus of the City Council to have City Staff research what other cities in Anoka County are doing regarding parkland dedication fees.**

8.2 Ernie Rud – Requesting an oversized accessory building on 20 acres, 3958 155th Avenue NE

Ernie Rud was present. Motion by Kirkeide, seconded by Doyle, to approve the request of Ernie Rud for a 3,240 square foot oversized pole-type building to be constructed on a 20-acre parcel located at 3958 155th Avenue NE. All present in favor, motion carried.

9.0 CITY ATTORNEY

9.1 Adoption of Resolution directing a Charter amendment regarding management of oakwilt trees

Attorney Dorn explained that the state statute has changed regarding the management of oakwilt trees and is suggesting that the City Council request an amendment to the Charter to update the changes. **Motion by Johnson, seconded by Doyle, to adopt Resolution No. 13-35, requesting the Charter Commission to amend Chapter 8.0 regarding the management of oakwilt trees. All present in favor, motion carried.**

9.2 First Reading of amendments to Financial Assistance Program for wells and septic

Attorney Dorn stated that there has been an ordinance in effect for the last 10 to 15 years that provides for financial assistance to residents who meet certain financial criteria (income and assets) who have a failed well or septic system. Attorney Dorn stated that it has only been used once, but with the project in Hiawatha Beach/Comfort Resorts, there may be more use of the financial assistance. Attorney Dorn stated that the ordinance currently is not adequate and should be updated. Attorney Dorn stated that the new policy would state that if you do qualify for assistance you would make payments over a 10 year span with the City Council setting the interest rate. Attorney Dorn stated that the financial hardship was increased from \$25,000 to \$50,000 of the individual net worth and also increased the amount of assistance available from \$20,000 to \$25,000. **This is the First Reading to amend Article 11-1900 of the Ham Lake City Code regarding the Financial Assistance Program for wells and septic.**

10.0 CITY ENGINEER

10.1 Road Committee – Discussion of proposed stormwater basins/rain gardens within right-of-way of future phases of Deer Haven Hills

Engineer Collins explained that in 2009 the Coon Creek Watershed District Rules (CCWD) changed to require that the first inch of precipitation be infiltrated through stormwater volume management practices. Engineer Collins stated that a vertical separation from the bottom of all infiltration basins to the seasonally high ground water table of three feet is required. Engineers Collins stated that there are four

Document No.: 2384923.005 ABSTRACT

02/03/2023 11:15 AM

Fees/Taxes In the Amount of: \$46.00

Pamela J. LeBlanc
Anoka Cty Property Records and Taxation
Property Tax Administrator and
Recorder/Registrar of Titles
Deputy: gmivers



CITY OF HAM LAKE)

COUNTY OF ANOKA)

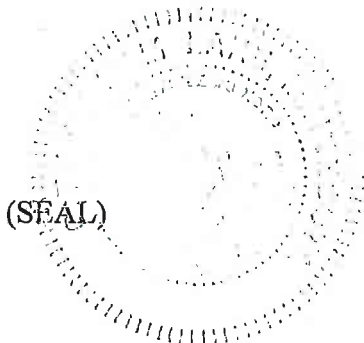
STATE OF MINNESOTA)

CERTIFICATE OF DEFERRED ASSESSMENTS

I, Dawnette Shimek, being the duly qualified and acting Deputy City Clerk of the City of Ham Lake, Minnesota, do hereby state that pursuant to Statute 429.061 there are deferred assessments against certain properties situated in the City of Ham Lake more fully described on Exhibit A attached hereto and further that the amount of such assessment and commencement of payment are further set forth on Exhibit A.

IN TESTIMONY WHEREOF, I have hereunto subscribed my had on this 2nd day of February, 2023.

CITY OF HAM LAKE



(SEAL)

Dawnette Shimek
Dawnette Shimek – Deputy City Clerk

Exhibit A

23-32-23-14-0002 – Project # 85640: 155TH AVENUE NE FROM NAPLES STREET NE TO LEXINGTON AVENUE NE
THE SOUTH $\frac{1}{2}$ OF THE NE $\frac{1}{4}$ OF SECTION 23, TOWNSHIP 32, RANGE 23; EXCEPT THE NORTH 726 FEET OF THE WEST 2052.14 FEET THEREOF; EX ROAD; SUBJECT TO EASEMENTS OF RECORD

23-32-23-23-0001 – Project # 85640: 155TH AVENUE NE FROM NAPLES STREET NE TO LEXINGTON AVENUE NE
UNPLATTED HAM LAKE TWP SW $\frac{1}{4}$ OF NW $\frac{1}{4}$ SECTION 23, TOWNSHIP 32, RANGE 23

Deferred Assessment Amount: \$15,218.85

Assessments will be deferred until such time as the property loses its Green Acre status is requested by the property owner and the public hearing is waived.

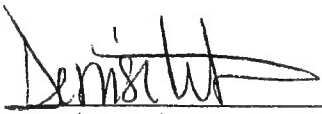
RESOLUTION NO. 21-35

WHEREAS, pursuant to proper notice duly given as required by law, the Council has met and passed upon all objections to the proposed assessment for the reconstruction of 155th Avenue NE from Naples Street NE to Lexington Avenue NE.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HAM LAKE, MINNESOTA:

1. Such proposed assessment, a copy of which is attached hereto and made a part hereof, is hereby accepted and shall constitute the special assessment against the lands named therein, and each tract of land therein included is hereby found to be benefited by the proposed improvement in the amount of the assessment levied against it.
2. Such assessment shall be payable in equal and annual installments extending over a period of twenty years, the first of the installments to be payable on or before the first Monday in January, 2022 and shall bear interest at the rate of 0.25 percent per annum from the date of the adoption of this assessment resolution. To the first installment shall be added interest on the entire assessment from the date of this resolution until December 31, 2021. To each subsequent installment when due shall be added interest for one year on all unpaid installments.
3. The owner of any property so assessed may, at any time prior to certification of the assessment to the County Auditor, pay the whole of the assessment on such property, with interest accrued to the date of payment, to the City Clerk/Treasurer, except that no interest shall be charged if the entire assessment is paid within 30 days from the adoption of this resolution; and he may, at any time thereafter, pay to the City Clerk/Treasurer the entire amount of the assessment remaining unpaid, with interest accrued to December 31 of the year in which such payment is made. Such payment must be made before November 15, or interest will be charged through December 31 of the next succeeding year.
4. The Clerk shall forthwith transmit a certified duplicate of this assessment to the County Auditor to be extended on the same property tax lists of the County. Such assessments shall be collected and paid over in the same manner as other municipal taxes.

Adopted by the City Council of the City of Ham Lake this 4th day of October, 2021.


Denise Webster, City Clerk


Gary Kirkide, Acting Mayor

CITY OF HAM LAKE

FUND # 85640

155th Avenue NE from Naples Street NE to Lexington Avenue NE Street Improvement Project

| PIN | PIN ADDRESS | Total Assessments | Active | Deferred | GRAND | Deferred | Active | Total | 1st | 2nd - 19th | Last | 2022 | | 2023 | | 2024 | | 2025 | | 2026 | |
|------------------|------------------------|-------------------|--------|----------|---------------|---------------|---------------|-------------|-----------|------------|-----------|-----------|----------|-----------|----------|-----------|----------|-----------|----------|-----------|----------|
| | | | | | TOTAL | Assessment | Assessment | Interest | | | | P | I | P | I | P | I | P | I | P | I |
| 23-32-23-11-0007 | 4005 155th Ave Ne | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 23-32-23-12-0004 | 3959 155th Ave Ne | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 23-32-23-12-0005 | 3949 155TH AVE NE | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 23-32-23-13-0002 | 4002 155th Ave Ne | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 23-32-23-13-0003 | 3958 155th Ave Ne | 5 | 1 | 4 | \$ 80,433.02 | \$ 64,000.00 | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 23-32-23-14-0002 | UNASSIGNED ADDRESS | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 23-32-23-14-0003 | 4012 155TH AVE NE | 2 | 1 | 1 | \$ 32,433.02 | \$ 16,000.00 | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 23-32-23-21-0003 | 3715 155th Ave Ne | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 23-32-23-21-0004 | 3751 155th Ave Ne | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 23-32-23-21-0005 | 3631 155TH AVE NE | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 23-32-23-23-0001 | UNASSIGNED ADDRESS | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 23-32-23-24-0011 | 3658 155th Ave Ne | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 23-32-23-24-0012 | 3752 155th Ave Ne | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 23-32-23-24-0014 | 3728 155th Ave Ne | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 23-32-23-24-0015 | 3714 155th Ave Ne | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 24-32-23-21-0002 | 15510 LEXINGTON AVE NE | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 24-32-23-21-0003 | 4545 155TH AVE NE | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 24-32-23-21-0007 | 4411 155TH AVE NE | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 24-32-23-21-0008 | 4515 155TH AVE NE | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 24-32-23-21-0015 | 4451 155TH AVE NE | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 24-32-23-21-0016 | 4441 155TH AVE NE | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 24-32-23-22-0003 | 4325 155TH AVE NE | 2 | 1 | 1 | \$ 32,433.02 | \$ 16,000.00 | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 24-32-23-22-0004 | UNASSIGNED ADDRESS | 2 | 1 | 1 | \$ 32,433.02 | \$ 16,000.00 | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 24-32-23-23-0002 | UNASSIGNED ADDRESS | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 24-32-23-23-0006 | 4218 155TH AVE NE | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 24-32-23-23-0007 | 4234 155TH AVE NE | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 24-32-23-24-0002 | 4424 155TH AVE NE | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 24-32-23-24-0008 | 4530 155TH AVE NE | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| 24-32-23-24-0009 | 4516 155TH AVE NE | 1 | | | \$ 16,433.02 | | \$ 16,000.00 | \$ 433.02 | \$ 830.81 | \$ 821.17 | \$ 821.14 | \$ 790.79 | \$ 40.02 | \$ 783.12 | \$ 38.05 | \$ 785.08 | \$ 36.09 | \$ 787.04 | \$ 34.13 | \$ 789.01 | \$ 32.16 |
| | | | | | | | | | | | | | | | | | | | | | |
| Total | | | | | \$ 588,557.52 | \$ 112,000.00 | \$ 464,000.00 | \$12,557.52 | | | | | | | | | | | | | |

*The 1st installment amount is based on adopting the assessment on October 4th, 2021 with one year and 88 days interest. The interest rate is 0.25% over 20 years. (LIBOR Rate)

[illegible]

**Tradewell Soil Testing
18330 Dahlia Street NW
Cedar, MN 55011**

May 19th, 2025

RFC Engineering
13635 Johnson Street NE
Ham Lake, MN 55304

To whom it may concern:

As a licensed site evaluator who conducted the soil borings in Ruds Skogsted Plat, for Ernest Rud, I found the following: Each boring has at least 12" of natural, undisturbed soil with no redox features (mottled soil). In order to design and install a standard soil treatment system according to MN Chapter 7080 Code, at least 12" of natural soil with no signs of redox (mottling) is required. Therefore, each of the proposed lots will support 2 "standard" septic systems within the 7,500 square feet septic area as shown on the Grading Plan.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark Tradewell". The signature is fluid and cursive, with the first name "Mark" being more prominent and the last name "Tradewell" following in a similar style.

Mark Tradewell
MPCA #307



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 06/13/2025

Date of Receipt 6-16-2025

Receipt # _____ Amount \$ _____

Meeting Appearance Dates:

Planning Commission 6-23-2025

City Council _____

Please check request(s):

- ☐ Metes & Bounds Conveyance
☐ Sketch Plan
☐ Preliminary Plat Approval*
☒ Final Plat Approval
☐ Rezoning*
☐ Multiple Dog License*

- ☐ Commercial Building Permit
☐ Certificate of Occupancy
☐ Home Occupation Permit
☐ Conditional Use Permit (New)*
☐ Conditional Use Permit (Renewal)
☐ Other _____

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: Lincoln Street Commercial, LLC

Address/Location of property: 14334 & 14350 Hwy 65 NE; 1323 143rd Ave NE

Legal Description of property: SEE ATTACHED

29-32-23-24-0004, 29-32-23-31-0003, CD-1 (Parcels 1,3) CD-1 (Lots 1,2)
PIN # 29-32-23-31-0005, 29-32-23-31-0004 Current Zoning CD-2 (Parcel 2) Proposed Zoning CD-2 (Lots 3,4) R-A (Outlot)

Notes: _____

Applicant's Name: Art Rosenberg

Business Name: Lincoln Street Commercial LLC

Address 3835 Oakridge Loop E

City West Fargo State ND Zip Code 58078

Phone 701-219-4828 Cell Phone 701-219-4828 Fax _____

Email address artrosenberg@icloud.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 6/13/25

- FOR STAFF USE ONLY -


ACTION BY: Planning Commission _____
City Council _____

PROPERTY TAXES CURRENT YES NO
Any Active/Deferred Assessments YES NO

Memorandum

Date: June 18, 2025

To: Planning Commissioners

From: David A. Krugler, City Engineer 

Subject: Elwell Commercial Park

Introduction:

The Preliminary Plat, Grading, Erosion Control and Tree Protection Plan, Livability Plan, Removal Plan, Soil Amendment Plan, Details, and SWPPP were received on June 2nd. The Final Plat and Plan/Profile Johnson St NE Plan were received June 11th for the proposed 4 lot commercial development located on 37.25 acres of parcels 29-32-23-24-0004, 29-32-23-31-0003, 29-32-23-31-0004 and 29-32-23-31-0005. All of the prior review comments have been addressed. A 300-scale aerial photo, a 1,000-scale zoning map and 400-scale half-section maps are attached.

Discussion:

Lots 1 and 2 are proposed to be zoned CD-1 and Lots 3 and 4 are proposed to be zoned CD-2. The 21.54-acre Outlot A will need to be combined with the adjacent 29-32-23-32-0005 (1163 143rd Avenue) parcel, that is Lot 2, Block 1 of Entsminger Farms. Outlot A will be rezoned to the same Rural Single Family Residential (R-A) zoning as 1163 143rd Avenue. Two potential future lots are shown in the R-A zoning southwest of the future Lincoln Street extension. Future approvals, including rezoning, would be required for any future lots within any portion of the expanded 1163 143rd Avenue parcel. The Development Agreement will include conveyance of Outlot A to 1163 143rd Avenue, stipulating that building permits for the four commercial lots cannot be considered until Outlot A is conveyed.

The Johnson Street cul-de-sac exceeds the minimum 300-foot spacing requirement from the Highway 65 right-of-way, per the attached Resolution 05-10. The MSA commercial portion of 143rd Avenue from TH 65 to Lincoln Street does not have structural capacity for commercial traffic and will need to be upgraded. The City Council has authorized the City Engineer to obtain bids for the reconstruction of 143rd Avenue from Lincoln Street to Trunk Highway 65 at the June 16th Council Meeting.

The Lincoln Street extension north of 143rd Avenue does not align with the roadway, drainage and utility easements recorded in conjunction with the Entsminger Farms plat, per the attached sketch and description. Additional roadway, drainage and utility easements, that align with the proposed roadway easements, are required, prior to consideration of final plat approval of the Elwell Commercial Park development. A public hearing can be scheduled for the vacation of excess roadway, drainage and utility easements within 1163 143rd Avenue after the revised roadway easement is recorded with Anoka County.

County Ditch 59 (Coon Creek) is located in the northerly portion of the proposed development. An easement is required for that portion of the plat within 50-feet of each side of Coon Creek. There are FEMA Zone A limits adjacent to the County Ditch but a FEMA Letter of Map Amendment will not be required. The attached July 21, 2021 Existing Conditions Wetland Boundary Delineation was approved by the Coon Creek Watershed District in September of 2022. All wetlands within the four lots will be contained within drainage and utility easements.

Per Article 10-700 of City Code, the minimum building setback from TH 65 right-of-way is 50 feet. Per the attached Article 11-1850 of City Code, decorative tree planting is required along the right-of-way lines of 143rd Avenue west of Johnson Street, TH 65 and the Lincoln Street extension. The use of conifers is encouraged and preferred. Tree planting will be reviewed on an individual basis in conjunction with each of the future four commercial site plan approval applications.

The billboard on the proposed Lot 2 is non-compliant with the 10-foot setback requirement per Article 11-310.1 of City Code. The billboard must be relocated or razed. If the billboard is relocated, it will require compliance with 11-320 of City Code and a sign permit will be required, per Article 11-310.2 of City Code. Access to the billboard will also be required.

The Haugo Geotechnical Services revised Summary of Water Level Readings and Lowest Floor Slab Recommendations that was received November 18th 2024 adequately addressed prior review comments. The attached November 5th 2024 Tradewell letter certifies that each of the proposed lots will support two standard septic systems in accordance with Minnesota Rules 7080.

There is a 50-foot Northern Natural Gas (NNG) easement over the southerly portion of the property as shown on the attached Site Plan and half section map. The plans outline requirements of working within the pipeline easement that include a NNG representative to be on-site when working within 25 feet of the pipeline. Lumen has confirmed there is no telephone facilities within the area shown on the half section maps and is not needed for any future use.

The attached revised Coon Creek Watershed District permit was issued on May 29th. The Minnesota Pollution Control Agency Construction Stormwater Permit was issued on May 22nd. The Minnesota Department of Transportation has completed their review and offered no comments and is attached. The attached Midwest Natural Resources rare plant survey documented there are no rare plants within the site.

Recommendations:

It is recommended that the Final Plat of Elwell Commercial Park be recommended for approval to the City Council with the following stipulations:

- A recorded quit claim deed is to be provided for the realignment of Lincoln Street connection from 143rd Avenue to Andover Boulevard.
- The Development Agreement will require conveyance of Outlot A to 1163 143rd Avenue, stipulating that building permits for the four commercial lots cannot be considered until proof of Outlot A conveyance is received.
- The existing billboard is required to be razed. Any new billboard will be required to conform to Article 11-310.
- Future approvals, including rezoning, will be required for any future lots within any portion of the expanded 1163 143rd Avenue parcel.

PRELIMINARY PLAT

~of~ ELWELL COMMERCIAL PARK
~for~ LINCOLN STREET COMMERCIAL, LLC
P.O. BOX 9076
FARGO, ND 58106
(701) 219-4828

PROPERTY DESCRIPTION

Parcel 1:

All that part of the SE¼ of the NW¼ and the NE¼ of SW¼ of Section 29, Township 32, Range 23, lying south of Coon Creek, according to the United States Government Survey thereof, Anoka County, Minnesota,

EXCEPT:

That part of the NE¼ of SW¼ of Section 29, Township 32, Range 23, Anoka County, Minnesota described as follows:

Commencing at a point on the South line of said Northeast Quarter of the Southwest Quarter distance 288 feet West from the Southeast corner of said Northeast Quarter of the Southwest Quarter; thence North at right angles to said South line a distance of 233.00 feet to actual Point of Beginning of the tract of land to be hereby described; thence continue North along last course a distance of 200.00 feet; thence East and parallel with the South line of said Northeast Quarter of the Southwest Quarter to the East line of said Northeast Quarter of the Southwest Quarter, thence South along said East line a distance of 200 feet, more or less, to its intersection with a line drawn parallel with the South line of said Northeast Quarter of the Southwest Quarter from the actual point of beginning; thence west along said parallel line to the actual Point of Beginning. Except that part thereof taken for State Trunk Highway No. 65.

AND EXCEPT, That part of the Northeast ¼ of the Southwest ¼ of Section 29, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at a point on the South line of said Northeast ¼ of the Southwest ¼ distant 386.00 feet west from the Southeast corner of said Northeast ¼ of the Southwest ¼; thence West along said South line a distance of 150.00 feet; thence North at right angles to said South line a distance of 233 feet; thence East at right angles to last course a distance of 150.00 feet; thence South at right angles to last course a distance of 233.00 feet to the point of commencement. Subject to an easement for road purposes over the South 33.00 feet thereof. Subject to an easement for telephone purposes over the West 10.00 feet thereof, According to the map or plat thereof on file and of record in the office of the Register of Deeds in and for Anoka County, Minnesota, together with any part or portion of any street or alley lying adjacent thereto heretofore vacated or to be vacated.

AND

Parcel 2:

That part of the Northeast ¼ of the Southwest ¼ of Section 29, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at a point on the South line of said Northeast ¼ of the Southwest ¼ distant 386.00 feet west from the Southeast corner of said Northeast ¼ of the Southwest ¼; Thence West along said South line a distance of 150.00 feet; thence North at right angles to said South line a distance of 233 feet; thence East at right angles to last course a distance of 150.00 feet; thence South at right angles to last course a distance of 233.00 feet to the point of commencement. Subject to an easement for road purposes over the South 33.00 feet thereof. Subject to an easement for telephone purposes over the West 10 feet, thereof.

AND

Parcel 3:

That part of the Northeast Quarter of the Southwest Quarter of Section 29, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at a point on the South line of said Northeast Quarter of the Southwest Quarter a distance of 288.00 feet west from the southeast corner of said Northeast Quarter of the Southwest Quarter; thence North at right angles to said south line a distance of 233.00 feet to the actual Point of Beginning of the tract of land to be hereby described; thence continue north along last course a distance of 200.00 feet; thence east parallel with the south line of said Northeast Quarter of the Southwest Quarter to the east line of said Northeast Quarter of the Southwest Quarter; thence south along said east line a distance of 200.00 feet, more or less, to its intersection with a line drawn parallel with the south line of said Northeast Quarter of the Southwest Quarter from the actual point of beginning; thence west along said parallel line to the actual Point of Beginning.

Except that part thereof taken for State Trunk Highway No. 65.

TYPICAL EASEMENTS

(NOT TO SCALE)



BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES
AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS
OTHERWISE SHOWN.



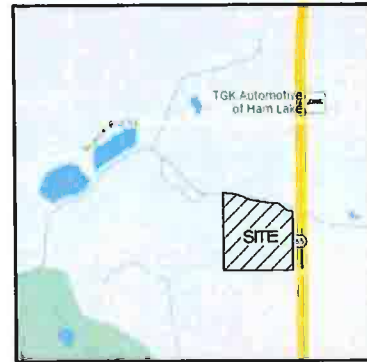
E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
Date: 05/29/2025 License No. 41578

VICINITY MAP

PART OF SEC. 29, TWP. 32, RNG. 23



ANOKA COUNTY, MINNESOTA
(NO SCALE)

NORTH

BENCHMARK

MNDOT NAME: 0208 N
GSID STATION: #563
ELEVATION: 890.297 (NAVD88)

NOTES:

- Bearings shown are on Anoka County datum.
- Parcel ID Numbers: 29-32-23-24-0004, 29-32-23-31-0003, 29-32-23-31-0005 and 29-32-23-31-0004.
- Contours shown per MnGeo lidar distribution.
- Wetlands delineated by Kjolhaug Environmental, Inc.
- OUTLOT A to be conveyed to westerly adjacent property owner.

DEVELOPMENT DATA

TOTAL SITE AREA = 37.23± ACRES

EXISTING ZONING:

- CD-1 COMMERCIAL DEVELOPMENT TIER 1 (Parcels 1 and 3)
- CD-2 COMMERCIAL DEVELOPMENT TIER 2 (Parcel 2)

PROPOSED ZONING:

- CD-1 COMMERCIAL DEVELOPMENT TIER 1 (LOTS 1 AND 2)
- CD-2 COMMERCIAL DEVELOPMENT TIER 2 (LOTS 3 AND 4)
- R-A RURAL SINGLE FAMILY RESIDENTIAL (OUTLOT A)

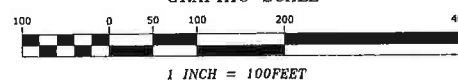
MINIMUM STREET FRONTAGE = 200 FEET

MINIMUM LOT SIZE = 1.00 ACRES (INCLUDING HALF OF STREET ROW)

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- DENOTES CABLE PEDESTAL
- DENOTES ELECTRICAL BOX
- DENOTES ELECTRICAL MANHOLE
- DENOTES FIBER OPTIC BOX
- DENOTES GAS METER
- DENOTES WELL
- DENOTES EXISTING CONTOURS (2' INTERVAL)
- DENOTES DRAINAGE AND UTILITY EASEMENT
- DENOTES WETLAND LINE DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES INC.
- DENOTES WETLAND BUFFER LINE
- DENOTES EXISTING GAS LINE
- DENOTES UNDERGROUND CABLE LINE
- DENOTES EXISTING FIBER OPTIC LINE
- DENOTES EXISTING ELECTRIC LINE
- DENOTES OVERHEAD UTILITY
- DENOTES APPROXIMATE FEMA FLOOD ZONE LINES FROM FEMA FLOOD INSURANCE RATE MAP NO. 27003C0326E PANEL NO. 0326 SUFFIX E, EFFECTIVE DATE DECEMBER 16TH, 2015.
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)
- DENOTES AREA 1' ABOVE MOTTLES

GRAPHIC SCALE



| | | | |
|---------------|----------|---------------------------|----------------|
| DRAWN BY: MMD | | JOB NO: 23.0064P | DATE: 09/10/24 |
| CHECK BY: JER | | FIELD CREW: DT/CT | |
| 1 | 10/16/24 | CITY / WATERSHED COMMENTS | MMD |
| 2 | 11/27/24 | CITY COMMENTS | MMD |
| 3 | 12/20/24 | CITY COMMENTS | MMD |
| 4 | 01/23/25 | CITY COMMENTS | MMD |
| 5 | 01/28/25 | REVISED DESCRIPTION | MMD |
| 6 | 04/29/25 | POND / 143RD | MMD |
| 7 | 05/29/25 | FINAL PLAT | MMD |
| NO. | DATE | DESCRIPTION | BY |

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

~of~ ELWELL COMMERCIAL PARK
~for~ LINCOLN STREET COMMERCIAL, LLC
P.O. BOX 9076
FARGO, ND 58106
(701) 219-4828

LEGEND

- DENOTES SOIL BORING BY TRADEWELL SOIL TESTING
- DENOTES PIEZOMETER OR PENETRATION BORING BY HAUGO GEOTECHNICAL SERVICES
- DENOTES EMERGENCY OVERFLOW ELEVATION
- DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOURS
- DENOTES WETLAND DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES COMPANY.
- DENOTES EASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES BIO ROLL TO BE INSTALLED INSIDE SILT FENCE ADJACENT TO WETLAND
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES PROPOSED CENTERLINE ELEVATION
- DENOTES PROPOSED WELL LOCATION
- DENOTES AREA 1" ABOVE MOTTLES
- DENOTES WETLAND/ VEGETATIVE BUFFER
- DENOTES WETLAND/ VEGETATIVE BUFFER SIGN
- DENOTES RIPRAP (RIPRAP TO BE VEGETATED IN WETLAND BUFFER)
- DENOTES PROPOSED STORM SEWER INLET PROTECTION
- DENOTES APPROXIMATE FEMA FLOOD ZONE LINES FROM FEMA FLOOD INSURANCE RATE MAP NO. 27003C0326E PANEL NO. 0326 SUFFIX E, EFFECTIVE DATE DECEMBER 16TH, 2015.
- DENOTES 12' POND ACCESS
- DENOTES TREE PRESERVATION AREA
- DENOTES FLOODPLAIN FILL

NORTH

OT
MENT

NORTHERN NATURAL GAS PIPELINE REQUIREMENTS

- Engineering Notes
- Engineering approval of the proposed development, provided the following conditions are met:
 - The proposed parking lot located over the pipeline should include gas leak detection posts every 75 feet, offset one foot from the centerline of the pipeline. The leak detection posts should extend below the concrete to the permeable soil below.
 - The proposed road and parking lot maintain at least 4 feet of cover over the pipeline.
 - Engineering makes note of additional Encroachment Guidelines listed below:
- Encroachment Guidelines
- Representation:** An NNG representative shall be present at all times when excavation work is being performed within 25 feet of NNG's pipeline. This requirement is per NNG operating procedure OP 80.102, "Damage Prevention Program." The contractor shall provide NNG with a Minnesota utility one call ticket with 48-hour notice prior to excavating in the area.
 - Excavation:** Mechanical excavation is allowed up to 24 inches from the NNG pipeline. Hand excavation or hydraulic excavation is required when excavating 24 inches or closer to NNG's pipeline.
 - Permanent Structures:** Any enclosed structure or building permanent in nature, regardless of purpose, may not be installed inside the NNG easement and should be installed a minimum of 35 feet from NNG facilities.
 - Foreign Utilities:** All foreign utilities (water, gas, sanitary, sewer, oil, communication, etc.) must cross NNG's pipelines at or near a right angle with a required minimum of 12 inches of separation. It is preferred that foreign utilities cross under NNG's pipeline where reasonable. Foreign utilities running parallel to NNG facilities must be placed a required minimum offset of 30 feet from NNG facilities.
 - Below grade power cables having conductors at more than 60 volts to ground should be encased in a non-metallic casing for a minimum distance of ten feet on either side of the pipeline. Cables energized to 600 volts or more should cross a minimum of three feet before the pipeline, encased in concrete, color coded red, across the entire right of way width, and have external, spiral wound, neutrals grounded on each side of the right of way. The cable crossing should be clearly and permanently marked on each side of the right of way.
 - Appurtenances:** All above grade appurtenances shall not interfere with ground patrols or leak surveys. All light poles, manholes, signs, trees, shrubs, etc. must be placed a required offset distance of 30 feet from NNG facilities.
 - Fence Posts:** New residential, commercial, and industrial fences may not cross pipelines. Fences running parallel to NNG facilities have a minimum required offset of 20 feet.
 - Parking Lot and Pavement:** NNG requires a designated 15-foot-wide "green belt" space to accommodate future leak tests. If concrete or asphalt surfaces will extend within the proposed "green belt" space for more than 100 feet over NNG's pipeline, NNG requires automatic sealing testing ports (cast from valve boxes or approved equivalent) be installed in the proposed parking lot to accommodate regular leak detection surveys by NNG field operations personnel. Testing ports are to be installed 1-2 feet off the centerline of the pipe with a maximum distance of 100 feet between testing ports.
 - Grade Modifications (Excluding New Roads):** Earthwork and other grade modification must maintain a minimum of 36 inches of cover (or existing cover if less than 36 inches) over NNG's pipeline after construction in all locations. Grading modifications shall not be designed to impound water above NNG facilities. See "Road Crossings" below for cover requirements for public roadways.
 - Road Crossings:** All public road crossings must cross the NNG pipeline at or near a right angle and maintain a minimum of four feet of cover over the pipeline within the roadway and road ditches. Roadway running parallel to NNG's facilities must be outside the easement and offset a required distance of 25 feet from NNG facilities.
 - Heavy Vehicle Crossings:** As a guideline, all vehicular crossings over the NNG pipeline have the following load restrictions (per wheel) without additional protection:
 - >34" Cover - 20,000 lbs.NNG engineering requests vehicle specifications for all construction equipment exceeding 80,000 lbs. gross vehicle weight or exceeding the specified load restrictions that will be anticipated to cross NNG facilities. NNG engineering shall recommend appropriate crossing protection methods, if required, and any vehicle crossings are preferred to cross NNG facilities at or near right angles. Potential crossing protection methods include use of timber/steel plate spanning, temporary bridge structures or pipeline reinforcement. It is the responsibility of the encroaching party to deploy crossing protection methods.
 - Damages Caused by Encroaching Party:** Any damages caused by the encroaching party to NNG facilities shall be repaired at the expense of the encroaching party. An estimate can be provided by NNG for any repairs, as required.
 - Modifications to NNG Facilities:** If the encroaching party requests that NNG relocate or modify existing facilities to accommodate the encroachment, NNG engineering can provide an estimate to do so. Modifications will be at the expense of the encroaching party.

TREE PROTECTION NOTES

- TREE PROTECTION LIMITS TO BE MARKED IN FIELD PRIOR TO ANY TREE CLEARING ACTIVITY.
- SILT / TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.
- CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE DRIP LINE OF TREES IN THE TREE PROTECTION ZONE.
- FIELD DECISIONS WILL BE MADE ON LOCATION OF TREE PROTECTION LIMITS TO PRESERVE SIGNIFICANT TREES.
- SOME TREES AND DEAD FALL ARE TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILT / TREE PROTECTION FENCE. GRUBBING OF STUMPS WILL OCCUR AFTER EROSION CONTROL MEASURES ARE INSTALLED.

NOTES

- BEARINGS SHOWN ARE ON ANOKA COUNTY DATUM.
- TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 2 FOOT CONTOUR INTERVAL (NAVD 88)
- CONTOURS SHOWN ARE PER MNGO LIDAR DISTRIBUTION AND FIELD VERIFICATION
- ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAWCUT AT FULL DEPTH.
- SEE UTILITY PLANS FOR STORM SEWER RIMS, INVERTS, AND SIZES.
- TRADEWELL SOIL TESTING COMPLETED SEPTIC SOIL BORINGS.
- PENETRATION BORINGS AND PIEZOMETERS BY HAUGO GEOTECHNICAL SERVICES.
- ALL PIPE APRONS UNDER 48" PROVIDED WITH TRASH GUARDS
- PROVIDE CLASS III RIPRAP WITH FILTER FABRIC FOR ALL PIPE OUTLETS. INSTALL 6" OF TOPSOIL ON RIPRAP IN WETLAND BUFFERS AND SEED WITH SEED MIX MNDOT 33-263.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A MN DNR DEWATERING PERMIT AND WILL PROVIDE WELL-FIELD LOCATIONS, RATES, DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO CCWD 7 DAYS PRIOR TO ANY DEWATERING OPERATIONS.
- CONTRACTORS MUST BE PROVIDED WITH DNR FLYERS/ FACT SHEETS ON BLANDING'S TURTLES.
- DISTURBED SOILS AND STOCKPILES WILL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 24 HOURS AFTER CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED

LOT GRADING NOTES

- PAD CONTOURS SHOWN ARE FOR DEMONSTRATION PURPOSES.
- THERE IS TO BE NO GRADING WITHIN ISTS AREAS
- LOTS SUBJECT TO INDIVIDUAL SITE PLAN APPROVAL.

EROSION CONTROL / REVEGETATION SPECS.

1. PRIOR TO ROUGH GRADING, INSTALL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DEEMED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
2. ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNCOMPLETED AREAS.
3. AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE NATIVE TOPSOIL, SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN 24 HOURS AFTER ROUGH GRADING.
4. MAINTAIN AND REPAIR SILT STOP FENCES (INCLUDING REMOVAL OF ACCUMULATED SILT) UNTIL VEGETATION IS ESTABLISHED.
5. SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SEQUENCING.

FLOODPLAIN FILL NOTES

- (FLOODPLAIN FILL)
- FLOODPLAIN FILL = 26.2 CU/YD
- COMPENSATORY STORAGE NOT REQUIRED PER COON CREEK WATERSHED RULES.

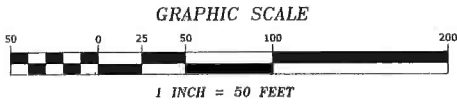
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD

Date: 05/29/2025 License No. 41578

BENCHMARK

MNDOT NAME: 0208 N
GSID STATION: #563
ELEVATION: 890.297 (NAVD88)



| DRAWN BY: MMD JOB NO: 23.0064PP DATE: 09/10/24 | | | |
|--|----------|---------------------------|-------|
| CHECK BY: | JER | FIELD CREW: | DT/CT |
| 1 | 10/16/24 | CITY / WATERSHED COMMENTS | MMD |
| 2 | 10/16/24 | WATERSHED COMMENTS | MMD |
| 3 | 11/27/24 | CITY COMMENTS | MMD |
| 4 | 12/20/24 | CITY COMMENTS | MMD |
| 5 | 01/07/25 | PIPELINE NOTES | MMD |
| 6 | 01/23/25 | CITY COMMENTS | MMD |
| 7 | 04/29/25 | POND / 143RD | MMD |
| 8 | 05/29/25 | FINAL PLAT | MMD |
| NO. | DATE | DESCRIPTION | BY |

PONDING CALCULATIONS AND STORM SEWER DESIGN BY PLOWE ENGINEERING, INC.

PLOWE ENGINEERING, INC.
8776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

SITE PLANNING & ENGINEERING
PHONE: (651) 361-8210
FAX: (651) 361-8701

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam Gninkel
ADAM GNINKEL
DATE: 05.29.2025 LIC. NO. 43963

E.G. RUD & SONS, INC.
EST. 1977
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

www.egrud.com

LIVABILITY PLAN

~of~ ELWELL COMMERCIAL PARK
~for~ LINCOLN STREET COMMERCIAL, LLC
P.O. BOX 9076
FARGO, ND 58106
(701) 219-4828

LEGEND

- ⊗ DENOTES SOIL BORING BY TRADEWELL SOIL TESTING
- ⊕ DENOTES PIEZOMETER OR PENETRATION BORING BY HAUGO GEOTECHNICAL SERVICES
- 890.0 DENOTES EMERGENCY OVERFLOW ELEVATION
- ▽ 932.36 DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOURS
- WET DENOTES WETLAND DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES COMPANY
- DENOTES EASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES DIRECTION OF DRAINAGE
- ⊗ DENOTES PROPOSED WELL LOCATION
- WET DENOTES WETLAND / VEGETATIVE BUFFER
- ⊗ DENOTES WETLAND / VEGETATIVE BUFFER SIGN
- ▨ DENOTES PROPOSED BUILDING PAD AREA
- ▨ DENOTES PROPOSED YARD AREA
- ▨ DENOTES PROPOSED SEPTIC AREA
- ▨ DENOTES 12' POND ACCESS
- ▨ DENOTES FLOODPLAIN FILL

NOTES

- BEARINGS SHOWN ARE ON ANOKA COUNTY DATUM.
- TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 2 FOOT CONTOUR INTERVAL (NAVD 88)
- CONTOURS SHOWN ARE PER MNGEO LIDAR DISTRIBUTION AND FIELD VERIFICATION
- ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAWCUT AT FULL DEPTH.
- SEE UTILITY PLANS FOR STORM SEWER RIMS, INVERTS, AND SIZES.
- TRADEWELL SOIL TESTING COMPLETED SEPTIC SOIL BORINGS.
- PENETRATION BORINGS AND PIEZOMETERS BY HAUGO GEOTECHNICAL SERVICES.
- ALL PIPE APRONS UNDER 48" PROVIDED WITH TRASH GUARDS
- PROVIDE CLASS III RIPRAP WITH FILTER FABRIC FOR ALL PIPE OUTLETS. INSTALL 6" OF TOPSOIL ON RIPRAP IN WETLAND BUFFERS AND SEED WITH SEED MIX MNDOT 33-261.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A MN DNR DEWATERING PERMIT AND WILL PROVIDE WELL-FIELD LOCATIONS, RATES, DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO CCWD 7 DAYS PRIOR TO ANY DEWATERING OPERATIONS.
- CONTRACTORS MUST BE PROVIDED WITH DNR FLYERS / FACT SHEETS ON BLANDING'S TURTLES.
- DISTURBED SOILS AND STOCKPILES WILL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 24 HOURS AFTER CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED

BENCHMARK

MNDOT NAME: 0208 N
GSID STATION: #563
ELEVATION: 890.297 (NAVD88)

NORTH

PONDING CALCULATIONS AND STORM SEWER DESIGN BY PLOWE ENGINEERING, INC.

PLOWE ENGINEERING, INC.
6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

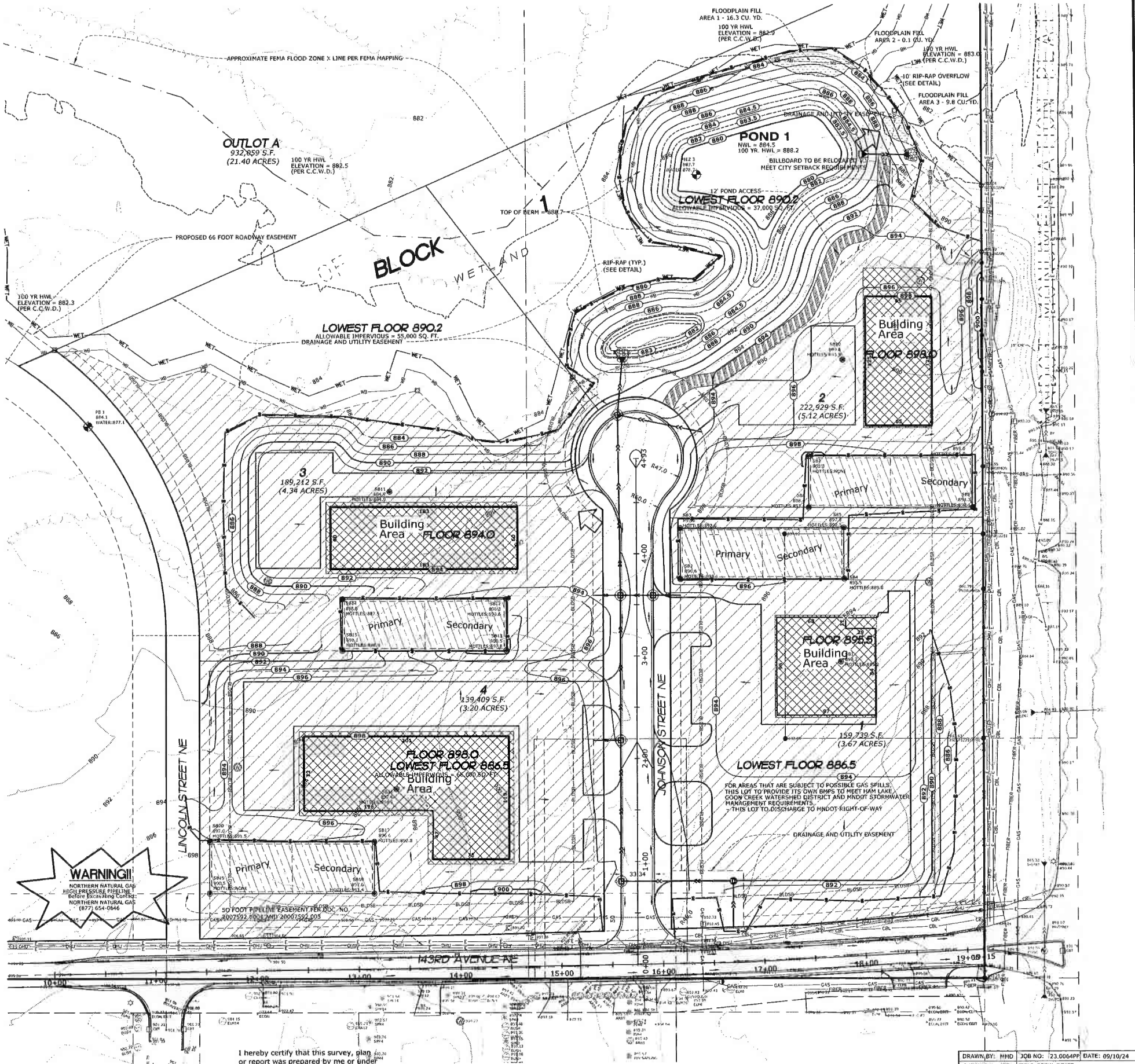
PHONE: (651) 361-8210
FAX: (651) 361-8701

SITE PLANNING & ENGINEERING

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

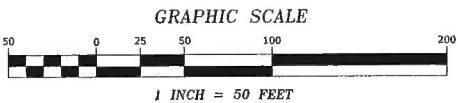
Adam Qinkel
ADAM QINKEL
DATE: 05.29.2025 LIC. NO. 43963

E.G. RUD & SONS, INC.
EST. 1977
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
Date: 05/29/2025 License No. 41578



| | | | | | |
|-----------|----------|---------------------------|-----------|-------|----------|
| DRAWN BY: | MMD | JOB NO.: | 23.0064PP | DATE: | 09/10/24 |
| CHECK BY: | JER | FIELD CREW: | DT/CT | | |
| 1 | 10/10/24 | CITY / WATERSHED COMMENTS | MMD | | |
| 2 | 11/27/24 | CITY COMMENTS | MMD | | |
| 3 | 12/20/24 | CITY COMMENTS | MMD | | |
| 4 | 01/23/25 | CITY COMMENTS | MMD | | |
| 5 | 04/29/25 | POND / 143RD | MMD | | |
| 6 | 05/29/25 | FINAL PLAT | MMD | | |
| NO. | DATE | DESCRIPTION | BY | | |

LIVABILITY PLAN

~of~ ELWELL COMMERCIAL PARK
~for~ LINCOLN STREET COMMERCIAL, LLC
P.O. BOX 9076
FARGO, ND 58106
(701) 219-4828

Livability Standards
All residential lots shall contain at least 29,500 square feet of land which lies above the 100 year flood contour. Of this 29,500 square feet, the following additional requirements must be present.

A. ISTS Area. Each lot must contain at least 7,500 square feet of contiguous area which is reserved for both the ISTS originally constructed and a future ISTS. The ISTS Area need not be contiguous to the Eligible building Area or the Yard Area, but the entire ISTS Area must exist at an elevation at least one foot above Unsuitable Soils, and must contain Undisturbed Soils or soils which meet the requirements of Rule 7080 of the Minnesota Pollution Control Agency for ISTS construction standards. The ISTS Area may be irregular in shape, provided they do not encroach into areas reserved by easement or otherwise for roadway, drainage or utility purposes, and provided that all of the area can be reasonably used for ISTS construction without the need for variances.

B. Eligible Building Area Each lot shall contain at least 10,000 square feet of contiguous land which lies at an elevation at least four feet above Unsuitable Soils. The Eligible Building Area may not be irregular in shape, and should be generally rectangular or ovoid, with no panhandles, narrow necks or peninsulas. Eligible Building Areas may not encroach into any areas reserved by easement or otherwise for roadway, drainage or utility purposes. Fill may be used to create Eligible Building Area.

C. Yard Area Each lot shall contain at least 12,000 contiguous square feet which:

- i) Lies above the 100 year flood contour, and
- ii) Lies at least one foot above soils unsuitable for the intended usage of the Yard area, and
- iii) Is contiguous to the Eligible Building Area for a distance of at least fifty percent of the lineal perimeter of the Eligible Building Area.

Yard Areas may encroach into the dedicated easement area which lies at a distance of ten feet from the perimeter of the lot, and may encroach into areas reserved by easement or otherwise for other public utility purposes, but may not encroach into any other area reserved by dedication or otherwise for road or drainage purposes, any may not encroach into any areas within the 100 year flood portion into designated wetlands, and areas may be irregular in shape except within thirty feet of the locations where the Yard Area is contiguous to the Eligible Building Area, at which locations the Yard Areas shall be a logical extension or expansion of the generally rectangular or oval shape of the Eligible Building Area. Fill may be used to create Yard Area.

D. Building Pad Areas The entire Building Pad must lie within the Eligible Building Area, and shall meet the separation requirements for the Eligible Building Area.

E. Low Floor Elevations


i) For walkout designs, the low floor elevation shall be at least two feet above the 100 year flood contour, but, notwithstanding the 100 year flood contour, not less than one foot above unsuitable soils, as determined by the City's engineer.

ii) For other designs, the low floor elevation shall be at least two feet above the 100 year flood contour, but, notwithstanding the 100 year flood contour, not less than one foot above unsuitable soils, as determined by the City's engineer.

[illegible]

NOTES: (W) INDICATES STATIC GROUNDWATER ELEVATION

PONDING CALCULATIONS
AND STORM SEWER DESIGN BY
PLOWE ENGINEERING, INC.





PLOWE
ENGINEERING, INC.
6778 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

**SITE PLANNING
& ENGINEERING**

PHONE: (651) 361-6210
FAX: (651) 361-8701

I HEREBY CERTIFY THAT THE STORMWATER
MANAGEMENT AND DRAINAGE REPORT FOR THIS
PLAN WAS PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS OF
THE STATE OF MINNESOTA.




ADAM GINKEL

DATE: 05/29/2025 LIC. NO. 43963

 **E. G. RUD & SONS, INC.**
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701
www.egrud.com

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JASON E. RUD
Date: 05/29/2025 License No. 41578

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| 5 | 05/29/25 | FINAL PLAT | | | MMD |
| NO. | DATE | DESCRIPTION | | | BY |

ELWELL COMMERCIAL PARK

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 29, T32N, R23W

KNOW ALL PERSONS BY THESE PRESENTS: That Lincoln Street Commercial, LLC, A North Dakota limited liability company, fee owner of the following described property:

Parcel 1:

All that part of the Southeast Quarter of the Northwest Quarter and the Northeast Quarter of the Southwest Quarter of Section 29, Township 32, Range 23, lying south of Coon Creek, according to the United States Government Survey thereof, Anoka County, Minnesota,

EXCEPT:

That part of the Northeast Quarter of the Southwest Quarter of Section 29, Township 32, Range 23, Anoka County, Minnesota described as follows:

Commencing at a point on the South line of said Northeast Quarter of the Southwest Quarter distance 288 feet West from the Southeast corner of said Northeast Quarter of the Southwest Quarter; thence North at right angles to said South line a distance of 233 feet to actual point of beginning of the tract of land to be hereby described; thence continue North along last course a distance of 200 feet; thence East and parallel with the South line of said Northeast Quarter of the Southwest Quarter to the East line of said Northeast Quarter of the Southwest Quarter, thence South along said East line a distance of 200 feet, more or less, to its intersection with a line drawn parallel with the South line of said Northeast Quarter of the Southwest Quarter from the actual point of beginning; thence west along said parallel line to the actual point of beginning. Except that part thereof taken for State Trunk Highway No. 65.

AND EXCEPT, That part of the Northeast Quarter of the Southwest Quarter of Section 29, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at a point on the South line of said Northeast Quarter of the Southwest Quarter distant 386 feet west from the Southeast corner of said Northeast Quarter of the Southwest Quarter; thence West along said South line a distance of 150 feet; thence North at right angles to said South line a distance of 233 feet; thence East at right angles to last course a distance of 150 feet; thence South at right angles to last course a distance of 233 feet to the point of commencement. Subject to an easement for road purposes over the South 33 feet thereof. Subject to an easement for telephone purposes over the West 10 feet thereof. According to the map or plat thereof on file and of record in the office of the Register of Deeds in and for Anoka County, Minnesota, together with any part or portion of any street or alley lying adjacent thereto heretofore vacated or to be vacated.

AND

Parcel 2:

That part of the Northeast Quarter of the Southwest Quarter of Section 29, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at a point on the South line of said Northeast Quarter of the Southwest Quarter distant 386 feet west from the Southeast corner of said Northeast Quarter of the Southwest Quarter; thence West along said South line a distance of 150 feet; thence North at right angles to said South line a distance of 233 feet; thence East at right angles to last course a distance of 150 feet, thence South at right angles to last course a distance of 233 feet to the point of commencement. Subject to an easement for road purposes over the South 33 feet thereof. Subject to an easement for telephone purposes over the West 10 feet, thereof.

AND

Parcel 3:

That part of the Northeast Quarter of the Southwest Quarter of Section 29, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at a point on the South line of said Northeast Quarter of the Southwest Quarter a distance of 288 feet west from the southeast corner of said Northeast Quarter of the Southwest Quarter; thence North at right angles to said south line a distance of 233 feet to the actual point of beginning of the tract of land to be hereby described; thence continue north along last course a distance of 200 feet; thence east parallel with the south line of said Northeast Quarter of the Southwest Quarter to the east line of said Northeast Quarter of the Southwest Quarter; thence south along said east line a distance of 200 feet, more or less, to its intersection with a line drawn parallel with the south line of said Northeast Quarter of the Southwest Quarter from the actual point of beginning; thence west along said parallel line to the actual point of beginning.

Except that part thereof taken for State Trunk Highway No. 65.

Has caused the same to be surveyed and platted as ELWELL COMMERCIAL PARK and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as shown on this plat.

In witness whereof said Lincoln Street Commercial, LLC, A North Dakota limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20__.

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20__ by _____.

(Signature)

(Print Name)

Notary Public, _____ County, _____
My Commission Expires _____

I Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20__.

Jason E. Rud, Licensed Land Surveyor
Minnesota License No. 41578

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20__ by Jason E. Rud.

(Signature)

(Print Name)

Notary Public, _____ County, Minnesota
My Commission Expires _____

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA

This plat of ELWELL COMMERCIAL PARK was approved and accepted by the City Council of the City of Ham Lake, Minnesota at a regular meeting thereof held this _____ day of _____, 20__, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Ham Lake, Minnesota

By _____ Mayor

By _____ Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20__.

David M. Zieglmeier
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20__ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 20__.

Property Tax Administrator

By _____, Deputy

COUNTY RECORDER/REGISTRAR OF TITLES
COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this plat of ELWELL COMMERCIAL PARK was filed in the office of the County Recorder/Registrar of Titles for public record on this _____ day of _____, 20__, at _____ o'clock ____M. and was duly recorded as Document Number _____.

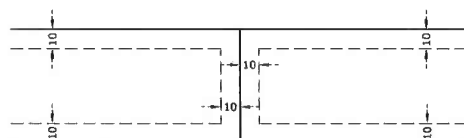
County Recorder/Registrar of Titles

By _____, Deputy






LAST SAVED BY: CBASSETT on Wednesday, June 11, 2025 at 11:08:14 AM
LOCATION: S:\RUD\CAD\23PROJ\230064PP\FINAL PLAT
FILENAME: 230064PP FINAL PLAT.DWG
SIZE: 2.12MB

A north arrow pointing upwards, labeled "NORTH" in bold capital letters. Below the arrow is a graphic scale bar with alternating black and white segments, marked with numbers 100, 0, 50, 100, 200, and 400. Below the scale bar, the text "(SCALE IN FEET)" is written in parentheses. At the bottom, the text "1 INCH = 100 FEET" is written.

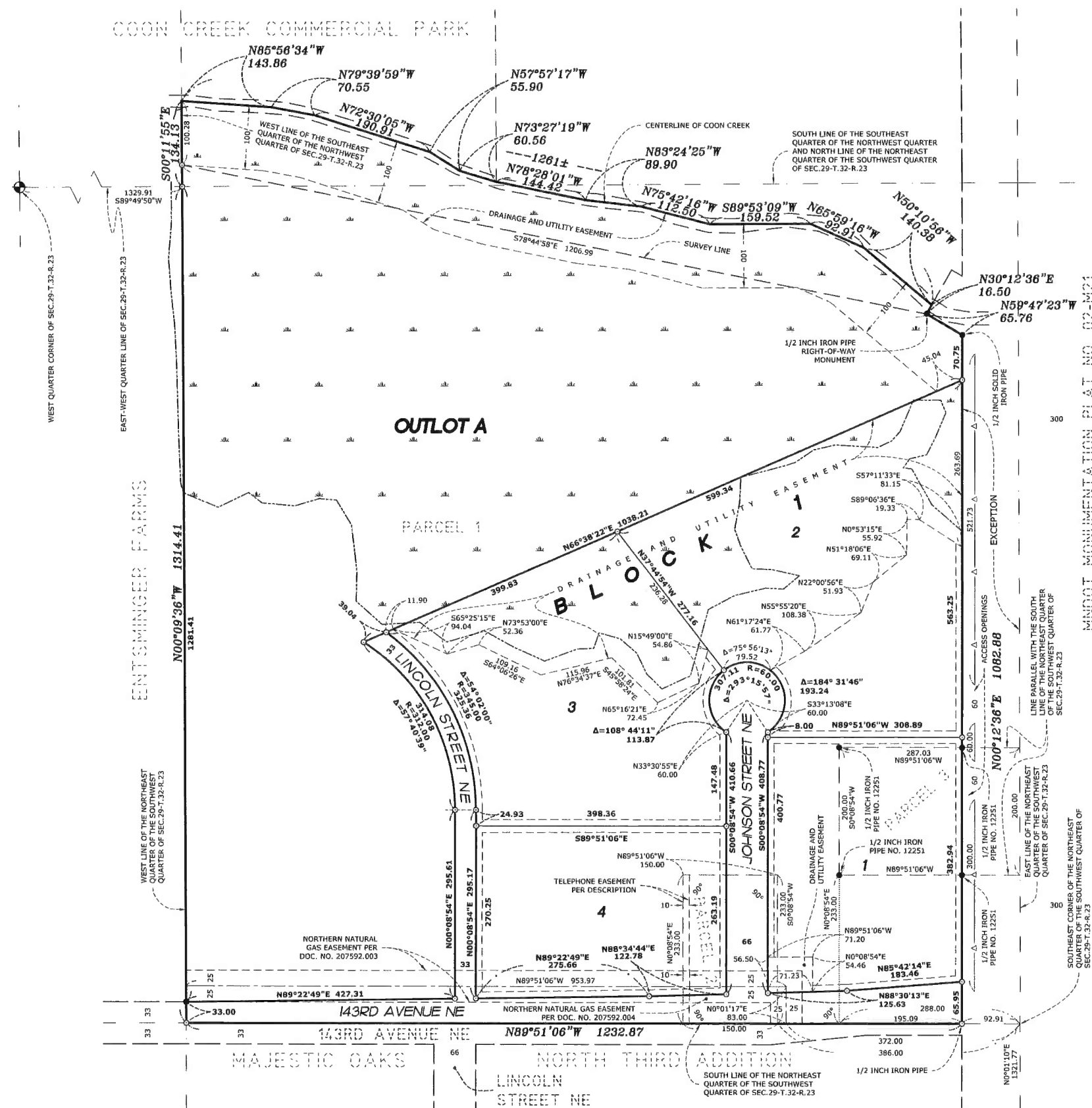
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS OTHERWISE SHOWN.

-  DENOTES ANOKA COUNTY CAST IRON MONUMENT
-  DENOTES 1/2 INCH BY 14 INCH IRON MONUMENT SET AND MARKED RLS NO. 41578.
-  DENOTES 1/2 INCH IRON PIPE FOUND, MARKED RLS NO. 41578, UNLESS OTHERWISE NOTED.
-  DENOTES WETLAND AS DELINEATED BY KJOLHAUG ENVIRONMENTAL IN JULY, 2021
-  DENOTES RESTRICTED ACCESS CONTROL PER MINNESOTA DEPARTMENT OF TRANSPORTATION MONUMENT PLAT NO. 02-M71

FOR THE PURPOSE OF THIS PLAT THE SOUTH LINE OF THE
NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF
SECTION 29, TOWNSHIP 32, RANGE 23 IS ASSUMED TO
BEAR 89 NORTH DEGREES 51 MINUTES 06 SECONDS WEST



PRODUCT MONUMENTATION PLAT NO. 02-121

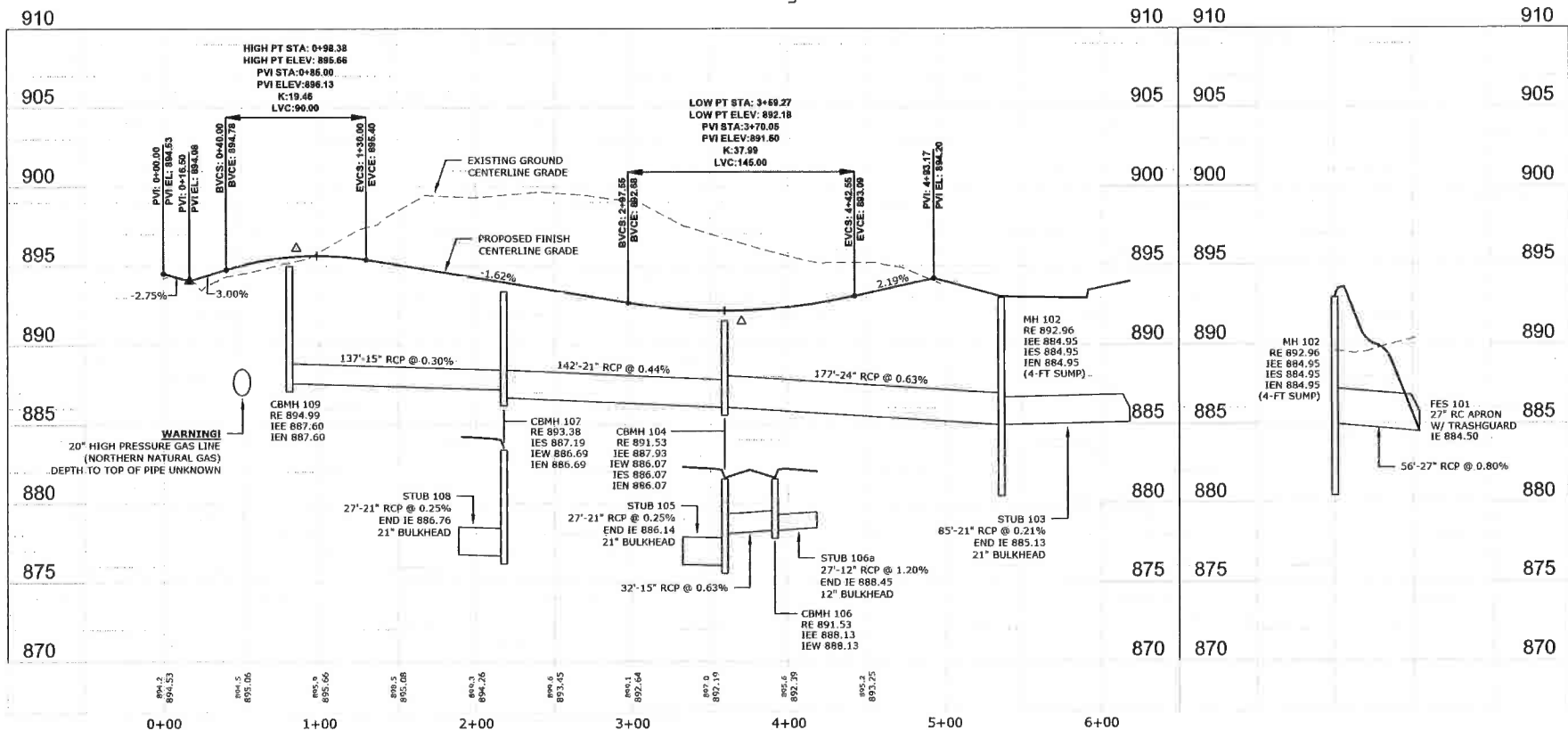
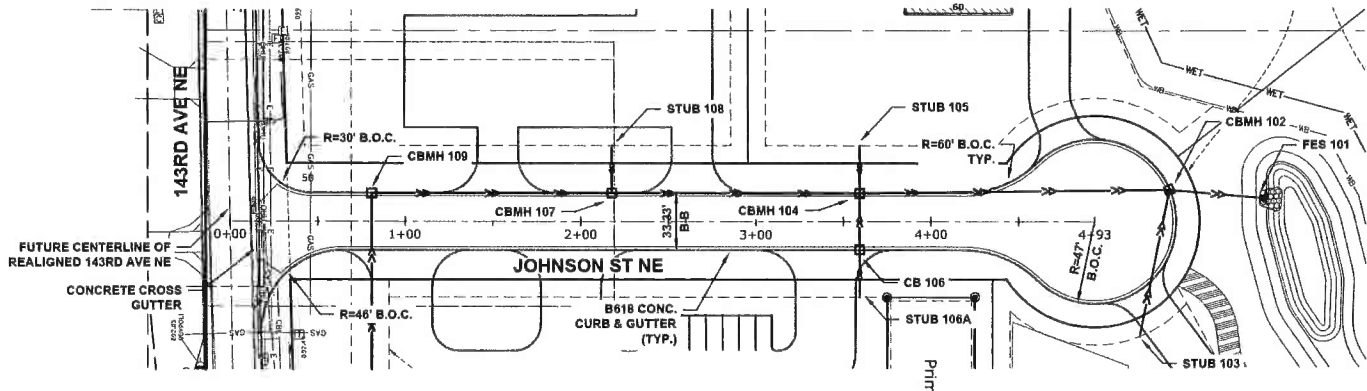
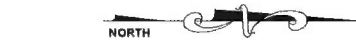
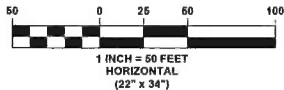
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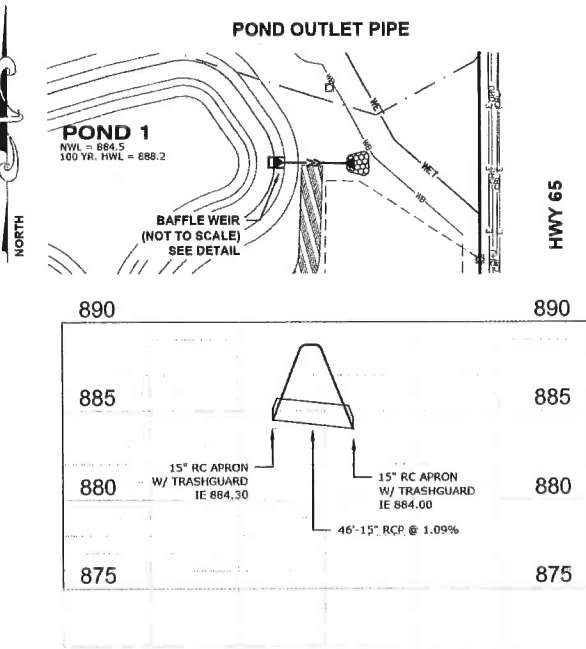
SOUTHEAST CORNER OF THE NORTHEAST
QUARTER OF THE SOUTHWEST QUARTER OF

SOUTH QUARTER CORNER OF SEC.29-T.32-R.23

| STORM SEWER STRUCTURE SCHEDULE | | | |
|--------------------------------|----------|-----------------|----------|
| STR. | SIZE | CASTING | DETAIL |
| 102 | 60" DIA. | NEENAH R-3246-C | HL-465A2 |
| 104 | 48" DIA. | NEENAH R-3246-C | HL-465A1 |
| 106 | 48" DIA. | NEENAH R-3246-C | HL-459C |
| 107 | 48" DIA. | NEENAH R-3246-C | HL-465A1 |
| 109 | 48" DIA. | NEENAH R-3246-C | HL-465A1 |
| 110 | 48" DIA. | NEENAH R-2577 | HL-465C2 |



POND OUTLET PIPE



GENERAL NOTES

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
5. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
6. NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (CCWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

STORM SEWER NOTES

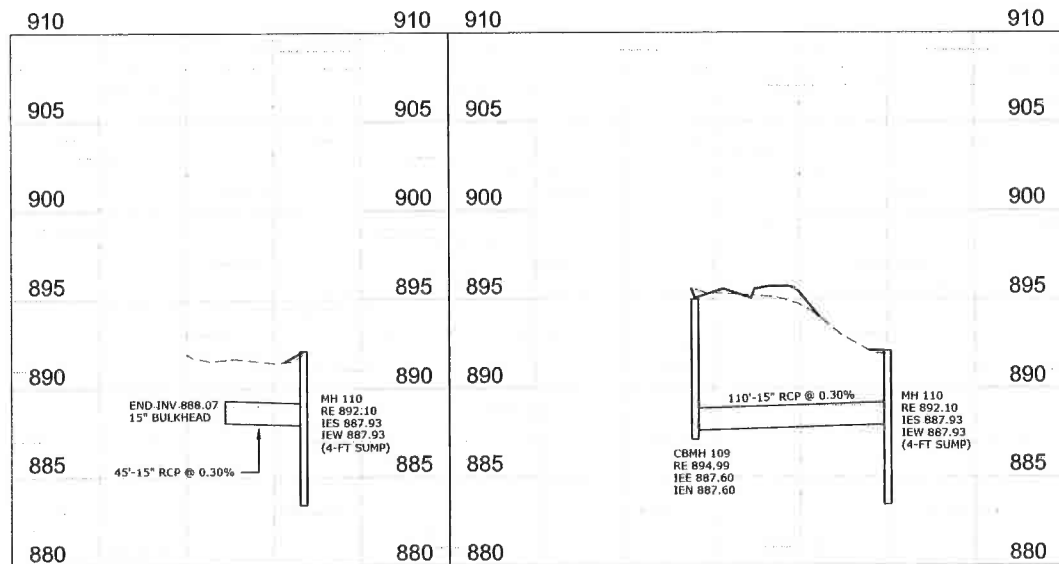
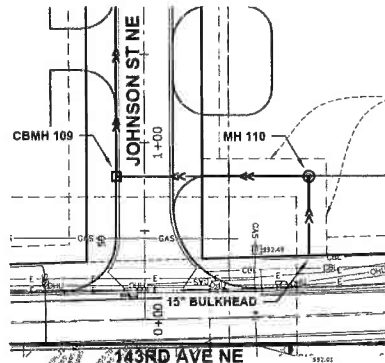
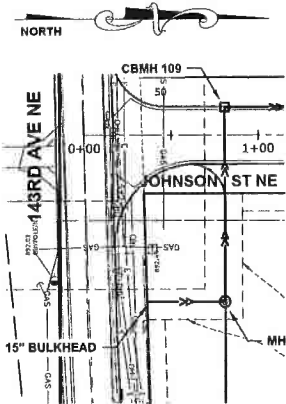
1. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWER SHALL BE:
 - (A) REINFORCED CONCRETE PIPE (RCP) ANSI C76 WITH R-4 GASKETS.
 - (B) HDPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE S WITH WATERTIGHT CONNECTIONS. USE SAND/GRANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HDPE/PPVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2321.
3. DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS INSPECTED BY CITY.
4. TRASH GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER.
5. PROVIDE CLASS III RIP-RAP W/ FILTER FABRIC AT ALL PIPE OUTLETS.
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8. ARCH PIPE JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEDIMENT FROM ENTERING PIPE.

CURB & BITUMINOUS NOTES

1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
2. ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAW-CUT AT FULL DEPTH.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
4. BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

LEGEND

- EXISTING STORM SEWER
- EXISTING STORM MANHOLE
- EXISTING CATCH BASIN
- EXISTING FLARED-END SECTION
- EXISTING DELINEATED WETLAND EDGE
- WETLAND BUFFER
- WETLAND BUFFER SIGNAGE
- EXISTING WELL
- EXISTING TELEPHONE BOX
- EXISTING TELEPHONE BOX
- EXISTING SIGN
- EXISTING MAILBOX
- EXISTING UTILITY POLE
- EXISTING STREET LIGHT
-
- EXISTING UNDERGROUND ELECTIC
- EXISTING OVERHEAD WIRE
- PROPOSED STORM SEWER PIPE
- PROPOSED STORM MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED FLARED-END SECTION
- PROPOSED RIP-RAP
- PROPOSED SPOT ELEVATION (GUTTERLINE)



| | |
|-----------|---------|
| DRAWN BY: | AG |
| CHECK BY: | AG |
| DATE: | 7/27/22 |

| | | | |
|---|----------|-------------------|--------------|
| 1 | 06.11.25 | CURB LAYOUTS ADJ. | LEADERS ADJ. |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |
| 6 | | | |
| 7 | | | |
| 8 | | | |

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.

ADAM PINKEL

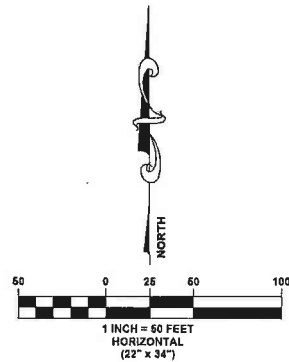
Date: 06.11.2025 License No. 43963

ELWELL COMMERCIAL PARK
HAM LAKE, MN

PLAN / PROFILE - JOHNSON ST NE

PREPARED FOR: LINCOLN STREET COMMERCIAL, LLC

SHEET
C1.1



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STORM SEWER NOTES

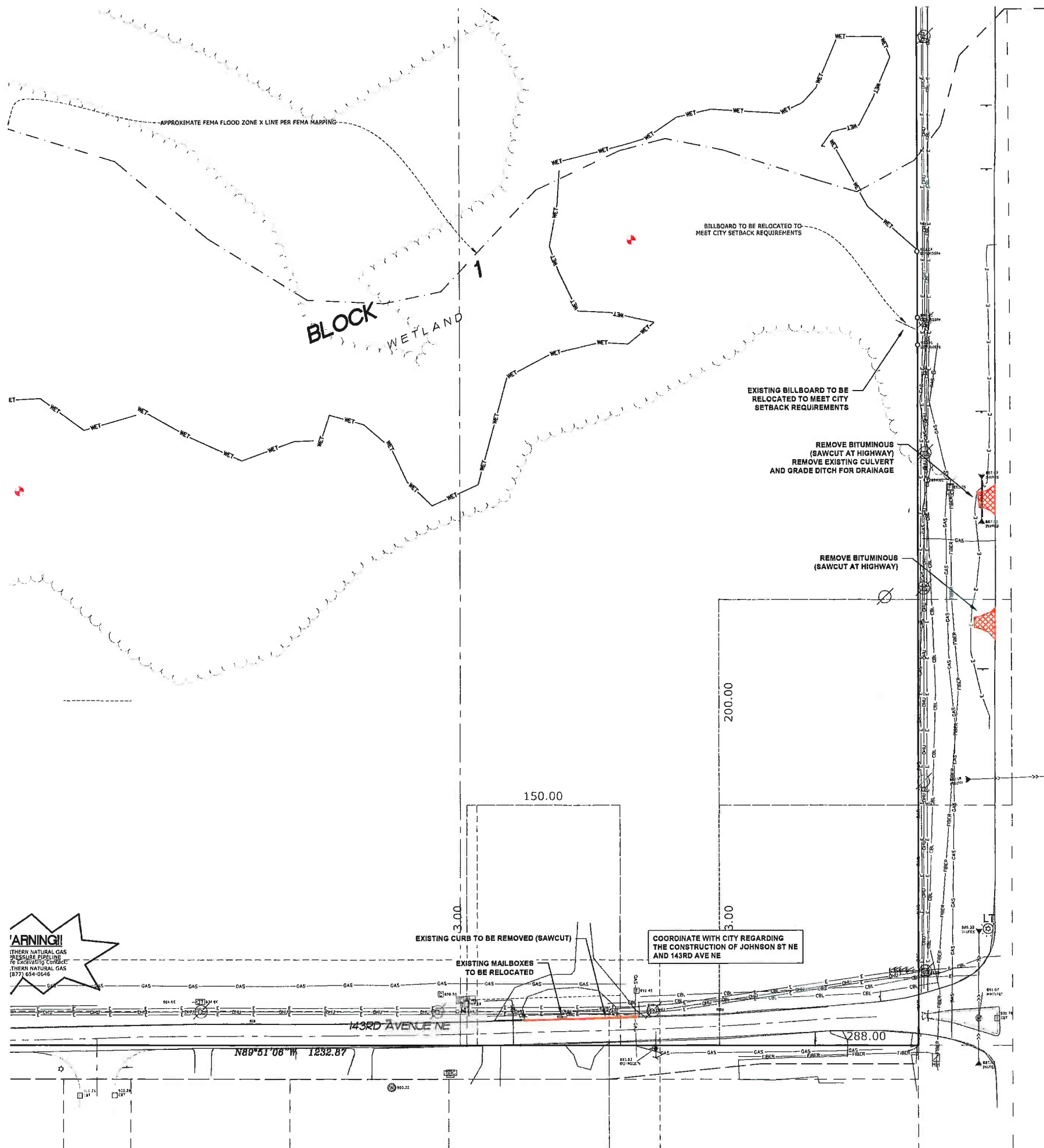
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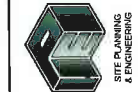
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LEGEND

| | |
|--|--------------------------------------|
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| | EXISTING STORM MANHOLE |
| | EXISTING CATCH BASIN |
| | EXISTING FLARED-END SECTION |
| | EXISTING DELINEATED WETLAND EDGE |
| | WETLAND BUFFER |
| | WETLAND BUFFER SIGNAGE |
| | EXISTING WELL |
| | EXISTING TELEPHONE BOX |
| | EXISTING TELEPHONE BOX |
| | EXISTING SIGN |
| | EXISTING MAILBOX |
| | EXISTING UTILITY POLE |
| | EXISTING STREET LIGHT |
| | EXISTING 20" HIGH PRESSURE GAS LINE |
| | EXISTING UNDERGROUND ELECTIC |
| | EXISTING OVERHEAD WIRE |
| | PROPOSED STORM SEWER PIPE |
| | PROPOSED STORM MANHOLE |
| | PROPOSED CATCH BASIN |
| | PROPOSED FLARED-END SECTION |
| | PROPOSED RIP-RAP |
| | PROPOSED SPOT ELEVATION (GUTTERLINE) |



PLOWE
ENGINEERING, INC.
8778 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 851-8210
FAX: (651) 361-8701



DRAWN BY
AC
JOB NO
23-2081
CHECK BY
MOA
DATE
7/27/22

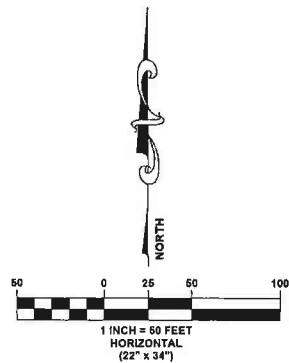
| NO | DATE | DESCRIPTION |
|----|----------|---------------------|
| 1 | 10/10/24 | CONV & REC COMMENTS |
| 2 | 11/15/24 | REC COMMENTS |
| 3 | 11/27/24 | REC COMMENTS |
| 4 | 01/29/25 | REC COMMENTS |
| 5 | 05/29/25 | REC COMMENTS |
| 6 | | |
| 7 | | |
| 8 | | |

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.

ADAM JANKEL
Date: 05/29/2025 License No. 43983

ELWELL COMMERCIAL PARK
HAM LAKE, MN
REMOVALS PLAN
PREPARED FOR: LINCOLN STREET COMMERCIAL, LLC

SHEET
C1.2



- SOIL AMENDMENT AREAS
(DISTURBED AREAS ONLY)**
1. APPLY A 2.5" LAYER OF COMPOST TO SOIL AREAS.
1.1. NOTE: RETAIN RECORDS & RECEIPTS FOR COMPOST DELIVERED TO SITE FOR RCWD INSPECTIONS
 2. ROTOTILL COMPOST INTO SOIL TO A MIN. DEPTH OF 6" BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL FLOW, RIPPER OR SUBSOILER

GENERAL NOTES

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
5. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
6. NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (CCWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

STORM SEWER NOTES

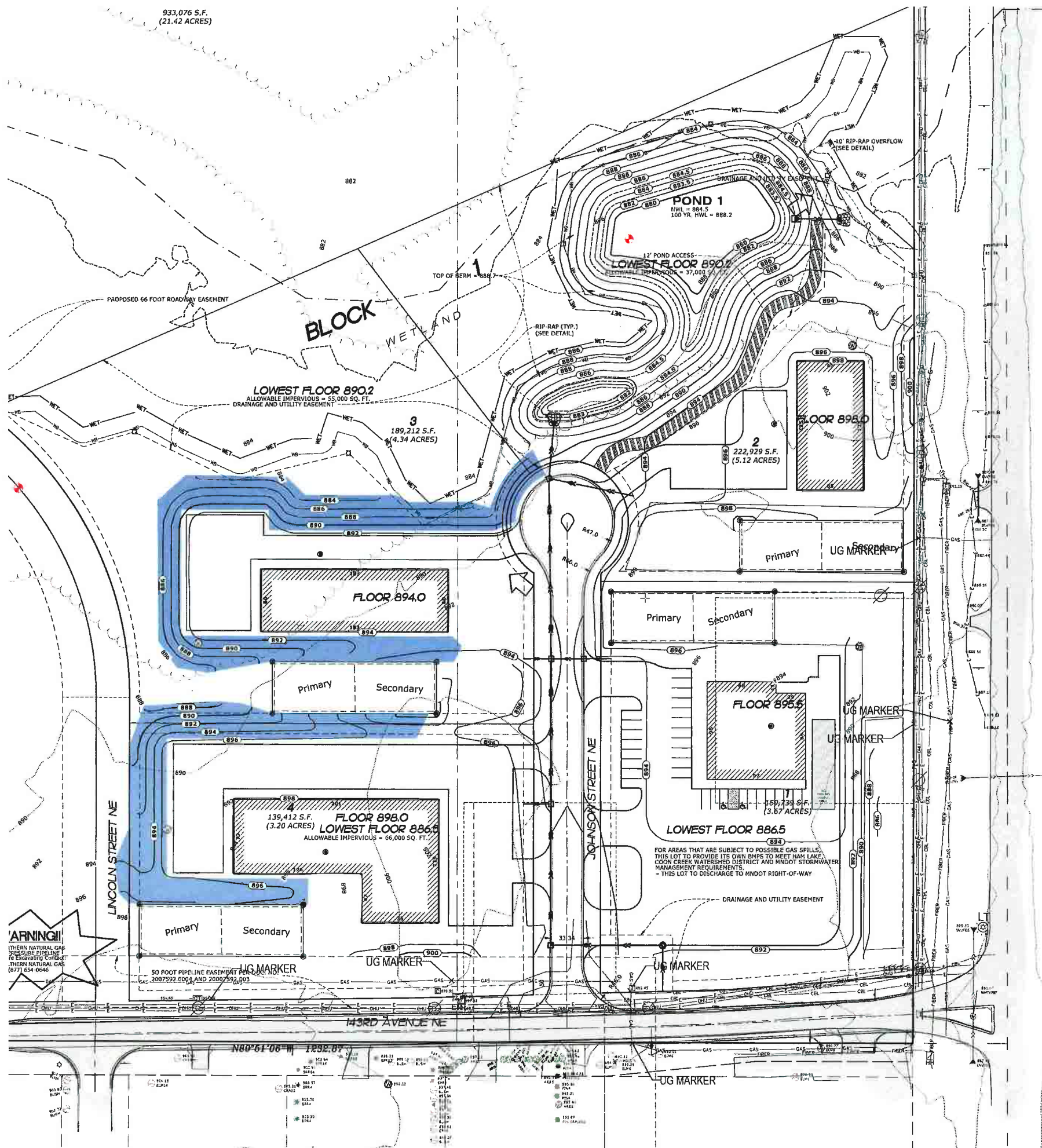
1. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWER SHALL BE:
(A) REINFORCED CONCRETE PIPE (RCP) ANSI C76 WITH R-4 GASKETS.
(B) HDPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M284, TYPE S WITH WATERTIGHT CONNECTIONS. USE SAND/GRANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HDPE/PPVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2321.
3. DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS INSPECTED BY CITY.
4. TRASH GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER.
5. PROVIDE CLASS III RIP-RAP W/ FILTER FABRIC AT ALL PIPE OUTLETS.
6. THE LAST THREE SECTIONS OF CONCRETE PIPE, INCLUDING APRON, FOR CONCRETE PIPES LESS THAN 48" IN DIAMETER.
7. STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
8. ARCH PIPE JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEDIMENT FROM ENTERING PIPE

CURB & BITUMINOUS NOTES

1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
2. ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAW-CUT AT FULL DEPTH.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
4. BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

LEGEND

| | |
|--|----------------------------------|
| | EXISTING STORM SEWER |
| | EXISTING STORM MANHOLE |
| | EXISTING CATCH BASIN |
| | EXISTING FLARED-END SECTION |
| | EXISTING DELINEATED WETLAND EDGE |
| | WETLAND BUFFER |
| | WETLAND BUFFER SIGNAGE |
| | EXISTING WELL |
| | EXISTING TELEPHONE BOX |
| | EXISTING TELEPHONE BOX |
| | EXISTING SIGN |
| | EXISTING MAILBOX |
| | EXISTING UTILITY POLE |
| | EXISTING STREET LIGHT |
| | |



PLOWE
ENGINEERING, INC.
8776 LAKES DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE (951) 361-8210
FAX (951) 361-8701



DRAWN BY
AG
JOB NO.
22-2081
CHECK BY
MOA
DATE
7/27/22

SHEET

10 18 24

SHEET ADDED TO PLAN SET

1 2 3 4 5 6 7 8

11 15 24

REF COMMENTS

01 29 25

REF COMMENTS

NO. DATE DESCRIPTION

1 10 18 24

2 11 15 24

3 01 29 25

4 01 29 25

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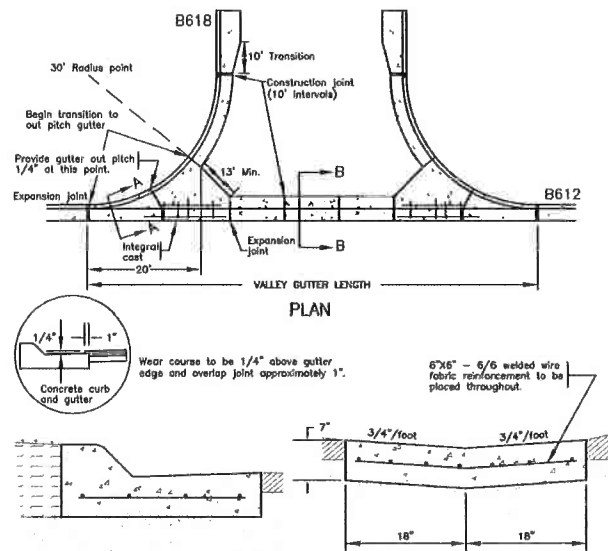
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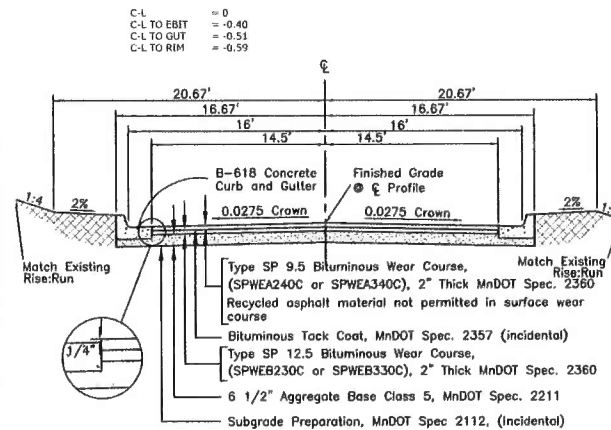
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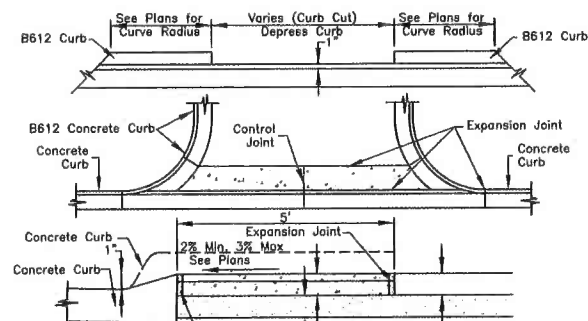


SECTION A-A
CONCRETE VALLEY GUTTER HL-355C
NOT TO SCALE



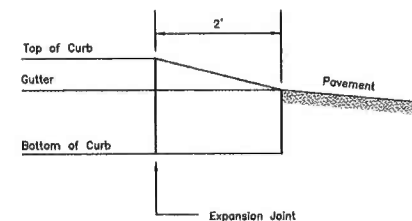
TYPICAL URBAN SECTION
TYPICAL 9 TON COMMERCIAL STREET HL-366B1
NOT TO SCALE

DATE: 1/21/2021

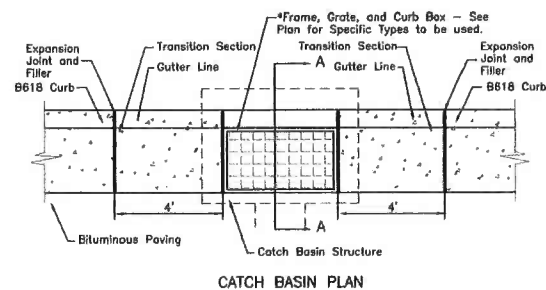


- Note:
- Match existing driveway width and elevation at matchline unless otherwise directed by engineer (See Plans).
 - If existing driveway is concrete, apron and driveway shall be constructed of 6\"/>

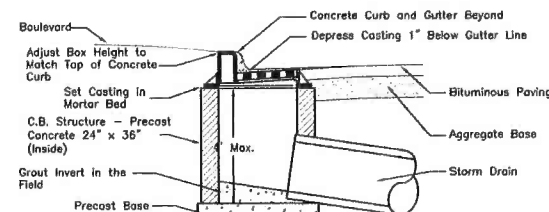
COMMERCIAL DRIVEWAY DETAIL HL-370A1
NOT TO SCALE



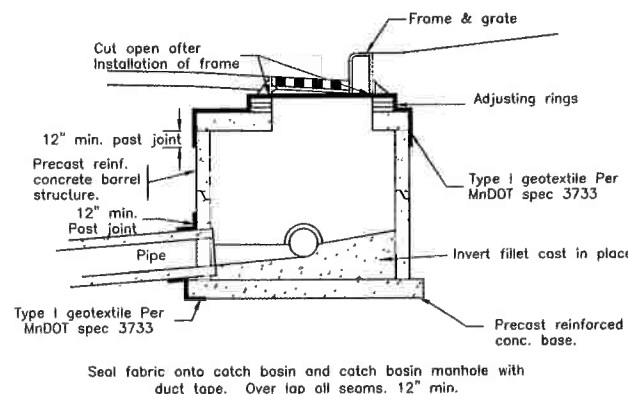
CURB END DETAIL HL-380A
NOT TO SCALE



CATCH BASIN PLAN

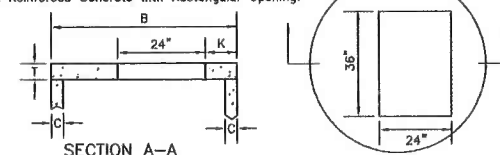


SECTION A-A
RECTANGULAR CATCH BASIN HL-459C
NOT TO SCALE

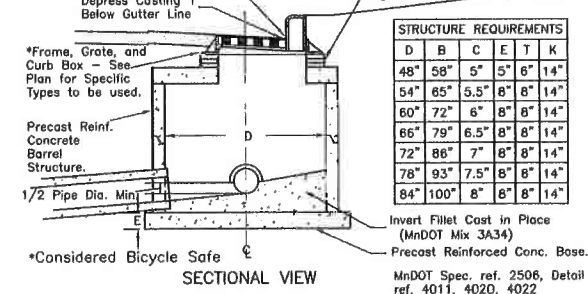


SECTIONAL VIEW
FABRIC AROUND CATCH BASIN HL-463A1
NOT TO SCALE

NOTE:
HS20 Roadway Loading Catch Basin Cover Slab of Precast Reinforced Concrete with Rectangular Opening.

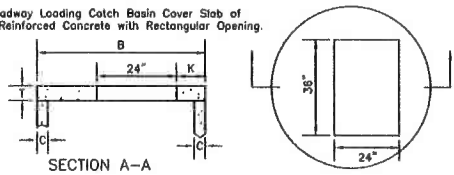


- Note:
- Steps needed for structure height greater than 4'.
 - Cover Slab to Rest on Bed of Mortar on Full Thickness of Structure Walls, not to Rest on Pipe Tongue or Groove.
 - Location of Structure as Shown in Plans.
 - See Plan for Box and Grate Type.



SECTIONAL VIEW
RECTANGULAR INLET FOR ROUND MANHOLE HL-465A1
NOT TO SCALE

NOTE:
HS20 Roadway Loading Catch Basin Cover Slab of
Precast Reinforced Concrete with Rectangular Opening.

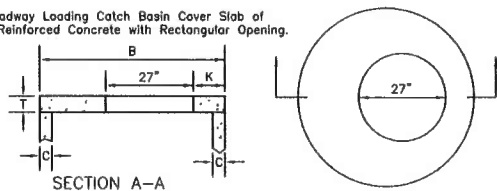


- SECTION A-A
- PLAN OF COVER SLAB
- Note:
1. Steps needed for structure height greater than 4'.
2. Cover Slab to Rest on Bed of Mortar on Full Thickness of Structure Walls, not to Rest on Pipe Tongue or Groove.
3. Location of Structure as Shown in Plans.
4. See Plan for Box and Grate Type.
- Adjusting Rings, 2 Min., 3 Max., Full 3/8" Bed of Mortar Between Rings. Plaster Exterior Only with 2" Min. Thick Coat. Strike Off Interior. No shims permitted. Stagger on the Adjustment Rings Not to Exceed 3/4" Total.
- Depress Casting 1" Below Gutter Line
- *Frame, Grate, and Curb Box - See Plan for Specific Types to be used.
- 4" SUMP
- Precast Reinf. Concrete Barrel Structure.
- *Considered Bicycle Safe
- Precast Reinforced Conc. Base. MnDOT Spec. ref. 2506, Detail ref. 4011, 4020, 4022

| STRUCTURE REQUIREMENTS | D | B | C | E | T | K |
|------------------------|------|----|----|----|-----|---|
| 48" | 58" | 8" | 8" | 6" | 14" | |
| 54" | 65" | 8" | 8" | 8" | 14" | |
| 60" | 72" | 8" | 8" | 8" | 14" | |
| 66" | 79" | 8" | 8" | 8" | 14" | |
| 72" | 86" | 8" | 8" | 8" | 14" | |
| 78" | 93" | 8" | 8" | 8" | 14" | |
| 84" | 100" | 8" | 8" | 8" | 14" | |

RECTANGULAR INLET
FOR ROUND MANHOLE HL-465A2
NOT TO SCALE

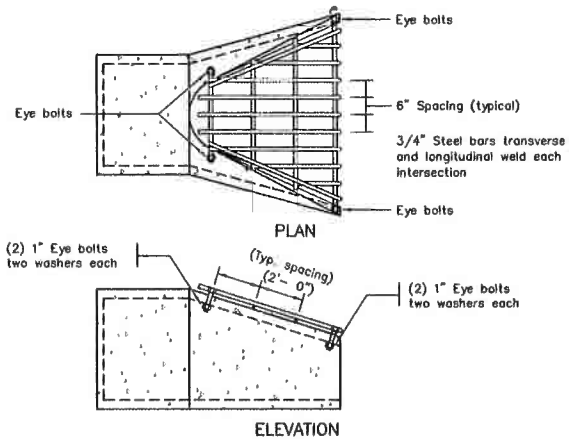
NOTE:
HS20 Roadway Loading Catch Basin Cover Slab of
Precast Reinforced Concrete with Rectangular Opening.



- SECTION A-A
- PLAN OF COVER SLAB
- Note:
1. Steps needed for structure height greater than 4'.
2. Cover Slab to Rest on Bed of Mortar on Full Thickness of Structure Walls, not to Rest on Pipe Tongue or Groove.
3. Location of Structure as Shown in Plans.
- Adjusting Rings, 2 Min., 3 Max., Full 3/8" Bed of Mortar Between Rings. Plaster Exterior Only with 2" Min. Thick Coat. Strike Off Interior. No shims permitted. Stagger on the Adjustment Rings Not to Exceed 3/4" Total.
- Frame and Grate See plan for specific type to be used.
- 4" SUMP
- Precast Reinf. Concrete Barrel Structure.
- Precast Reinforced Conc. Base. MnDOT Spec. ref. 2506, Detail ref. 4011, 4020

| STRUCTURE REQUIREMENTS | D | B | C | E | T | K |
|------------------------|------|----|----|----|----|---|
| 48" | 58" | 8" | 8" | 6" | 6" | |
| 54" | 65" | 8" | 8" | 8" | 6" | |
| 60" | 72" | 8" | 8" | 8" | 7" | |
| 66" | 79" | 8" | 8" | 8" | 7" | |
| 72" | 86" | 8" | 8" | 8" | 8" | |
| 78" | 93" | 8" | 8" | 8" | 8" | |
| 84" | 100" | 8" | 8" | 8" | 9" | |

ROUND MANHOLE HL-465C2
NOT TO SCALE

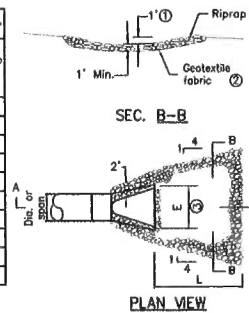


- ELEVATION
- Note:
1. Trash guard to be galvanized after fabrication.
2. The size of each trash guard will vary to fit the apron size.
3. All bolts to be non-rusting stainless steel.
4. Weld all bolts to prevent entry after final storm sewer cleaning.
5. Round all steel bars such that ends are smooth and free of burrs.

FOR PIPE DIAMETERS 30" AND SMALLER
RCP TRASH GUARD HL-466B
NOT TO SCALE

TABLE OF QUANTITIES
Riprap at RCP Outlets

| Dia. Pipe (in.) | L (ft.) | Class | | |
|-----------------|---------|----------------------------|-----------------------------|-----------------------------|
| | | II D ₅₀ = 6" | III D ₅₀ = 9" | IV D ₅₀ = 12" |
| 12 | 8 | 3.0 | 4.4 | 5.9 |
| 15 | 8 | 3.2 | 4.8 | 6.4 |
| 18 | 10 | 4.3 | 6.4 | 8.5 |
| 21 | 10 | 4.7 | 7.1 | 9.4 |
| 24 | 12 | 6.2 | 9.2 | 12.3 |
| 27 | 12 | 6.6 | 9.9 | 13.2 |
| 30 | 14 | 8.2 | 12.3 | 16.4 |
| 36 | 16 | 10.8 | 15.8 | 21.1 |
| 42 | 18 | 12.5 | 18.7 | 24.9 |
| 48 | 20 | 14.8 | 22.2 | 29.6 |

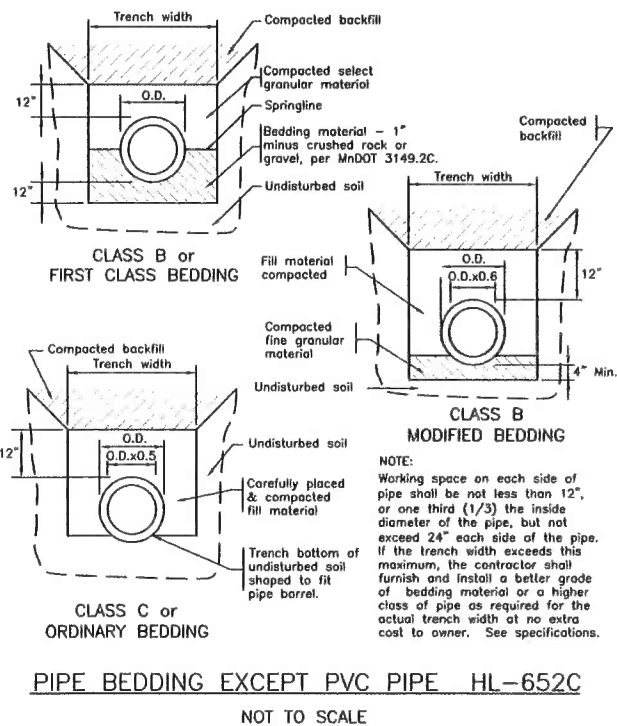


Riprap at RCPA Outlets

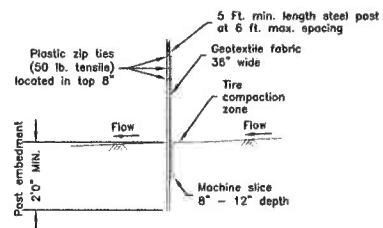
| Span Pipe Arch (in.) | L (ft.) | Class | | |
|----------------------|---------|----------------------------|-----------------------------|-----------------------------|
| | | II D ₅₀ = 6" | III D ₅₀ = 9" | IV D ₅₀ = 12" |
| 22 | 10 | 4.1 | 6.1 | 8.1 |
| 26 | 12 | 5.7 | 8.5 | 11.3 |
| 36 | 14 | 7.5 | 11.2 | 14.9 |
| 43 | 16 | 9.5 | 14.3 | 19.0 |
| 51 | 18 | 11.3 | 16.9 | 22.8 |
| 58 | 20 | 13.2 | 19.8 | 26.4 |

- SEC. A-A
- Note:
1. For pipes greater than or equal to 30" use 1.5' Geotextile fabric, Spec. 3601. The fabric should cover the area of the riprap and extend under the culvert apron 3 feet.
2. Requirements for riprap size is shown in the plans.

RIPRAP AT RCP OUTLETS HL-480A1
NOT TO SCALE



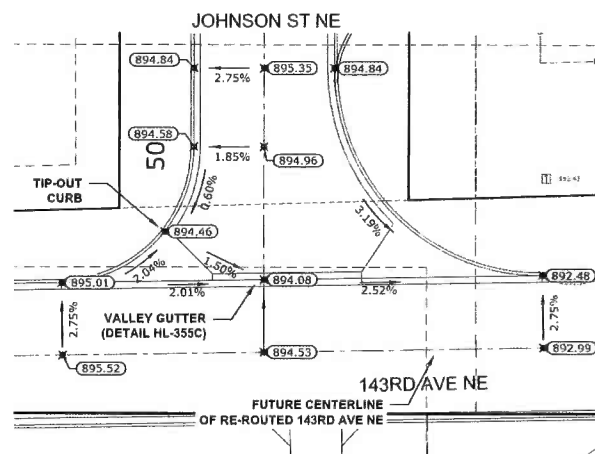
PIPE BEDDING EXCEPT PVC PIPE HL-652C
NOT TO SCALE



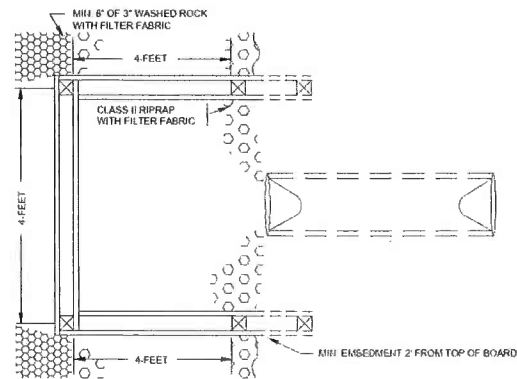
- GENERAL SILT FENCE NOTES:
Refer to MnDOT specs. 2573 & 3886
Silt fence shall be installed along the contour (on a level horizontal plane)
Curve the end of the silt fence up-gradient so that it contains the muddy water.
Maximum contributing area shall be one acre.
No single fencing unit should exceed 330 feet.
Follow slope grade/length guidelines:

| SLOPE GRADE | MAX. LENGTH |
|------------------|-------------|
| LESS THAN 2% | 100 FT. |
| 2 - 5% | 75 FT. |
| 5 - 10% | 50 FT. |
| 10 - 20% | 25 FT. |
| GREATER THAN 20% | 15 FT. |

SILT FENCE: MACHINE SLICED HL-760A
NOT TO SCALE

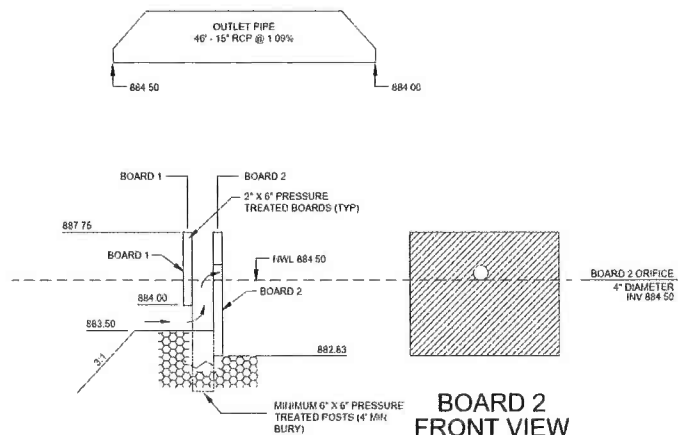


INTERSECTION DETAIL
SCALE = 1:20



- NOTES
1. USE 4\"/>

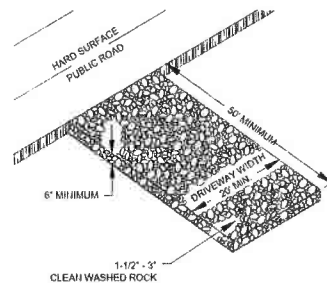
PLAN VIEW



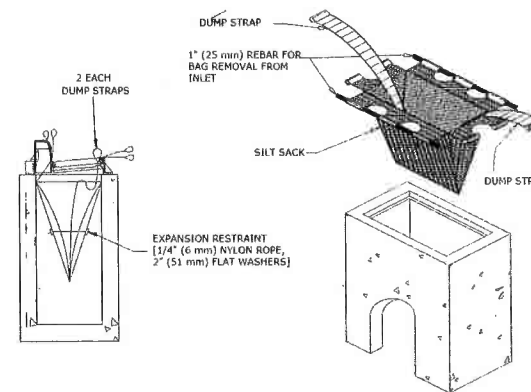
SIDE VIEW

BOARD 2 FRONT VIEW

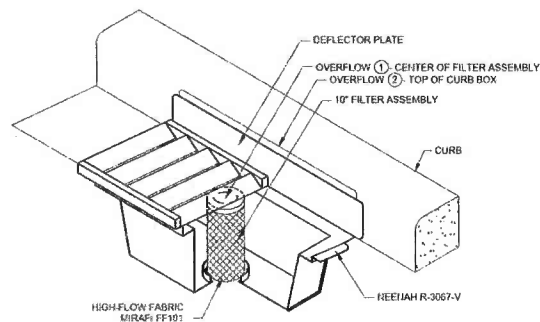
BASIN OUTLET BAFFLE WEIR
N.T.S.



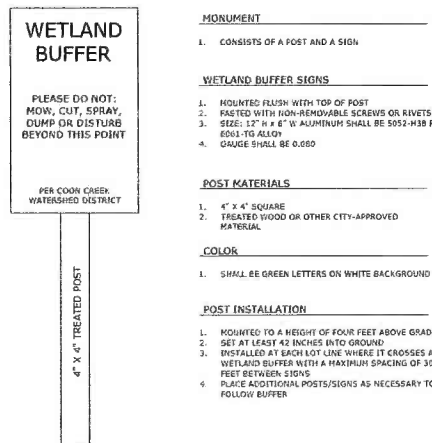
ROCK CONSTRUCTION EXIT
N.T.S.



SILT SACK
N.T.S.

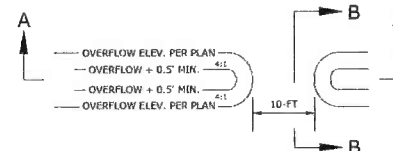


WIMCO INLET PROTECTION
N.T.S.



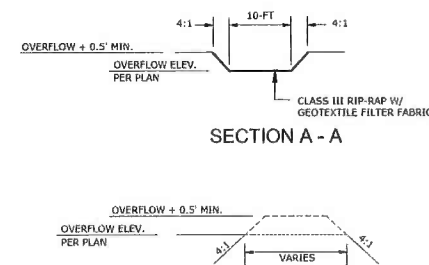
EXAMPLE ONLY - TO BE APPROVED BY CITY OF HAM LAKE AND COON CREEK WATERSHED DISTRICT

WETLAND BUFFER SIGNAGE
N.T.S.



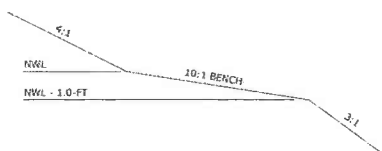
PLAN VIEW

RIP-RAP OVERFLOWS
N.T.S.

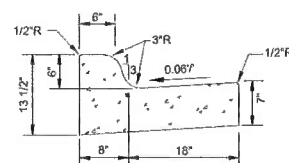


SECTION A - A

SECTION B - B



TYPICAL POND SECTION
N.T.S.



- NOTES
1. PROVIDE MIN. 3\"/>

B618 CONCRETE CURB & GUTTER
N.T.S.

PROJECT TITLE
ELWELL COMMERCIAL PARK

PROJECT LOCATION
14334 AND 14350 HWY 65 NE; 1323 143RD AVE NE
HAM LAKE, MN 55304
ANOKA COUNTY

LATITUDE: 45.230958
LONGITUDE: -93.236729

DEVELOPER
LINCOLN STREET COMMERCIAL LLC
PO BOX 9076
FARGO, ND 58106-9076

CONTACT NAME: PAUL BOERBOOM
CONTACT PHONE: (701) 306-6636
CONTACT E-MAIL: KABOOMOB@YAHOO.COM

GENERAL CONTRACTOR
TBC

NARRATIVE - PERMANENT STORMWATER TREATMENT SYSTEMS
PERMANENT STORMWATER MANAGEMENT FEATURES WILL INCLUDE AN INFILTRATION BASIN - SEE STORMWATER DRAINAGE REPORT FOR FURTHER DISCUSSION.

| SITE IMPERVIOUS AREAS | BEFORE CONSTRUCTION | AFTER CONSTRUCTION |
|----------------------------|---------------------|--------------------|
| ANALYZED AREA | 26.62 ACRES | |
| TOTAL ESTIMATED IMPERVIOUS | 2.21 ACRES | 6.02 ACRES |
| TOTAL ESTIMATED PERVIOUS | 24.41 ACRES | 20.60 ACRES |

TOTAL DISTURBED AREA
~12.6 ACRES

SITE MAP W/ EXISTING AND FINAL GRADES AND DESIGN CALCULATIONS
SEE "STORMWATER DRAINAGE REPORT" FOR EXISTING AND PROPOSED AREA MAPS, DENOTING DRAINAGE AREA BOUNDARIES, DIRECTIONS OF FLOW, AND DISCHARGE POINTS WHERE STORMWATER LEAVES THE SITE.

| RECEIVING WATERS WITHIN ONE MILE | NAME OF WATER BODY | TYPE OF WATER BODY | SPECIAL WATER | IMPAIRED WATER |
|----------------------------------|--------------------|--------------------|---------------|----------------|
| | UNNAMED WETLAND | WETLAND | NO | NO |
| | COON CREEK | CREEK | NO | YES |
| | | | | |
| | | | | |

BUFFER TO SURFACE WATER
☐ ☒ ☐ IF THE SITE DRAINS TO A SURFACE WATER, IS A 50-FT NATURAL BUFFER ADJACENT TO THE SURFACE WATER PRESERVED?
YES NO N/A
NOTE: NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS.
A) A 50-FT NATURAL BUFFER CANNOT BE PROVIDED FOR THE WETLAND; REDUNDANT SEDIMENT CONTROL MEASURES WILL BE PROVIDED FOR THOSE LOCATIONS.

TEMPORARY SEDIMENTATION BASINS
☒ ☐ ☐ IF TEN (10) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, IS A TEMPORARY SEDIMENT BASIN PROVIDED FOR TREATMENT OF THE RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTERS SURFACE WATERS?
YES NO N/A
A) BECAUSE THIS SITE IS WITHIN ONE (1) MILE OF AN IMPAIRED WATER, THE REQUIREMENT BECOMES FIVE (5) ACRES. THE CONTRACTOR SHALL PROVIDE TEMPORARY SEDIMENTATION BASINS IF FIVE (5) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION..

INFILTRATION FEASIBILITY
☒ ☐ ☐ ARE THERE ANY INFILTRATION RESTRICTIONS FOR THE SITE (SEE 15.14 THROUGH 15.21)?
YES NO N/A
A) THE SITE HAS SANDY SOILS WITH A WATER TABLE ELEVATION THAT IS LOW ENOUGH TO ALLOW FOR INFILTRATION. HOWEVER, THE BMP LOCATION IS IN HIGH MOTTLLED SOILS; THUS, MUD PONDING IS PROPOSED. THERE IS ONE LOT THAT IS ANTICIPATED TO BE A GAS STATION - THIS LOT WOULD NOT BE ABLE TO PROVIDE INFILTRATION IF IT BECOMES A GAS STATION.

ADDITIONAL STORMWATER MITIGATION MEASURES

☐ ☒ ARE THERE ANY STORMWATER MITIGATION MEASURES PER:
YES NO
• ENVIRONMENTAL REVIEW DOCUMENT?
• ENDANGERED SPECIES REVIEW?
• ARCHAEOLOGICAL REVIEW?
• OTHER LOCAL, STATE OR FEDERAL REVIEW?
IF YES TO ANY OF THE ABOVE, DESCRIBE THE MITIGATION MEASURES. FOR PURPOSES OF THIS PERMIT, MITIGATION MEASURES MEANS ACTIONS NECESSARY TO AVOID, MINIMIZE, OR MITIGATE FOR IMPACTS RELATED TO EROSION PREVENTION, SEDIMENT CONTROL, THE PERMANENT STORMWATER TREATMENT SYSTEM, POLLUTION PREVENTION MANAGEMENT MEASURES AND DISCHARGES ASSOCIATED WITH THE PROJECT'S CONSTRUCTION ACTIVITY. [MINN. R. 7090]

DOCUMENTATION OF TRAINED INDIVIDUALS
A. INDIVIDUAL WHO PREPARED THE SWPPP:
ADAM GINKEL
PLOWE ENGINEERING, INC.
6776 LAKE DRIVE
LINO LAKES MN 55014
(651) 381-8234
adam@plowe.com

B. INDIVIDUAL(S) OVERSEEING IMPLEMENTATION OF, REVISING AND/OR AMENDING THE SWPPP AND INDIVIDUALS PERFORMING INSPECTIONS FOR THE PROJECT. ONE OF THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA. [MINN. R. 7090]

CONTACT NAME _____
CONTACT PHONE _____
CONTACT E-MAIL: _____

C. INDIVIDUAL(S) PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS. [MINN. R. 7090]

CONTACT NAME _____
CONTACT PHONE _____
CONTACT E-MAIL: _____

LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORMWATER FACILITIES
THE PROPOSED STORMWATER MANAGEMENT FEATURES FOR THIS SITE IS ONE INFILTRATION BASIN WITH A PRETREATMENT CELL. HAM LAKE WILL TAKE OVER THE LONG TERM MAINTENANCE AND OPERATION OF THIS FEATURE.

| REVEGETATION SPECIFICATIONS | ITEM | MNDOT SPECIFICATION/NOTES |
|-----------------------------|---|----------------------------------|
| | SOD | 3878 |
| | SEED ** | 3876 |
| | * FOR TURF ESTABLISHMENT | |
| | COMMERCIAL TURF | MNDOT MIX 25-131 (220 LBS/ACRE) |
| | RESIDENTIAL TURF | MNDOT MIX 25-131 (120 LBS/ACRE) |
| | TEMPORARY FALL COVER | MNDOT MIX 21-112 (100 LBS/ACRE) |
| | SPRING/SUMMER | MNDOT MIX 21-111 (100 LBS/ACRE) |
| | SOIL-BUILDING COVER | MNDOT MIX 21-113 (110 LBS/ACRE) |
| | 1-2 YEARS COVER | MNDOT MIX 22-111 (30.5 LBS/ACRE) |
| | 2-5 YEARS COVER | MNDOT MIX 22-112 (40 LBS/ACRE) |
| | MULCH | 3882 (TYPE 1 - DISC ANCHORED) |
| | HYDROMULCH | 3884 |
| | FERTILIZER | 3881 |
| | WOOD FIBER BLANKET | 3885 (CATEGORY 2) |
| | * NOW A MINIMUM OF: RESIDENTIAL TURF - ONCE PER 2 WEEKS COMMERCIAL TURF - ONCE PER 4 WEEKS | |
| | ** SEEDING AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION. | |

| QUANTITIES - ESTIMATED QUANTITIES FOR EROSION AND SEDIMENT CONTROL MEASURES | TYPE | QTY | UNIT |
|---|------------------------------|-----|--------------|
| | SILT FENCE | | LINEAR FEET |
| | BIO-ROLLS | | EACH |
| | RIP-RAP W. GEO-FABRIC | | CUBIC YARDS |
| | CATCH BASIN INLET PROTECTION | | EACH |
| | STABILIZED (SODDED) OVERFLOW | | EACH |
| | EROSION CONTROL BLANKET | | SQUARE YARDS |
| | SEED & MULCH (GENERAL) | | ACRE |
| | ROCK CONSTRUCTION ENTRANCE | | EACH |

NARRATIVE - TIMING FOR INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES
ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS OR IMPLEMENTED IN THE FIELD SHALL BE IN ACCORDANCE WITH THE CITY REQUIREMENTS.

PHASE I:
1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. PROVIDE TEMPORARY PARKING AND STORAGE AREA.
3. INSTALL SILT FENCE AS SHOWN ON PLAN.
3.1. ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.
3.2. THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION.
3.3. SILT FENCE SHALL REMAIN IN-PLACE UNTIL SITE HAS BEEN STABILIZED.
3.4. CONTRACTOR TO PROVIDE ADDITIONAL SILT FENCE, BIOROLLS, EROSION CONTROL BLANKET, OR OTHER APPROVED EQUAL FOR ANY SLOPES THAT APPEAR TO BE FAILING. (NOTE: EROSION CONTROL BLANKET MUST HAVE NON-FIXED JOINTS AND BE FULLY BIODEGRADABLE; ANY BLANKET NETTING MUST BE LOOSE-WEAVE.)
4. INSTALL INLET PROTECTION FOR ALL EXISTING STORM SEWER STRUCTURES.
5. INSTALL TREE PROTECTION FENCING AS APPLICABLE.
6. PERFORM SITE GRADING ON AN AREA-BY-AREA BASIS TO MINIMIZE UNSTABILIZED AREAS.
6.1. CONTRACTOR MUST IMMEDIATELY INITIATE STABILIZATION OF EXPOSED SOIL AREAS, AS DESCRIBED IN ITEM 6.4 OF THE PERMIT, AND COMPLETE THE STABILIZATION WITHIN 24 HOURS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CEASES.
6.2. CONTRACTOR TO PROVIDE TEMPORARY SEDIMENTATION BASINS AS REQUIRED IN SECTION 14.1 THROUGH 14.10.
7. PAY SPECIAL ATTENTION TO ADJACENT PROPERTY LINES TO ENSURE THE EROSION CONTROL PRACTICES INPLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.
8. FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS.
9. CONTRACTOR SHALL BE RESPONSIBLE TO SWEEP/SCRAPE ADJACENT STREETS WHEN MATERIALS OR DEBRIS HAVE WASHED/FLOWED ONTO ADJACENT STREETS OR AS DIRECTED BY CITY.

PHASE II:
1. PROVIDE TEMPORARY SEED FOR DISTURBED AREAS.
2. INSTALL RIP-RAP AT FLARED-END SECTIONS (AS APPLICABLE).
3. INSTALL TEMPORARY INLET PROTECTION FOR ALL STORM SEWER INLET STRUCTURES IN PAVING AREAS.
4. INSTALL UTILITIES INCLUDING SANITARY SEWER, WATER MAIN, STORM SEWER.
5. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND/OR SOD.
6. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ONLY AFTER SITE HAS BEEN STABILIZED.

NPDES DEFINITIONS

"BEST MANAGEMENT PRACTICES (BMPs)" MEANS THE MOST EFFECTIVE AND PRACTICABLE MEANS OF EROSION PREVENTION AND SEDIMENT CONTROL, AND WATER QUALITY MANAGEMENT PRACTICES THAT ARE THE MOST EFFECTIVE AND PRACTICABLE MEANS OF TO CONTROL, PREVENT, AND MINIMIZE DEGRADATION OF SURFACE WATER, INCLUDING AVOIDANCE OF IMPACTS, CONSTRUCTION-PHASING, MINIMIZING THE LENGTH OF TIME SOIL AREAS ARE EXPOSED, PROHIBITIONS, POLLUTION PREVENTION THROUGH GOOD HOUSEKEEPING, AND OTHER MANAGEMENT PRACTICES PUBLISHED BY STATE OR DESIGNATED AREA-WIDE PLANNING AGENCIES. [MINN. R. 7090]

"CONSTRUCTION ACTIVITY" MEANS ACTIVITIES INCLUDING CLEARING, GRADING, AND EXCAVATING, THAT RESULT IN LAND DISTURBANCE OF EQUAL TO OR GREATER THAN ONE ACRE, INCLUDING THE DISTURBANCE OF LESS THAN ONE ACRE OF TOTAL LAND AREA THAT IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE IF THE LARGER COMMON PLAN WILL ULTIMATELY DISTURB EQUAL TO OR GREATER THAN ONE ACRE. THIS INCLUDES A DISTURBANCE TO THE LAND THAT RESULTS IN A CHANGE IN THE TOPOGRAPHY, EXISTING SOIL COVER, BOTH VEGETATIVE AND NONVEGETATIVE, OR THE EXISTING SOIL TOPOGRAPHY THAT MAY RESULT IN ACCELERATED STORMWATER RUNOFF THAT MAY LEAD TO SOIL EROSION AND MOVEMENT OF SEDIMENT. CONSTRUCTION ACTIVITY DOES NOT INCLUDE A DISTURBANCE TO THE LAND OF LESS THAN FIVE ACRES FOR THE PURPOSE OF ROUTINE MAINTENANCE PERFORMED TO MAINTAIN THE ORIGINAL LINE AND GRADE, HYDRAULIC CAPACITY, AND ORIGINAL PURPOSE OF THE FACILITY. ROUTINE MAINTENANCE DOES NOT INCLUDE ACTIVITIES SUCH AS REPAIRS, REPLACEMENT AND OTHER TYPES OF NON-ROUTINE MAINTENANCE. PAVEMENT REHABILITATION THAT DOES NOT DISTURB THE UNDERLYING SOILS (E.G., MILL AND OVERLAY PROJECTS) IS NOT CONSTRUCTION ACTIVITY. [MINN. R. 7090]

"DEWATERING" MEANS THE REMOVAL OF SURFACE OR GROUND WATER TO DRY AND/OR SOLIDIFY A CONSTRUCTION SITE TO ENABLE CONSTRUCTION ACTIVITY. DEWATERING MAY REQUIRE A MINNESOTA DEPARTMENT OF NATURAL RESOURCES WATER APPROPRIATION PERMIT AND, IF DEWATERING WATER IS CONTAMINATED, DISCHARGE OF SUCH WATER MAY REQUIRE AN INDIVIDUAL MPCA NPDES/SDS PERMIT. [MINN. R. 7090]

"EROSION PREVENTION" MEANS MEASURES EMPLOYED TO PREVENT EROSION SUCH AS SOIL STABILIZATION PRACTICES, PERMANENT COVER OR CONSTRUCTION PHASING. [MINN. R. 7090]

"GENERAL CONTRACTOR" MEANS THE PARTY WHO SIGNS THE CONSTRUCTION CONTRACT WITH THE OWNER TO CONSTRUCT THE ENTIRE PROJECT DESCRIBED IN THE FINAL PLANS AND SPECIFICATIONS. WHERE THE CONSTRUCTION PROJECT INVOLVES MORE THAN ONE CONTRACTOR, THE GENERAL CONTRACTOR IS THE PARTY RESPONSIBLE FOR MANAGING THE ENTIRE PROJECT ON BEHALF OF THE OWNER. IN SOME CASES, THE OWNER IS THE GENERAL CONTRACTOR. IN THESE CASES, THE OWNER SIGNS THE PERMIT APPLICATION AS THE OPERATOR AND BECOMES THE SOLE PERMITTEE. [MINN. R. 7090]

"GROUNDWATER" MEANS THE WATER CONTAINED BELOW THE SURFACE OF THE EARTH IN THE SATURATED ZONE INCLUDING, WITHOUT LIMITATION, ALL WATERS WHETHER UNDER CONFINED, UNCONFINED, OR PERCHED CONDITIONS, IN NEAR SURFACE UNCONSOLIDATED SEDIMENT OR REGOLITH, OR IN ROCK FORMATIONS DEEPER UNDERGROUND. [MINN. R. 7090]

"HOMEOWNER FACT SHEET" MEANS AN MPCA FACT SHEET AVAILABLE ON THE MPCA CONSTRUCTION STORMWATER WEBSITE FOR PERMITTEES TO GIVE TO HOMEOWNERS AT THE TIME OF SALE. [MINN. R. 7090]

"INFEASIBLE" MEANS NOT TECHNOLOGICALLY POSSIBLE OR NOT ECONOMICALLY PRACTICABLE AND ACHIEVABLE IN LIGHT OF THE BEST INDUSTRY PRACTICES. [MINN. R. 7090]

"INITIATED IMMEDIATELY" MEANS TAKING AN ACTION TO COMMENCE SOIL STABILIZATION AS SOON AS PRACTICABLE, BUT NO LATER THAN THE END OF THE WORK DAY, FOLLOWING THE DAY WHEN THE LAND-DISTURBING ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE, IF THE PERMITTEES KNOW THAT CONSTRUCTION WORK ON THAT PORTION OF THE SITE WILL BE TEMPORARILY CEASED FOR 24 HOURS WHERE ITEM 23.9 APPLIES. PERMITTEES CAN INITIATE STABILIZATION BY:

- PREPPING THE SOIL FOR VEGETATIVE OR NON-VEGETATIVE STABILIZATION; OR
- APPLYING MULCH OR OTHER NON-VEGETATIVE PRODUCT TO THE EXPOSED SOIL AREA; OR
- SEEDING OR PLANTING THE EXPOSED AREA; OR
- STARTING ANY OF THE ACTIVITIES IN A - C ON A PORTION OF THE AREA TO BE STABILIZED, BUT NOT ON THE ENTIRE AREA; OR
- FINALIZING ARRANGEMENTS TO HAVE STABILIZATION PRODUCT FULLY INSTALLED IN COMPLIANCE WITH THE APPLICABLE DEADLINE FOR COMPLETING STABILIZATION. [MINN. R. 7090]

"IMPERVIOUS SURFACE" MEANS A CONSTRUCTED HARD SURFACE THAT EITHER PREVENTS OR RETARDS THE ENTRY OF WATER INTO THE SOIL AND CAUSES WATER TO RUN OFF THE SURFACE IN GREATER QUANTITIES AND AT AN INCREASED RATE OF FLOW THAN PRIOR TO DEVELOPMENT. EXAMPLES INCLUDE ROOFTOPS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, AND CONCRETE, ASPHALT, OR GRAVEL ROADS. BRIDGES OVER SURFACE WATERS ARE CONSIDERED IMPERVIOUS SURFACES. [MINN. R. 7090]

"NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)" MEANS THE PROGRAM FOR ISSUING, MODIFYING, REVOKING, REISSUING, TERMINATING, MONITORING, AND ENFORCING PERMITS UNDER THE CLEAN WATER ACT, AS AMENDED (33 U.S.C. 1251 ET SEQ. SECTION 1342 AND 40 CFR PARTS 122, 123, 124 AND 450). [MINN. R. 7090]

"NATURAL BUFFER" MEANS AN AREA OF UNDISTURBED COVER SURROUNDING SURFACE WATERS WITHIN WHICH CONSTRUCTION ACTIVITIES ARE RESTRICTED. NATURAL BUFFER INCLUDES THE VEGETATION, EXPOSED ROCK, OR BARREN GROUND THAT EXISTS PRIOR TO COMMENCEMENT OF EARTH-DISTURBING ACTIVITIES. [MINN. R. 7090]

"NOTICE OF TERMINATION (NOT)" MEANS THE FORM (ELECTRONIC OR PAPER) REQUIRED FOR TERMINATING COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT. [MINN. R. 7090]

"OPERATOR" MEANS THE PERSON (USUALLY THE GENERAL CONTRACTOR), FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY DESIGNATED BY THE OWNER WHO HAS DAY TO DAY OPERATIONAL CONTROL AND/OR THE ABILITY TO MODIFY PROJECT PLANS AND SPECIFICATIONS RELATED TO THE SWPPP. THE PERMIT APPLICATION MUST LIST THE OPERATOR AS A PERMITTEE. SUBCONTRACTORS HIRED BY AND UNDER SUPERVISION OF THE GENERAL CONTRACTOR ARE NOT OPERATORS. [MINN. R. 7090]

"OWNER" MEANS THE PERSON, FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY POSSESSING THE TITLE OF THE LAND ON WHICH THE CONSTRUCTION ACTIVITIES WILL OCCUR OR, IF THE CONSTRUCTION ACTIVITY IS FOR A LEASE, EASEMENT, OR MINERAL RIGHTS LICENSE HOLDER, THE PARTY OR INDIVIDUAL IDENTIFIED AS THE LEASE, EASEMENT OR MINERAL RIGHTS LICENSE HOLDER; OR THE CONTRACTING GOVERNMENT AGENCY RESPONSIBLE FOR THE CONSTRUCTION ACTIVITY. [MINN. R. 7090]

"PERMANENT COVER" MEANS SURFACE TYPES THAT WILL PREVENT SOIL FAILURE UNDER EROSION CONDITIONS. EXAMPLES INCLUDE: GRAVEL, CONCRETE, PERENNIAL COVER, OR OTHER LANDSCAPED MATERIAL THAT WILL PERMANENTLY ARREST SOIL EROSION. PERMITTEES MUST ESTABLISH A UNIFORM PERENNIAL VEGETATIVE COVER (I.E. EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) WITH A DENSITY OF 70 PERCENT OF THE NATIVE BACKGROUND VEGETATIVE COVER ON ALL AREAS NOT COVERED BY PERMANENT STRUCTURES, OR EQUIVALENT PERMANENT STABILIZATION MEASURES. PERMANENT COVER DOES NOT INCLUDE TEMPORARY BMPS SUCH AS WOOD FIBER BLANKET, MULCH, AND ROLLED EROSION CONTROL PRODUCTS. [MINN. R. 7090]

"PERMITTEES" MEANS THE PERSONS, FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY IDENTIFIED AS THE OWNER AND OPERATOR ON THE APPLICATION SUBMITTED TO THE MPCA AND ARE RESPONSIBLE FOR COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT. [MINN. R. 7090]

"PROJECT(S)" MEANS ALL CONSTRUCTION ACTIVITY PLANNED AND/OR CONDUCTED UNDER A PARTICULAR PERMIT. THE PROJECT OCCURS ON THE SITE OR SITES DESCRIBED IN THE PERMIT APPLICATION, THE SWPPP AND IN THE ASSOCIATED PLANS, SPECIFICATIONS AND CONTRACT DOCUMENTS. [MINN. R. 7090]

"PUBLIC WATERS" MEANS ALL WATER BASINS AND WATERCOURSES DESCRIBED IN MINN. STAT. SECT. 103G.005 SUBP. 15. [MINN. R. 7090]

"SEDIMENT CONTROL" MEANS METHODS EMPLOYED TO PREVENT SUSPENDED SEDIMENT IN STORMWATER FROM LEAVING THE SITE (E.G. SILT FENCES, COMPOST LOGS AND STORM DRAIN INLET PROTECTION). [MINN. R. 7090]

"STABILIZE", "STABILIZED", "STABILIZATION" MEANS THE EXPOSED GROUND SURFACE HAS BEEN COVERED BY APPROPRIATE MATERIALS SUCH AS MULCH, STAKED SOD, RIPRAP, EROSION CONTROL BLANKET, MATS OR OTHER MATERIAL THAT PREVENTS WATERCOURSES, AND IRRIGATION SYSTEMS WHETHER NATURAL OR ARTIFICIAL, PUBLIC OR PRIVATE, EXCEPT THAT SURFACE WATERS DO NOT INCLUDE STORMWATER TREATMENT SYSTEMS CONSTRUCTED FROM UPLAND. THIS PERMIT DOES NOT CONSIDER STORMWATER TREATMENT SYSTEMS CONSTRUCTED IN WETLANDS AND MITIGATED IN ACCORDANCE WITH SECTION 22 AS SURFACE WATERS. [MINN. R. 7090]

"STORMWATER" MEANS PRECIPITATION RUNOFF, STORMWATER RUNOFF, SNOWMELT RUNOFF, AND ANY OTHER SURFACE RUNOFF AND DRAINAGE. [MINN. R. 7090]

"STEEP SLOPES" MEANS SLOPES THAT ARE 1:3 (V:H) (33.3 PERCENT) OR STEEPER IN GRADE. [MINN. R. 7090]

"STORM WATER POLLUTION PREVENTION PLAN (SWPPP)" MEANS A PLAN FOR STORMWATER DISCHARGE THAT INCLUDES ALL REQUIRED CONTENT UNDER IN SECTION 5 THAT DESCRIBES THE EROSION PREVENTION, SEDIMENT CONTROL AND WASTE CONTROL BMPS AND PERMANENT STORMWATER TREATMENT SYSTEMS. [MINN. R. 7090]

"SURFACE WATER OR WATERS" MEANS ALL STREAMS, LAKES, PONDS, MARSHES, WETLANDS, RESERVOIRS, SPRINGS, RIVERS, DRAINAGE SYSTEMS, WATERWAYS, WATERCOURSES, AND IRRIGATION SYSTEMS WHETHER NATURAL OR ARTIFICIAL, PUBLIC OR PRIVATE, EXCEPT THAT SURFACE WATERS DO NOT INCLUDE STORMWATER TREATMENT SYSTEMS CONSTRUCTED FROM UPLAND. THIS PERMIT DOES NOT CONSIDER STORMWATER TREATMENT SYSTEMS CONSTRUCTED IN WETLANDS AND MITIGATED IN ACCORDANCE WITH SECTION 22 AS SURFACE WATERS. [MINN. R. 7090]

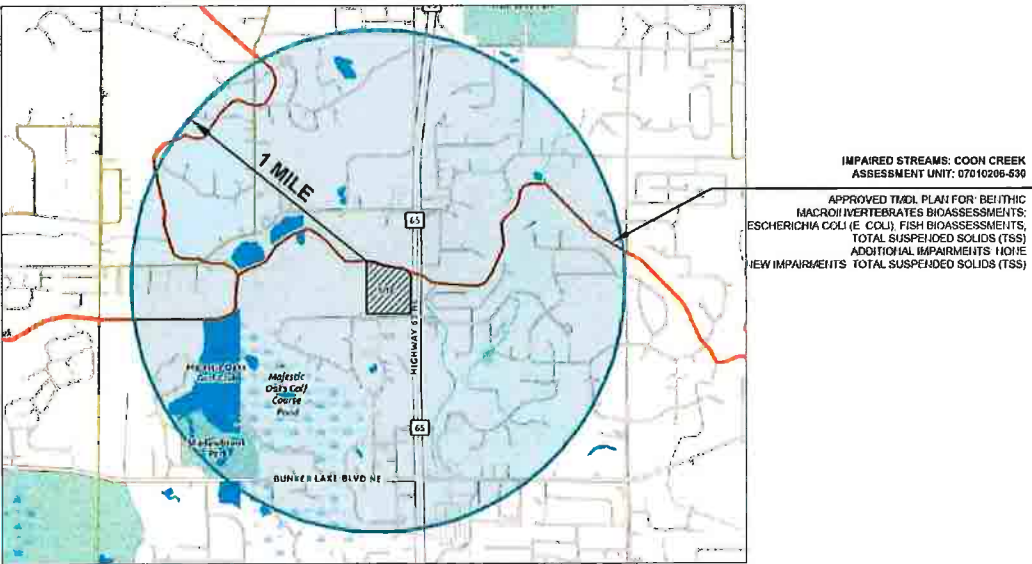
"WATERS OF THE STATE" (AS DEFINED IN MINN. STAT. SECT. 115.01, SUBP. 22) MEANS ALL STREAMS, LAKES, PONDS, MARSHES, WATERCOURSES, WATERWAYS, WELLS, SPRINGS, RESERVOIRS, ACQUIRES, IRRIGATION SYSTEMS, DRAINAGE SYSTEMS AND ALL OTHER BODIES OR ACCUMULATIONS OF WATER, SURFACE OR UNDERGROUND, NATURAL OR ARTIFICIAL, PUBLIC OR PRIVATE, WHICH ARE CONTAINED WITHIN, FLOW THROUGH, OR BORDER UPON THE STATE OR ANY PORTION THEREOF. [MINN. STAT. 115.01, SUBP. 22]

"WATER QUALITY VOLUME" MEANS ONE (1) INCH OF RUNOFF FROM THE NET INCREASE IN IMPERVIOUS SURFACES CREATED BY THE PROJECT (CALCULATED AS AN INSTANTANEOUS VOLUME). [MINN. R. 7090]

"WETLANDS" (AS DEFINED IN MINN. R. 7050.0186, SUBP. 1A.B.) MEANS THOSE AREAS THAT ARE INUNDATED OR SATURATED BY SURFACE WATER OR GROUNDWATER AT A FREQUENCY AND DURATION SUFFICIENT TO SUPPORT, AND UNDER NORMAL CIRCUMSTANCES DO SUPPORT, A PREVALENCE OF VEGETATION TYPICALLY ADAPTED FOR LIFE IN SATURATED SOIL CONDITIONS. WETLANDS GENERALLY INCLUDE SWAMPS, MARSHES, BOGS, AND SIMILAR AREAS. CONSTRUCTED WETLANDS DESIGNED FOR WASTEWATER TREATMENT ARE NOT WATERS OF THE STATE. WETLANDS MUST HAVE THE FOLLOWING ATTRIBUTES:

- A PREDOMINANCE OF HYDRIC SOILS; AND
- INUNDATED OR SATURATED BY SURFACE WATER OR GROUNDWATER AT A FREQUENCY AND DURATION SUFFICIENT TO SUPPORT A PREVALENCE OF HYDROPHYTIC VEGETATION TYPICALLY ADAPTED FOR LIFE IN A SATURATED SOIL CONDITION; AND
- UNDER NORMAL CIRCUMSTANCES SUPPORT A PREVALENCE OF SUCH VEGETATION. [MINN. R. 7050.0166, SUBP. 1A.B.]

MAP OF SURFACE WATERS



PLOWE ENGINEERING, INC.
8770 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8710
FAX: (651) 361-8701
SITE PLANNING & ENGINEERING

DRAWN BY: AG
JOB NO: 71-2081
CHECK BY: MOA
DATE: 7/27/2022

NO. DATE DESCRIPTION

1 10-10-24 CCOWD & REC. COMMENTS

2 10-18-24 IMPERVIOUS NUMBERS CORRECTED

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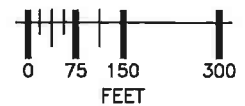
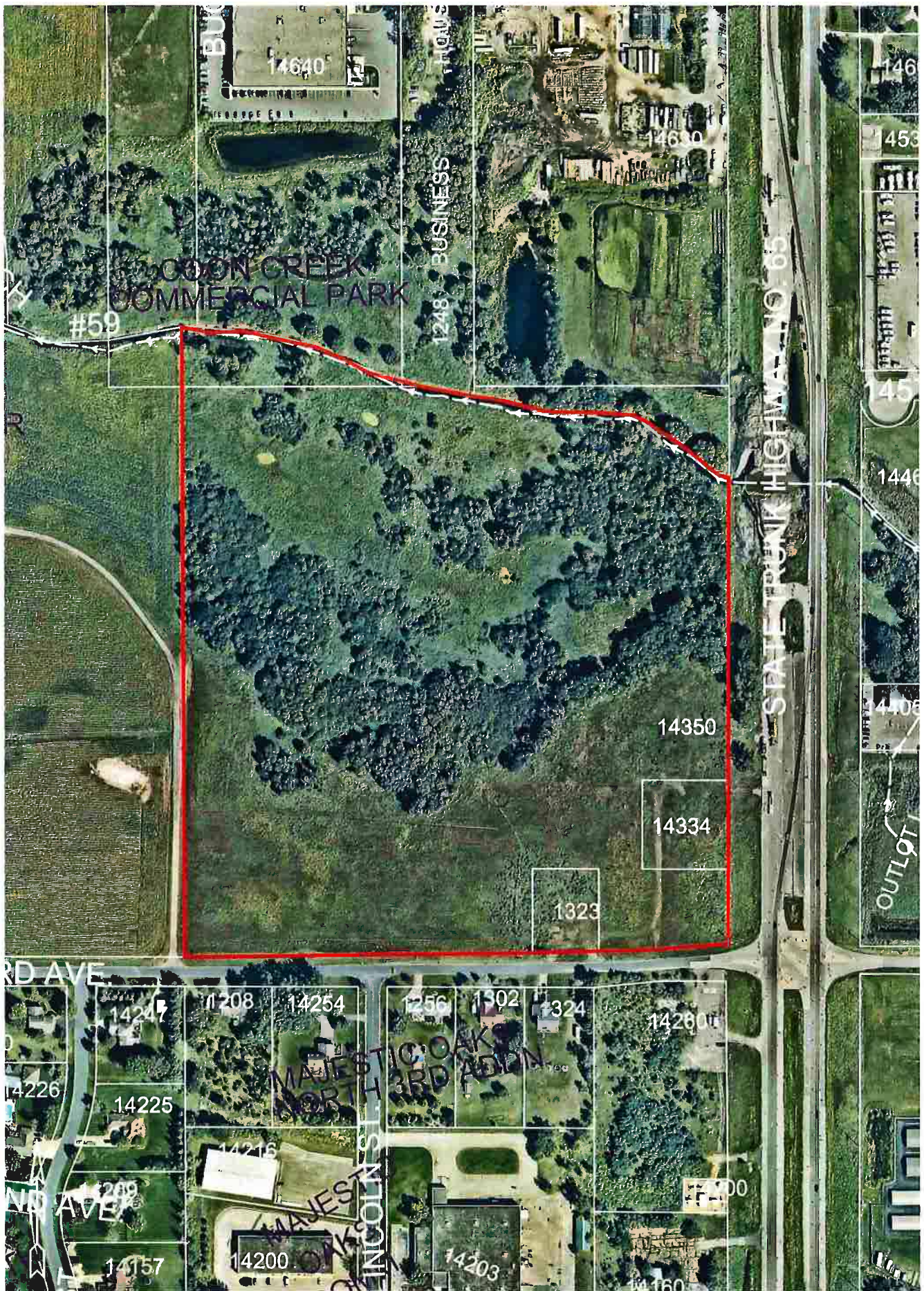
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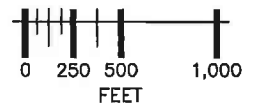
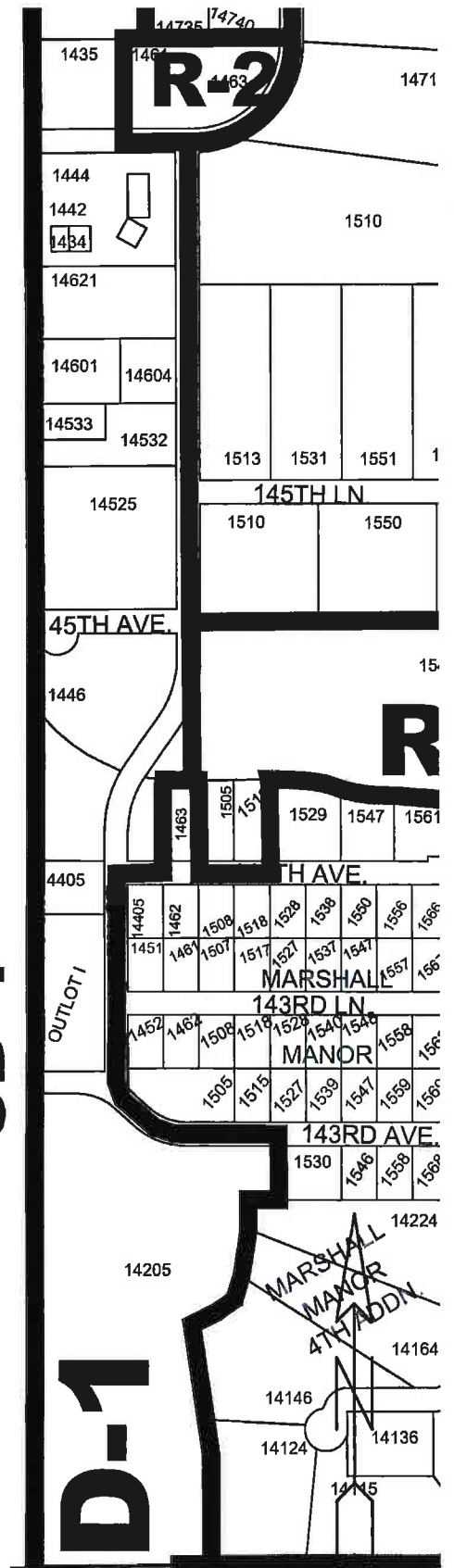
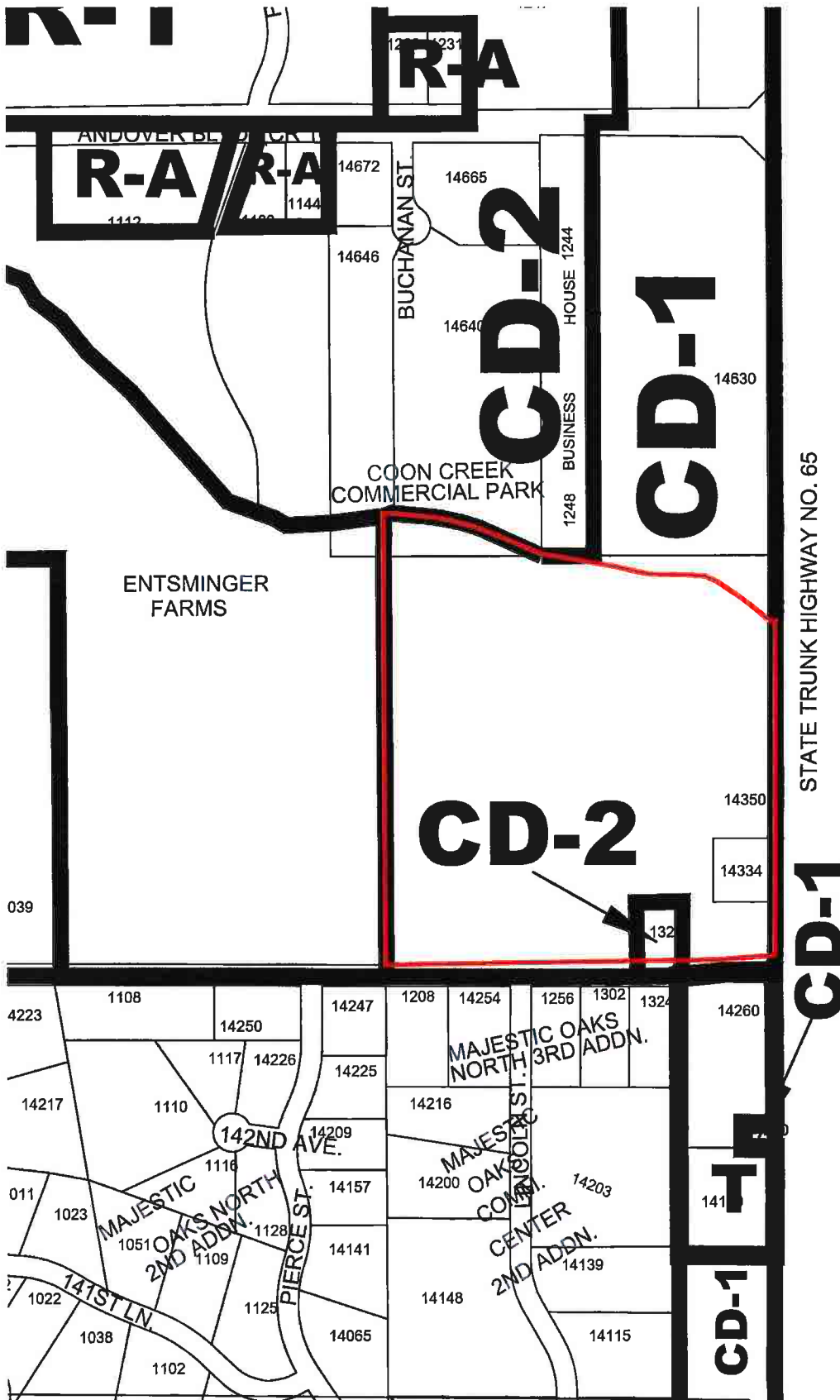
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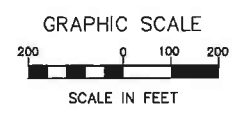
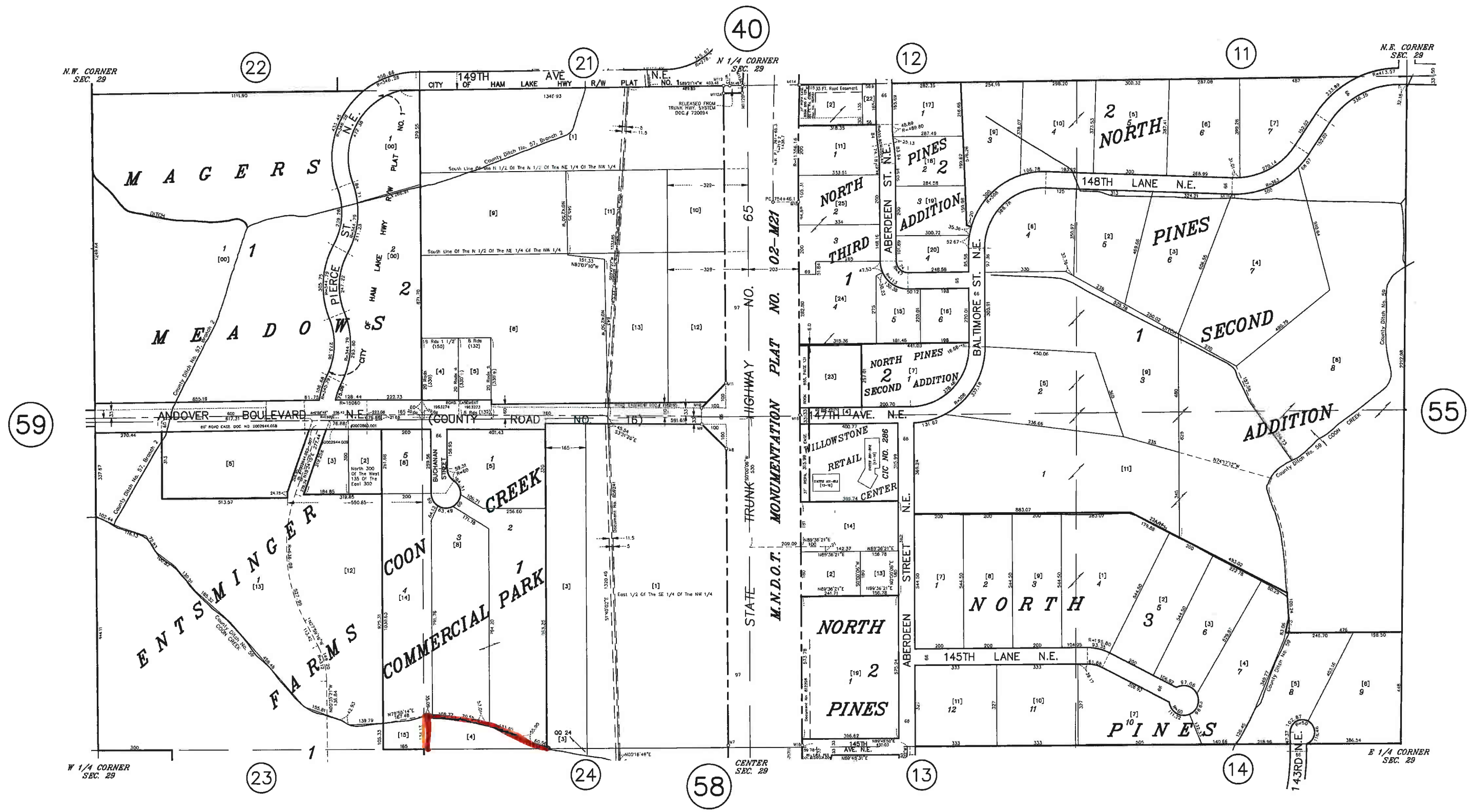
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N 1/2 SECTION 29, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

| | | | |
|----|----|----|----|
| 22 | 21 | 12 | 11 |
| 23 | 24 | 13 | 14 |
| 32 | 31 | 42 | 41 |
| 33 | 34 | 43 | 44 |

NORTH HALF OF SECTION

SOUTH HALF OF SECTION

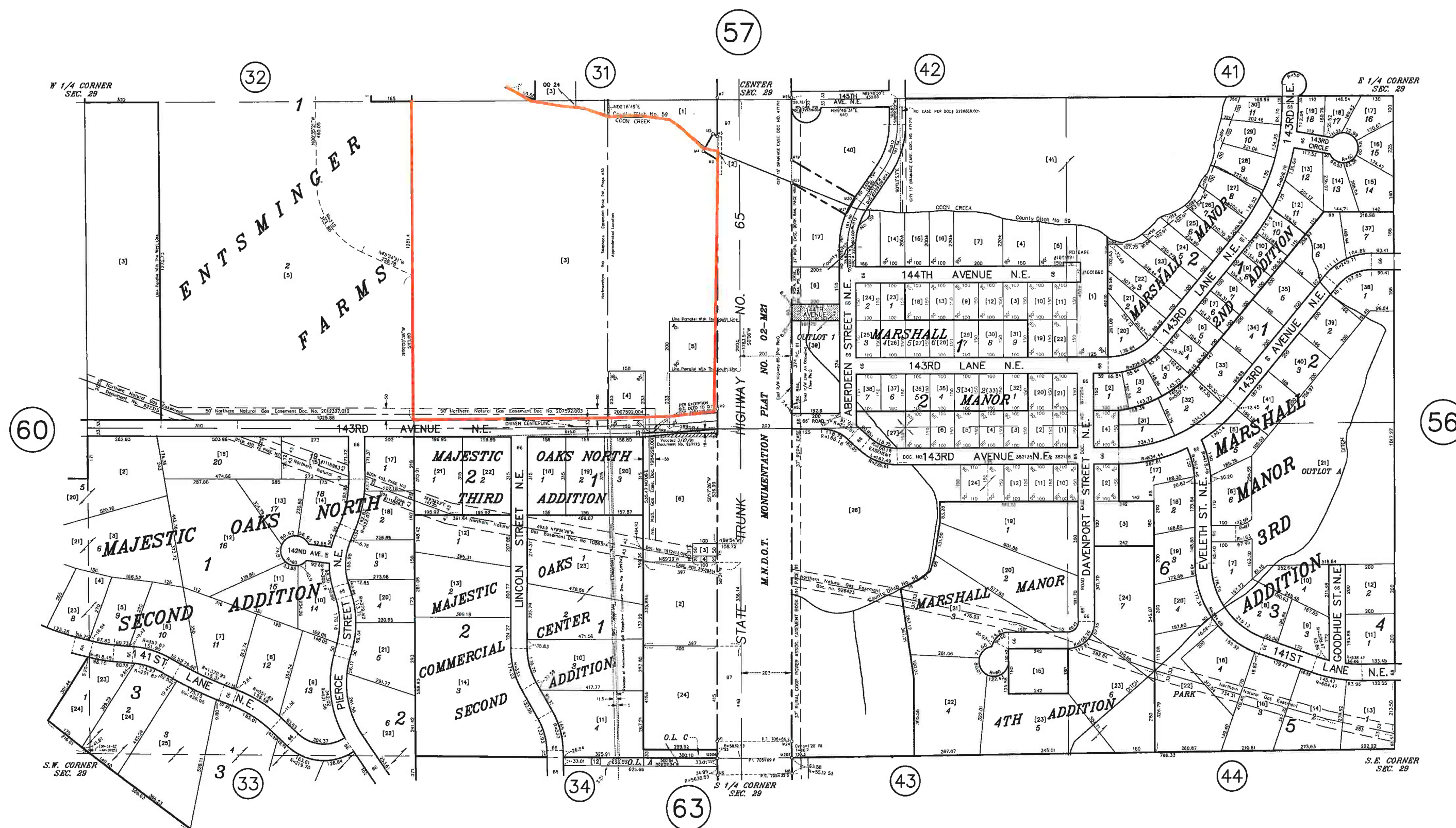
PROPERTY IDENTIFICATION NUMBER

| Section Number | Township | Range | Quarter | Specific |
|----------------|----------|-------|---------|----------|
| XX | XX | XX | XX | XXXX |


SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 29-32-23-13-0011

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

CITY OF HAM LAKE



GRAPHIC SCALE



SCALE IN FEET

ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

| QUARTER QUARTER INDEX | | | |
|-----------------------|----|----|----|
| 22 | 21 | 12 | 11 |
| 23 | 24 | 13 | 14 |
| 32 | 31 | 42 | 41 |
| 33 | 34 | 43 | 44 |

PROPERTY IDENTIFICATION NUMBER

| <u>Section Number</u> | <u>Township Number</u> | <u>Range Number</u> | <u>Quarter Quarter</u> | <u>Specific Parcel</u> |
|---------------------------|----------------------------|-------------------------|----------------------------|----------------------------|
| XX | XX | XX | XX | XXXX |

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 29-32-23-43-0022

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

SKETCH AND DESCRIPTION

~for~ LINCOLN STREET COMMERCIAL
~of~ PIERCE STREET EASEMENT

ROADWAY EASEMENT DESCRIPTION

A 66 foot wide perpetual easement for drainage and utility purposes over, under and across Lot 2, Block 1, ENTSMINGER FARMS, and Outlot A, ELWELL COMMERCIAL PARK, all in Anoka County, Minnesota. The centerline of said easement is described as follows:

Commencing at the southeast corner of Lot 2, Block 1, ENTSMINGER FARMS; thence North 00 degrees 09 minutes 36 seconds West, on an assumed bearing along the east line of said Lot 2, Block 1, a distance of 583.80; thence North 65 degrees 34 minutes 21 seconds West, a distance of 228.78 feet; thence northwesterly a distance of 353.86 feet along a tangential curve concave to the northeast, said curve having a radius of 312.00 feet and a central angle of 64 degrees 59 minutes 00 seconds; thence North 00 degrees 35 minutes 21 seconds West, tangent to the last described curve, a distance of 460.05 feet to the North line of said Lot 2, Block 1; thence South 00 degrees 35 minutes 21 seconds East, a distance of 387.95 feet to the point of beginning of the centerline to be described; thence southeasterly a distance of 379.64 feet along a tangential curve concave to the northeast, said curve having a radius of 312.00 feet and a central angle of 69 degrees 43 minutes 00 seconds; thence South 70 degrees 18 minutes 21 seconds East, tangent to the last described curve, a distance of 433.33 feet; thence southerly a distance of 383.65 feet along a tangential curve concave to the southwest, said curve having a radius of 312.00 feet and a central angle of 70 degrees 27 minutes 15 seconds; thence South 00 degrees 08 minutes 54 seconds West, tangent to the last described curve, a distance of 295.60 feet to the south line of said Outlot A and said line there terminating.

The side lines of said easement are prolonged or shortened to terminate on the southerly lot line of said Outlot A.

(NOTE: THE PLAT OF ELWELL COMMERCIAL PARK IS NOT OF RECORD AT THIS TIME)

NOTES

Bearings shown are on Anoka County datum.

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- DENOTES SOIL BORING. (BY MARK TRADEWELL)
- DENOTES WELL
- DENOTES EXISTING CONTOURS
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)
- DENOTES WET LAND PER DELINEATION BY JACOBSON ENVIRONMENTAL
- DENOTES WET LAND AERIAL MAPPING (NOT DELINEATED)
- DENOTES RIGHT OF ACCESS DEDICATED TO THE COUNTY OF ANOKA
- DENOTES ROADWAY EASEMENT

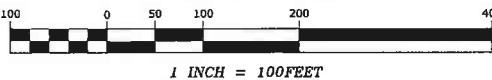
EASEMENT AREA = 78,190 SQ. FT.

BENCHMARK

MNDOT NAME: 0208 N
GSID STATION: #563
ELEVATION: 890.297 (NAVD88)

E. G. RUD & SONS, INC.
EST. 1977
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

GRAPHIC SCALE



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
Date: 12/20/2024 License No. 41578

| DRAWN BY: | CMB | JOB NO.: | 210529PP | DATE: | 11/22/24 |
|-----------|----------|---------------|----------|-------|----------|
| CHECK BY: | JER | FIELD CREW: | DT / CT | | |
| 1 | 12-20-24 | CITY COMMENTS | | | |
| 2 | | | | | |
| 3 | | | | | |
| NO. | DATE | DESCRIPTION | BY | | |

RESOLUTION NO. 05-10

WHEREAS, Article 10-430K states that specific design standards for streets and roads shall be established from time to time by Resolution of the City Council, upon recommendation of the City Engineer;

NOW THEREFORE, BE IT RESOLVED, by the City Council of the City of Ham Lake that the following specific design standards for streets and roads be adopted.

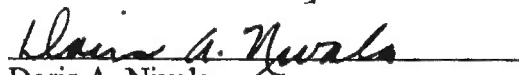
GENERAL REQUIREMENTS

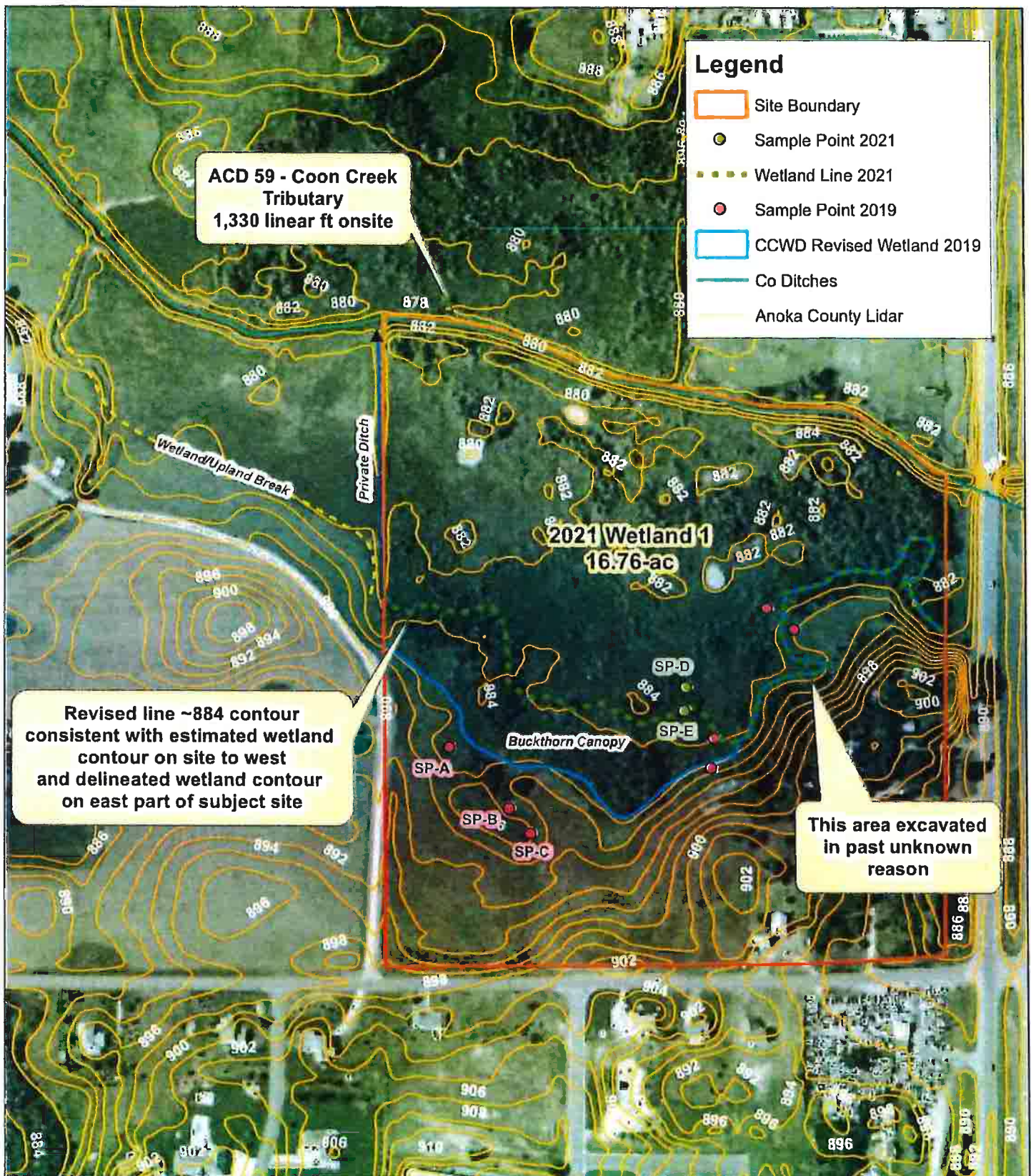
In the case of subdivisions for commercial, industrial and public purposes, no street giving access upon arterial road shall be located closer than three hundred (300) feet from right-of-way line to right-of-way line along the same side of such arterial road, to any other driveway, public or private street in the same or another subdivision.

- A. As a general requirement, a 66-foot minim right-of-way width service road shall be dedicated to the public parallel with the Minnesota State right-of-way. Such service road to be provided on both sides of the highways and lands adjacent to the highway are subdivided and platted.
- B. The intersection of a Service Road with a street which intersects the Minnesota State Highway, shall observe a minimum distance of 300 feet from the Minnesota State right-of-way.
- C. Where access is restricted to one directional ingress and same directional egress, and competent professional review of traffic patterns indicates that no traffic hazard will be present, a right-in/right-out ingress/egress point may be permitted at a distance closer than 300 feet from the right-of-way of a public street, in the sound discretion of the City Council, and upon review of the Planning Commission, City Engineer, and such other professionals as the City may choose to engage.

Adopted by a unanimous vote of the Ham Lake City Council this 7th day of March, 2005.


Gary W. Kirkeide, Mayor


Doris A. Nivala
Administrator



7-21-2021 - Existing Conditions (2016 MnGEO)



0 250
Feet

KJOLHAUG ENVIRONMENTAL SERVICES COMPANY
Source: MNGEO Spatial Commons

14350 Highway 65 (KES 2019-137)
Ham Lake, Minnesota

Note: Boundaries indicated
on this figure are approximate
and do not constitute an
official survey product.

- E. Other areas where other than natural wooded vegetation is to be used as ground cover, identifying the ground cover to be used;
- F. Locations, trunk size, height and species of all trees to be planted;
- G. Locations where existing natural wooded vegetation will remain undisturbed;
- H. All other landscaping features to be used.

11-1850 MINIMUM LANDSCAPING REQUIREMENTS

11-1851 Paved Surfaces All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall be surfaced with asphalt or concrete, to specifications established by the City's engineer.

11-1852 Ground Cover On any side of a lot which abuts a public road, the area from the road right-of-way to the nearest building side shall be entirely covered with ground cover consisting of pavement, decorative rock bordered with edging, lawn grass intended for regular mowing, mulch, bark, wood chips or other commonly used landscaping ground cover. Shingles, aggregate and clay mixtures such as Class V material, recycled concrete or asphalt, and other non-conventional ground covers shall not be permitted. Loose ground cover shall be installed to a depth of at least three inches. Any area which is covered by landscaping ground cover (not lawn or pavement) shall also include one decorative shrub for each ten square feet of ground cover.

Side yards and rear yards which do not contain existing natural wooded vegetation shall either be covered with ground cover in the manner stated above for front yards, or shall be planted so as to encourage the emergence of natural wooded vegetation, through the planting of tree species expected to reach a height of at least twenty five feet. Areas so prepared shall not be required to have mown lawn areas, but may be allowed to return to a natural state.

11-1853 Tree Plantings Trees which are planted outside of areas intended to return to a natural wooded state shall be of a variety indigenous to the local climate. Deciduous trees shall, when planted, have a trunk size of at least one and one half inches at a height of four feet from ground level. Conifers shall have a height of at least five feet. Tree locations are subject to review and approval of the City in the landscaping plan review process, and while no specific number of trees are required, the following general principles shall be observed;

- A. Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years;
- B. Decorative trees shall be planted along the right of way lines of adjacent public roadways;

- C. The use of conifers shall be encouraged and preferred.
- D. Whenever possible, an attempt will be made to preserve stands of existing vegetation, particularly treed or wooded areas.

11-1860 Case by Case Evaluation

Recognizing that the City contains a wide variety of commercial land, the landscape approval process shall be on a case by case basis. Where wetlands are present, or where large distances separate a commercial lot from adjacent lands, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.

11-1900 ILLICIT DISCHARGES AND CONNECTIONS TO STORM DRAINAGE SYSTEM

The purpose of this ordinance is to provide for the health, safety, and general welfare of the citizens of Ham Lake through the regulation of non-storm water discharges to the storm sewer drainage system to the maximum extent practicable as required by federal and state law. This ordinance establishes methods for controlling the introduction of pollutants into the Municipal Separate Storm Sewer System (MS4) in order to comply with requirements of the National Pollutant Discharge Elimination System (NPDES) permit process. The objectives of this ordinance are:

1. To regulate and minimize the contribution of pollutants to the municipal separate storm sewer system (MS4) by stormwater discharges by any user.
2. To prohibit Illicit Connections and Discharges to the municipal separate storm sewer system.
3. To establish legal authority to carry out all inspection, surveillance and monitoring procedures necessary to ensure compliance with this ordinance.

11-1900.10 DEFINITIONS

For the purposes of this Code, the following shall mean:

- a) Authorized Enforcement Agency:** employees or designees of the Administrator of the City of Ham Lake designated to enforce this Ordinance.
- b) Best Management Practices (BMPs):** schedules of activities, prohibitions of practices, general good house keeping practices, pollution prevention and educational practices, maintenance procedures and other management practices to prevent or reduce the

**Tradewell Soil Testing
18330 Dahlia Street NW
Cedar, MN 55011**

November 5th, 2024

RFC Engineering
13635 Johnson Street NE
Ham Lake, MN 55304
Attention: Tom Collins

Dear Mr. Collins:

As a licensed site evaluator who conducted the soil borings in Elwell Commercial Park, for Lincoln Street Commercial, LLC, I found the following: Each boring has at least 12" of natural, undisturbed soil with no redox features (mottled soil). In order to design and install a standard soil treatment system according to MN Chapter 7080 Code, at least 12" of natural soil with no signs of redox (mottling) is required. Therefore, each of the proposed lots will support 2 "standard" septic systems within the 7,500 square feet septic area as shown on the Grading Plan.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mark Tradewell', written in a cursive style.

Mark Tradewell
MPCA #307



To: Jason Godwin
From: Jim Wilmes
CC: Bryan Kruger, Joe Anderson, Mat Ellman, Ryan Brant
Subject: New Commercial Park – 143rd Ave NE, Ham Lake, MN
Maximo # 97230

Date: 11/13/2024

Northern Natural Gas (NNG) engineering has reviewed the plan provided by the developer for the proposed Elwell Commercial Park. The developer's plan consists of grading and constructing a new road for access to several new commercial buildings. NNG holds a 50-foot wide strip easement in this location.

The proposed development will encroach upon one NNG high pressure natural gas branch line, the 20-inch-diameter Elk River Loop (MNB87702) in Section 29, Township 32N, Range 23W of Anoka County, MN, near pipeline milepost 17.67. The proposed project area is currently a class 3 population density area.

Pipeline History

The Elk River Loop branch line consists of 20.000" outside diameter (OD), 0.375" wall thickness (WT), API-5L, X60 grade steel pipe. The line was originally installed in 2009 and was electric resistance welded (ERW) by the manufacturer. Fusion bonded epoxy (FBE) is the exterior coating of the pipe, and the pipeline operates at a 900 psig maximum allowable operating pressure (MAOP).

Engineering Notes

Engineering **does not approve** the proposed development, due to the following concerns:

- The proposed catch basin is located within the pipeline easement. NNG will require that the catch basin be located off the pipeline easement.
- Engineering makes note of additional Encroachment Guidelines listed below:

Encroachment Guidelines

- **Representation:** An NNG representative shall be present at all times when excavation work is being performed within 25 feet of NNG's pipeline. This requirement is per NNG operating procedure OP 80.102, "Damage Prevention Program." The contractor shall provide NNG with a Minnesota utility one call ticket with 48-hour notice prior to excavating in the area.
- **Excavation:** Mechanical excavation is allowed up to 24 inches from the NNG pipeline. Hand excavation or hydrovac excavation is required when excavating 24 inches or closer to NNG's pipeline.
- **Permanent Structures:** Any enclosed structure or building permanent in nature, regardless of purpose, may not be installed inside the NNG easement and should be installed a minimum of 35 feet from NNG facilities.
- **Foreign Utilities:** All foreign utilities (water, gas, sanitary, sewer, oil, communication, etc.) must cross NNG's pipelines at or near a right angle with a required minimum of 12 inches of separation. It is preferred that foreign utilities cross under NNG's pipeline where reasonable. Foreign utilities running parallel to NNG facilities must be placed a required minimum offset of 30 feet from NNG facilities.
 - Below grade power cables having conductors at more than 60 volts to ground should be encased in a non-metallic casing for a minimum distance of ten feet on either side of the pipeline. Cables energized to 600 volts or more should cross a minimum of three feet below the pipeline, encased in concrete, color coded red, across the entire right of way width, and have external, spiral wound, neutrals grounded on each side of the right of way. The cable crossing should be clearly and permanently marked on each side of the right of way.
- **Appurtenances:** All above grade appurtenances shall not interfere with ground patrols or leak surveys. All light poles, manholes, signs, trees, shrubs, etc. must be placed a required offset distance of 30 feet from NNG facilities.

- **Fence Posts:** New residential, commercial, and industrial fences may not cross pipelines. Fences running parallel to NNG facilities have a minimum required offset of 20 feet.
- **Parking Lot and Pavement:** NNG requires a designated 15-foot-wide "green belt" space to accommodate future leak tests. If concrete or asphalt surfaces will extend within the proposed "green belt" space for more than 100 feet over NNG's pipeline, NNG requires automatic sealing testing ports (cast iron valve boxes or approved equivalent) be installed in the proposed parking lot to accommodate regular leak detection surveys by NNG field operations personnel. Testing ports are to be installed 1-2 feet off the centerline of the pipe with a maximum distance of 100 feet between testing ports.
- **Grade Modifications (Excluding New Roads):** Earthwork and other grade modification must maintain a minimum of 36 inches of cover (or existing cover if less than 36 inches) over NNG's pipeline after construction in all locations. Grading modifications shall not be designed to impound water above NNG facilities. See "Road Crossings" below for cover requirements for public roadways.
- **Road Crossings:** All public road crossings must cross the NNG pipeline at or near a right angle and maintain a minimum of four feet of cover over the pipeline within the roadway and road ditches. Roads running parallel to NNG's facilities must be outside the easement and offset a required distance of 25 feet from NNG facilities.
- **Heavy Vehicle Crossings:** As a guideline, all vehicular crossings over the NNG pipeline have the following load restrictions (per wheel) without additional protection:
 - >24" Cover – 20,000 lbs.

NNG engineering requests vehicle specifications for all construction equipment exceeding 80,000 lbs. gross vehicle weight or exceeding the specified load restrictions that will be anticipated to cross NNG facilities. NNG engineering shall recommend appropriate crossing protection methods, if required, and any vehicle crossings are preferred to cross NNG facilities at or near right angles. Potential crossing protection methods include use of timber/steel plate matting, temporary bridge structures or pipeline reinforcement. It is the responsibility of the encroaching party to deploy crossing protection methods.

- **Damages Caused by Encroaching Party:** Any damages caused by the encroaching party to NNG facilities shall be repaired at the expense of the encroaching party. An estimate can be provided by NNG for any repairs, as required.
- **Modifications to NNG Facilities:** If the encroaching party requests that NNG relocate or modify existing facilities to accommodate the encroachment, NNG engineering can provide an estimate to do so. Modifications will be at the expense of the encroaching party.

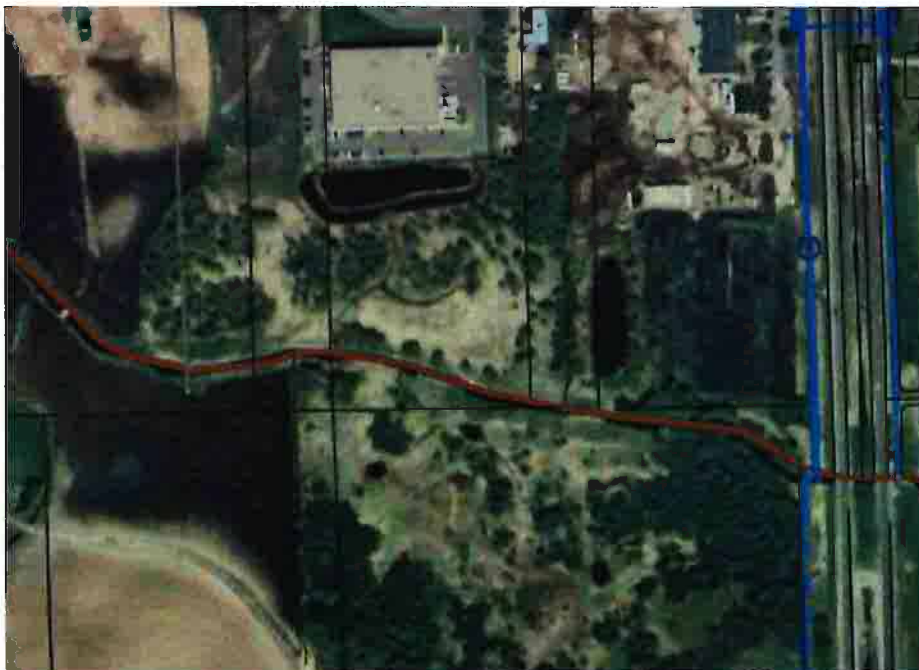
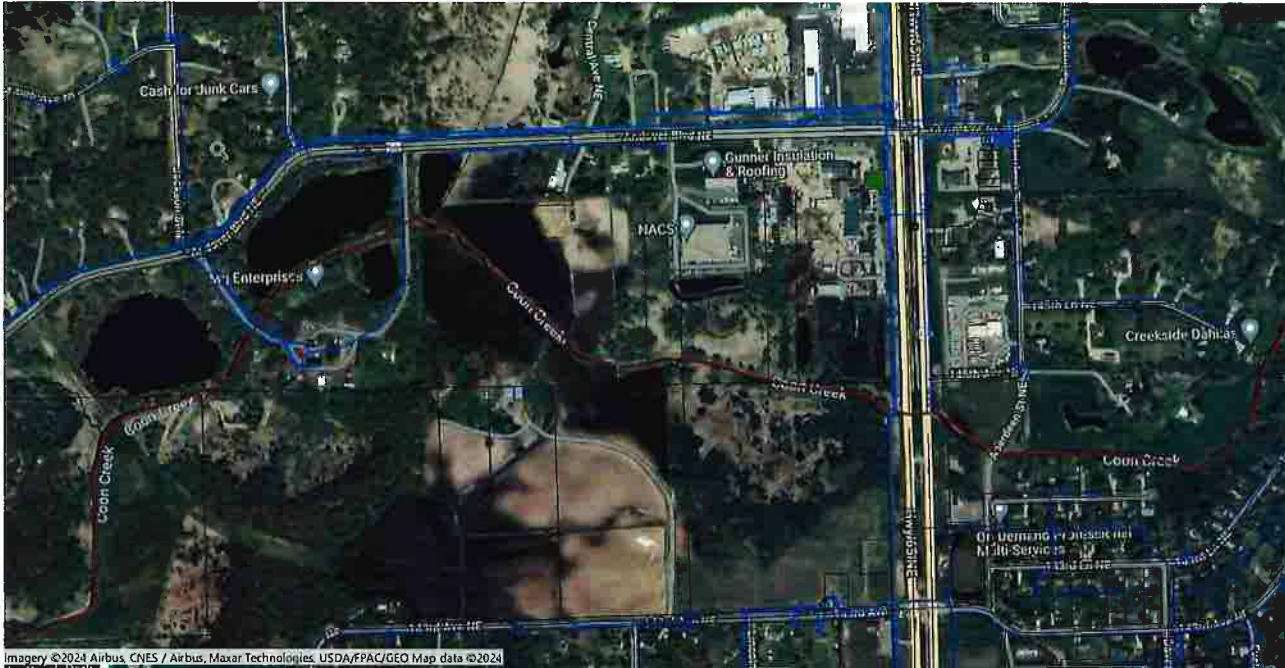
NNG requires that the aforementioned encroachment conditions be met to ensure pipeline integrity and safety during and after construction. NNG engineering will continue to review any revised construction plans and new proposals as they are developed.

Matt Davich

From: Villarreal, Elena <Elena.Villarreal@lumen.com>
Sent: Wednesday, December 11, 2024 4:15 PM
To: Matt Davich
Subject: Re: Prior Rights - P864057 - 143rd Ave NE, Ham Lake, MN 55304, Anoka County, MN

Good afternoon Matt,

Below is an image of our existing facilities in the area.



Thank you,
Elena Villarreal
ROW Agent
361-218-1457
Elena.Villarreal@Lumen.com
Direct Report: Omar.Amaral@Lumen.com



From: Garcia, Luis G <Luis.Garcia@lumen.com>
Date: Wednesday, December 4, 2024 at 5:00 PM
To: Matt Davich <mdavich@egrud.com>, Villarreal, Elena <Elena.Villarreal@lumen.com>
Cc: Amejorado, Aaron <Aaron.Amejorado@lumen.com>, Amaral, Omar <Omar.Amaral@lumen.com>
Subject: Re: Prior Rights - P864057 - 143rd Ave NE, Ham Lake, MN 55304, Anoka County, MN

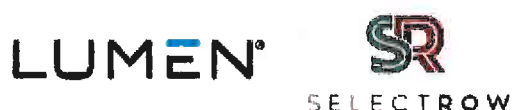
Hello Matt,

This project is currently being researched by Elena Villarreal, who is copied on this email.

@Villarreal, Elena - Could you please provide an update on the project?

Thank you,

Luis Garcia
ROW Agent | SelectROW Team
(361) 894-5272 | Luis.Garcia@Lumen.com
Direct Report: Omar.Amaral@Lumen.com



From: Matt Davich <mdavich@egrud.com>
Date: Wednesday, December 4, 2024 at 2:50 PM
To: Garcia, Luis G <Luis.Garcia@lumen.com>
Cc: Villarreal, Elena <Elena.Villarreal@lumen.com>, Amejorado, Aaron <Aaron.Amejorado@lumen.com>, Amaral, Omar <Omar.Amaral@lumen.com>
Subject: RE: Prior Rights - P864057 - 143rd Ave NE, Ham Lake, MN 55304, Anoka County, MN

CAUTION: This email originated outside of Lumen Technologies. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Luis,
Is there any update on this issue? The question if Lumen has an active line on our property is holding up our Preliminary Plat approval

PERMIT AMENDMENT
COON CREEK WATERSHED DISTRICT
13632 Van Buren St NE
Ham Lake, MN 55304

Project: Elwell Commercial Park

Issued To: Lincoln Street Commercial LLC
Attn: Paul Boerboom
PO Box 9076
Fargo, ND 58106-9076

Location: 14350 and 14334 Hwy 65 NE; 1323 143rd Ave NE, Ham Lake, MN 55304

Permit Application #: P24-048

Purpose: Grading and lot preparation for four commercial lots with associated stormwater management features

This letter is in response to the April 30, 2025, submittal from the applicant providing updated construction plans and revised stormwater management report for additional scope of work to be included in the previously permitted project.

BACKGROUND:

CCWD authorized, as part of CCWD permit #2396 issued 11/25/2024, the grading and lot preparation for four commercial lots with associated stormwater management features.

On April 30, 2025, the applicant submitted additional construction plans and a revised stormwater management report which included an additional scope of work. This additional scope includes the treatment of impervious from the neighboring road reconstruction project as well as treatment for non-drivable impervious surfaces from Lot 1 of the development. This lot was originally not proposed to be treated as part of the first permit.

On May 27, 2025, the revised project application was presented to the Board of Managers, where it was approved with no new conditions.

FINDINGS

1. The Coon Creek Board of Managers reviewed and approved the revised permit application documents on May 27, 2025.

CONCLUSIONS

Coon Creek Watershed Permit #2396 is hereby amended and expires May 28, 2026, with the following conditions and stipulations:

1. Adherence to all general permit conditions of permit #2396.
2. The applicant must apply for coverage under the Minnesota Pollution Control Agency's (MPCA's) Construction Stormwater Permit (Permit No: MNR100001)
3. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.
4. Submittal of as-builts for the stormwater management practices and associated structures listed in Table 2, including volume, critical elevations and proof of installation for hydrodynamic separators.

If you have questions, please call me at 763-755-0975.

Sincerely,

A handwritten signature in black ink, appearing to read 'T. Kelly', is written over a horizontal line.

Tim Kelly
District Administrator

Cc: File P24-048
Eileen Weigel, Stantec
Dave Krugler, RFC Engineering
Jennifer Bohr, City of Ham Lake

PERMIT
COON CREEK WATERSHED DISTRICT
13632 Van Buren St NE
Ham Lake, MN 55304
Permit Number: 2396

Project: Elwell Commercial Park

Issued to: Lincoln Street Commercial LLC
Attn: Paul Boerboom
PO Box 9076
Fargo, ND 58106-9076

Location: 14350 and 14334 Hwy 65 NE; 1323 143rd Ave NE
Ham Lake, MN 55304

Permit Application #: P-24-048

Purpose: Grading and lot preparation for four commercial lots with associated stormwater management features

At its meeting on 10/28/2024, the Board of Managers of the Coon Creek Watershed District reviewed and approved your permit application. The following exhibits are on file describing the approved project:

1. Grading Plan by Plowe, dated 10/18/2024, received 10/18/2024.
2. Geotechnical Report by Haugo Geotechnical, dated 07/25/2023, received 09/11/2024.
3. Stormwater Management Report by Plowe, dated 10/18/2024, received 10/18/2024.
4. Storm Sewer Sizing by Plowe, dated 10/10/2024, received 10/10/2024.
5. Preliminary Plat by E.G. Rud & Sons, dated 10/10/2024, received 10/10/2024.
6. Construction Plan Set (7 Sheets) by Plowe, dated 10/10/2024, received 10/18/2024

The Board of Managers found the project as planned to be in accordance with the Rules and Regulations, and Guidelines of the District, and therefore, approved the permit with 3 stipulations.

1. The applicant must apply for coverage under the Minnesota Pollution Control Agency's (MPCA's) Construction Stormwater Permit (Permit No: MNR100001)
2. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.
3. Submittal of as-builts for the stormwater management practices and associated structures listed in Table 2, including volume, critical elevations and proof of installation for hydrodynamic separators.

A follow up inspection will be conducted at the project site to assure compliance with all stipulations to this Permit. Failure to comply with the foregoing may result in rescission of the Permit, and is a violation of Minnesota Statutes section 103D.545, a misdemeanor.

This document is not transferable.

Date of Issuance: 11/25/2024

Date of Expiration: 11/25/2025

Eileen Weigel, District Engineer

cc: File- P24-048
Tom Collins, Ham Lake
Tim Kelly, District Administrator

*****IMPORTANT PERMIT REQUIREMENTS OUTLINED ON REVERSE*****

GENERAL PERMIT STIPULATIONS:

1. The permittee must maintain the project authorized by this permit in good condition and in conformance with the terms and conditions of this permit.
2. The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the District for inspection of the work authorized hereunder.
3. The permittee shall utilize best management practices on the project site to minimize the potential for adverse impacts associated with erosion and sedimentation.
4. This permit applies only to the permitted project and the dated plans approved on this permit. If the design, location or purpose of the project changes you should contact the District to make sure the changes would not violate District Rules or applicable state law.
5. Construction work authorized under this permit shall be completed on or before the date specified above. The permittee may request an extension of the time to complete the project, stating the reason thereof, upon written request to the District.
6. The District may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
 - a. You fail to comply with the terms and conditions of this permit.
 - b. The information provided by you or in support of your permit application proves to have been false, incomplete, or inaccurate.
 - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
7. Permittee shall ensure that the contractor has received and thoroughly understands all conditions of this permit.

ADDITIONAL WETLAND-RELATED PERMIT CONDITIONS:

The following additional terms and conditions apply to replacement wetland(s) approved as part of this permit.

1. The replacement wetland approved as part of this permit must be constructed concurrent with or prior to any wetland fill or draining activity; or the District has received and accepted an irrevocable bank letter of credit, a performance bond, or other security acceptable to the District in an amount sufficient to guarantee the successful completion of the wetland replacement as provided under Minn. Rules 8420.0530 (B)(2), as amended.
2. The Notice of Use Restrictions and Maintenance Responsibilities specified in Minn. Rules 8420.0530(D)(6), as amended, must be recorded and proof of recording provided to the District within 30 days of completing construction of the replacement wetland (completion of construction as determined by the District).
3. The permittee each year for five years following completion of the replacement wetland must submit to the District a Monitoring Report on the replacement wetland, which Report includes the information specified in Minn. Rules 8420.0620, as amended. The Report must be submitted to the District no later than October 1 of each year.

THIS CERTIFICATION ONLY APPLIES TO THE WCA OF 1991, AS AMENDED. Permits from local, state, and federal agencies may be required. Check with the appropriate authorities before commencing work in or near wetlands. The Combined Project Notification form can be used for this purpose.

REFUNDING OF ESCROWS: Upon completion of the project the applicant shall notify the District that:

1. The project is complete
2. The site is stabilized
3. The project is ready for final inspection
4. All stipulations listed on this permit have been fulfilled
5. If applicable, the applicant would like return of its escrow

Upon receipt of such notification the District will inspect the project for conformance with the permit conditions and requirements, permitted plans and water resources associated with the implementation of those plans resulting from construction. If the District determines the project is not complete and/or not stabilized the District will inform the applicant in writing. If the District determines the site is complete and stabilized, the permit conditions and requirements have been satisfied, the District will execute the appropriate refund at its next regularly scheduled meeting where the Board pays bills (typically the second Monday of each month).

Escrow refunds will be calculated as follows and shown on the refund check

1. Amount of escrow balance paid in cash;
2. Minus any permit review and/or inspection fees
3. Minus any other project-related expenses incurred by the District.

David Krugler

From: MN_DOT_MetroDevReviews <metrodevreviews.dot@state.mn.us>
Sent: Monday, December 16, 2024 3:43 PM
To: Jennifer Bohr
Cc: Erickson, Daniel (DOT)
Subject: RE: Elwell Commercial Park (Anoka Co/Ham Lake) Plat

Dear Ms. Bohr,

I wanted to send my apologies for you not receiving our response to your request for review of the Elwell Commercial Park. We did review it, and there were no comments from staff. I thought I had sent a No Comment response but I can't find a record that I did-so it either didn't go out or I forgot to send it. But I wanted to officially close the record to our response.

Sincerely,

Cameron Muhic
Principal Planner
651-234-7797
Cameron.Muhic@state.mn.us

From: Jennifer Bohr <JBohr@hamlakemn.gov>
Sent: Friday, September 27, 2024 7:21 AM
To: MN_DOT_MetroDevReviews <metrodevreviews.dot@state.mn.us>
Cc: Erickson, Daniel (DOT) <dan.erickson@state.mn.us>
Subject: RE: Elwell Commercial Park (Anoka Co/Ham Lake) Plat

Hello!

Attached are Preliminary Plat documents for the Preliminary Plat of Elwell Commercial Park located in Section 29, Township 32, Range 23, Anoka County, Minnesota as submitted by Art Rosenberg of Lincoln Street Commercial, LLC. Under the provisions of Article 10-204 of the Ham Lake City Code, your agency has 30 days from the date hereof to either submit your written comments, or to request an extension of time, in writing, for such review. Failure of your agency to do either of the above will result in an assumption by the City that your agency either approves of or has no comment on the proposed subdivision.

Sincerely,
Jennifer

Jennifer Bohr
Building & Zoning Clerk/Deputy City Clerk
City of Ham Lake
763-434-9555
www.hamlakemn.gov



Melissa Lauterbach-Barrett
Kjolhaug Environmental Services
2500 Shadywood Road, Suite 130
Orono, MN 55331

December 12, 2019

Ms. Lauterbach-Barrett,

Midwest Natural Resources, Inc. (MNR) is pleased to provide the following rare plant habitat assessment for the Lincoln Street project site located northwest of the intersection of 143rd Ave. NE and Highway 65 in Ham Lake, Minnesota (**Figure 1**).

Project Limits and Existing Background Data

The project area, which is approximately 34.6 acres, is located in Township 32 North, Range 23 West in the NESW Quarter Section of Section 29. Based on the initial assessment using existing Minnesota Department of Natural Resources (DNR) data, there are no native plant communities within the project limits. Similarly, the DNR Sites of Biodiversity Significance data layer does not identify any areas of ecological importance within the project area.

Methods

Prior to the field assessment, MNR staff examined aerial photography of the site to determine areas with higher potential for rare species. This included, but was not limited to, wetlands, intact woodlands, and other unique aerial signatures. Field efforts were conducted on November 22, 2019 by the undersigned. Meander surveys were implemented throughout the site, with particular attention focused on areas with intact native vegetation. A general species list was collected at this time as were representative site photographs.

Results

The site includes three main components, the first of which is a large wetland feature in the northern half of the site. This feature is the most intact of the three components of the project area, and it is dominated by sedges (*Carex* spp.), reed canary grass (*Phalaris arundinacea*), and Canada bluejoint (*Calamagrostis canadensis*) with patchy shrubs, primarily red osier dogwood (*Cornus sericea*) and alder-leaved buckthorn (*Rhamnus alnifolia*). Small pockets of intact wetland vegetation are scattered throughout this area. The southern half of the project area consists of two distinct anthropogenic vegetation types. The largest of these is an open field which was likely farmed or grazed in the past. This area is dominated by pasture grasses such as Kentucky bluegrass (*Poa pratensis*) and smooth brome (*Bromus inermis*). The final vegetative system is a forested component, in the southeast corner of the site, which is associated with the existing residential structures. The forested component is dominated by non-native woody species including black locust (*Robinia pseudoacacia*), Siberian elm (*Ulmus pumila*), and glossy buckthorn (*Rhamnus cathartica*).

In all, 41 species of vascular plants were observed within the project area (**Appendix A**). None of the species encountered during the field reconnaissance are state-listed rare species. Representative site photographs are provided in **Appendix B**.

Conclusion

No habitats for state-listed species were observed during the recent field review. Based on the overall condition of the site, there is unlikely to be potential for any state-listed species. With that, further surveys are not recommended.

Please feel free to contact us with any questions.

Respectfully submitted,



Otto T. Gockman
Sr. Botanist
Midwest Natural Resources, Inc.