

CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, FEBRUARY 23, 2026

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: January 12, 2026

PUBLIC HEARING:

6:01 pm Kari Kearns of Cadillac Ranch LLC, requesting a Conditional Use Permit to operate Branch and Bloom Flower Farm, Inc. at 13401 Radisson Road NE

*Erin
Dixson*

NEW BUSINESS:

*Jonathan
Fisher*

1. Will Polisky of CMK Properties, LLC, requesting Commercial Site Plan Approval to operator Tractor Supply Company at 1362 164th Avenue NE
2. K.E. Properties, LLC requesting Sketch Plan approval for Majestic Highlands, a residential development (two lots) in Section 32

COMMISSION BUSINESS:

1. City Council Update

**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: February 23, 2026

INSPECTION ISSUED TO: Erin Dixon

APPLICANT/CONTACT: Kari or Clayton Kearns

TELEPHONE NUMBER: 612-270-8794

BUSINESS/PLAT NAME: Branch and Bloom Flower Farm

ADDRESS/LOCATION OF INSPECTION: 13401 Radisson Road NE PID#33-32-23-43-0001

APPLICATION FOR: Conditional Use Permit

RECOMMENDATION: _____

DATE: _____

PLANNING COMMISSIONER SIGNATURE: _____

**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: February 23, 2026

INSPECTION ISSUED TO: Jonathan Fischer

APPLICANT/CONTACT: Will Polisky

TELEPHONE NUMBER: 615-516-6367

BUSINESS/PLAT NAME: Tractor Supply Company

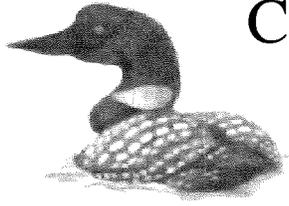
ADDRESS/LOCATION OF INSPECTION: 1362 164th Avenue NE PID#17-32-23-21-0021

APPLICATION FOR: Commercial Site Plan

RECOMMENDATION: _____

DATE: _____

PLANNING COMMISSIONER SIGNATURE: _____



CITY OF HAM LAKE

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info@ci.ham-lake.mn.us

CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, JANUARY 12, 2026

The Ham Lake Planning Commission met for its regular meeting on Monday, January 12, 2026, in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Dave Ringler, David Ross, Jeff Entsminger, and Erin Dixon

MEMBERS ABSENT: Commissioners Kyle Lejonvarn and Jonathan Fisher

OTHERS PRESENT: Deputy City Clerk, Dawnette Shimek

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Dixon, seconded by Ross, to approve the minutes of the December 8, 2025 Planning Commission meeting as written. All present in favor, motion carried.

PUBLIC HEARING:

Christopher Windschill of CJ's Garage, requesting a Conditional Use Permit to operate a motorsports and small engine repair shop at 1333 154th Avenue NE, Suite 250

Christopher Windschill was present before the Planning Commission requesting a Conditional Use Permit to operate a motorsports and small engine repair shop to repair items such as ATV's, UTV's, outboard motors, snowmobiles, lawn tractors and other small engines. Mr. Windschill stated he has operated from this location for five years and is bringing the shop into compliance with city code as requested by Building and Zoning Official, Mark Jones. Chair Pogalz inspected the property and stated the parking area is paved and striped and includes handicap spaces. Chair Pogalz stated the interior space provides for a space that customers can come into, along with a restroom and shop area. Chair Pogalz stated that there is a paved surface in back of the building for storage. The Planning Commission discussed whether the storage area should be screened and that the adjacent businesses storage is not screened.

Chair Pogalz opened the public hearing at 6:09 p.m. and asked for public comment, and with there being none, closed the public hearing at 6:10 p.m.

Motion by Pogalz, seconded by Dixon, to recommend approval of the Conditional Use Permit for Christopher Windschill to operate CJ's Garage at 1333 154th Avenue NE, Suite 250, subject to the following conditions:

1. **Repairs are limited to motorsports and small engine repair such as ATV'S, UTV'S, outboard motors, snowmobiles, lawn tractors and other small engines.**
2. **All repair work needs to be done inside the building**
3. **No test driving of motorized vehicles on city streets**
4. **All fluids are to be contained and disposed of according to State and County requirements.**
5. **No outside storage of liquids, tires, parts, etc.**
6. **No outside storage within the Minnesota pipeline easement or within ten-feet of the property line. All other outside storage must be within the area shown on the site diagram.**
7. **Business hours, Monday and Thursday from 9:00 am to 6:00 pm, Tuesday and Wednesday from 9:00am to 5:00pm and Friday from 8:00 am to 5:00 pm. Closed on Saturday and Sunday**
8. **Meeting all City, County, and State requirements.**

All present in favor, motion carried. *This application will be placed on the City Council's Tuesday, January 20, 2026 agenda.*

PUBLIC HEARING:

Theresa and Christa Hentges, requesting a Multiple Dog License at 16011 Pierce Street NE

Theresa and Christa Hentges were present before the Planning Commission requesting a Multiple Dog License at 16011 Pierce Street NE for their six indoor dogs, with 4 dogs under 14 pounds, one 32 pounds and another at 52 pounds. The Hentges lot is 1.81 acres and has a large, fenced area to contain the dogs when they are outside to play or use the bathroom. The Hentges stated that a neighbor had complained about the 8-month-old labradoodle puppy barking at the neighbor's chickens.

Chair Pogalz opened the public hearing at 6:16 p.m. and asked for public comment.

Larry Thayer, 1039 160th Lane NE, stated he lives across the street and feels they are in compliance with city requirements and that he has no complaints.

Craig Stumo, 1017 160th Lane NE, stated he has never heard the dogs bark and has no complaints.

Anthony Vessels, 16029 Pierce Street NE, stated he lives next door and has chickens. Mr. Vessels stated the barking doesn't quit when they are outside and he and his wife feel the dogs are a nuisance.

Ms. Hentges stated they plan to put a screen on the fence when the weather warms up to disrupt Jax's (the labradoodle puppy) line of site to the neighbors to reduce his barking.

Anthony Vessels, 16029 Pierce Street NE, asked if the Hentges are looking for a bark collar.

Ms. Hentges stated that they are looking for a bark collar that is humane.

Dodi Vessels, 16029 Pierce Street NE, sent a letter to the Planning Commission stating that they live directly next to the Hentges property and when the dogs are outdoors the barking is ongoing and disruptive and often accompanied by the owners yelling or pounding on the door in an attempt to quiet them, or offering no intervention at all. Ms. Vessels stated in the letter that the repeated disturbance affects their ability to enjoy their own property. Ms. Vessels stated in the letter that they do not support or approve the request for a license for their neighbors to keep six dogs.

Chair Pogalz asked for further comment and with there being none, closed the public hearing at 6:22 p.m.

Chair Pogalz stated that keeping six dogs requires a multiple dog license and such license is automatically be renewed by city staff if no complaints are documented. Chair Pogalz explained that if one or more complaints are received, the Planning Commission will be required to review the renewal of the license.

Motion by Ringler, seconded by Entsminger, to recommend to approve the Multiple Dog License for Theresa and Christa Hentges, 16011 Pierce Street NE, subject to not exceeding six dogs, requiring the dogs to stay within the fenced area and to be leashed if outside the fenced area, and to meeting all City, State, and County requirements. All present in favor, motion carried. *This application will be placed on the City Council's Tuesday, January 20, 2026 agenda.*

COMMISSION BUSINESS:

City Council Update

Deputy City Clerk Shimek stated that all items from the Planning Commissions previous meeting were approved by the City Council. A Planning Commissioner will not be attending the City Council's January 20, 2026 meeting.

ADJOURNMENT:

Motion by Dixson, seconded by Ross, to adjourn the Planning Commission meeting at 6:26 p.m. All present in favor, motion carried.

Dawnette Shimek
Deputy City Clerk



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 11/17/25

Date of Receipt 11-17-25

Receipt # 104456 Amount \$ 400.00

Meeting Appearance Dates:

Planning Commission 2/23/2026

City Council _____

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other _____

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: Cadillac Ranch LLC/ Branch and Bloom Flower Farm Inc.

Address/Location of property: 13401 Radisson Rd

Legal Description of property: THE W 450 FT OF N 850 FT OF SW1/4 OF SE1/4 OF SEC 33 TWP 32 RGE 23, SUBJ TO EASE OF REC

PIN # 33-32-23-43-0001 Current Zoning R-A Proposed Zoning _____

Notes: _____

Applicant's Name: Kari Kearns

Business Name: Branch and Bloom Flower Farm

Address 13401 Radisson Rd NE

City Ham Lake State MN Zip Code 55304

Phone 612-270-8794 Cell Phone _____ Fax _____

Email address: _____

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE K Kearns DATE 11/17/25

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____ PROPERTY TAXES CURRENT YES NO
City Council _____ Any Active/Deferred Assessments YES NO

**NOTICE TO ALL APPLICANTS FOR MUNICIPAL
PERMITS, LICENSES,
OR OTHER MUNICIPAL ACTION**

- 1. If you are requesting municipal action on any request for any of the above, you will be required to furnish certain information about yourself, the project you are involved in, or other matters pertaining to the subject. Some of the information you are asked to provide is classified by state law as either private or confidential. Private data is information which generally cannot be given to the public but can be given to the subject of the data. Confidential data is information which generally cannot be given to either the public or the subject of the data.**
- 2. The purpose of this information is to enable the City Staff, Commissions, Council or other government agencies to evaluate relevant factors in considering your request. You are not legally required to provide this information. If you do not provide the requested information, the City may not act upon your request.**
- 3. The information you supply will be public and available to any entity requesting to inspect the information.**

**DATA PRACTICES ADVISORY
TENNESSEN WARNING
REQUIRED BY MINNESOTA STATUTES CHAPTER 13.04**

SIGNED BY Kari Kearns

COMPANY/TITLE: Branch + Blooms
Flower Farm

DATE: 11/17/25

**CITY OF HAM LAKE
ACKNOWLEDGMENT OF RESPONSIBILITY
TO REIMBURSE EXPENSES**

The undersigned, Kari Kearns, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

Conditional Use Permit

Type of Application

acknowledges that the sum of \$ 400, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

Applicant Signature K Kearns Dated 11/17/25

The following statement must be signed if the applicant is not the property owner:

_____, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

I am aware of the application being submitted by the applicant and approve the request.

Property Owner Signature [Signature] Dated 11/17/25

CITY OF HAM LAKE

STAFF REPORT

To: Members of the Planning Commission

From: Mark Jones, Building Official

Subject: Conditional Use Permit for Branch & Bloom Flower Farm/Cadillac Ranch LLC at 13401 Radisson Road NE

Introduction/Discussion:

Branch & Bloom Flower Farm is located at 13401 Radisson Road NE. The property is located on 8.8 acres and zoned Rural Single Family Residential (R-A). R-A districts are intended for residential dwellings occupied by a single housekeeping unit, located in unplatted areas. A small business is permitted as a Conditional Use in R-A zoning. Branch & Bloom Flower Farm is family owned and operated. They are requesting to use the farmhouse, accessory building (built 2024), and the yard/field areas. Branch & Bloom Flower Farm primarily is a flower farm, growing annuals during the warm season, cool season bulbs, and perennials. They will be growing pumpkins, which will be sold in the fall along with Christmas tree sales. The farmhouse will also be available to reserve throughout the year for groups up to 20 for indoor use and up to 50 if the farm and grounds around the farmhouse are used. The farmhouse rental hours will be from 8 a.m. to 10 p.m. and available through the year. All other activities will be groups of 20 or less. General business hours for the months of April – December: Thursday-Saturday 8 a.m. – 9 p.m. and Sundays 8 a.m. – 5 p.m., closing for general business January through March.

Branch & Bloom Flower Farm will provide different opportunities for which customers will be able to purchase flowers:

1. A self-services flower stand which flowers will be sold by the by stem, by vessel or by a pre-made arrangement. The flower stand is a mobile display that will be stored in a building when not in use. Signage will direct customers into the driveway, pick up their flowers, and circle around in the paved roundabout to head out the same way they came in.
2. U-Pick sessions which customers will have the opportunity to come to the farm and cut their own flowers to make their own arrangements. Each session is limited to 20 attendees. Tables, supplies (vases & scissors and instruction on cutting) and a tent will be set up next to the flower field.
3. Bloom Bars (Build Your Own Bouquet) for people who want to make bouquets, but don't want to cut their own flowers, will be provided a display of pre-cut flowers and instructions on how to build their own arrangement or bouquet. Flowers grown on the farm during the growing season will be used as well as flowers from wholesale flower companies. The Bloom Bar could be held near the flower field under a tent, or on the cement patio of the farmhouse, or inside the farmhouse as weather allows.

Branch & Bloom Flower Farm is on a 100-year farm site and is also looking to use the site for photography for family photos, maternity photos, senior photos, etc. Customers would pre-register on their website. Customers would have access to the farmhouse, flower fields and yard area.

This site would also be offering creative workshops which would be by appointment only. Depending on the weather, these would take place outdoors, in the farmhouse or in the pole barn. Again, people would pre-register and pay online ahead of time so that there are enough supplies for each group. The workshops will walk people through creating décor, like porch pots, wreaths and table arrangements, etc.

Branch & Bloom Flower Farm will sell a limited number of Christmas trees, wreaths & porch pots for a limited time starting Black Friday weekend through Christmas, with about 50 customers per day.

Branch & Bloom Flower Farm would provide fresh eggs from laying hens raised on the property at the flower stand. They would like a coffee cart or some sort of beverage/food station so people can get iced coffee and sparkling tea when they come to their U-Pick sessions. Branch & Bloom Flower Farm would use a mobile coffee cart company to provide this service. Food services will be required to obtain a city license per Article 7-1500 Mobile Food Truck and Trailer Vending.

Recommendation:

I recommend approving the Conditional Use Permit (CUP) for Branch & Bloom Flower Farm with the following conditions:

1. The use of Branch & Bloom Flower Farm to be secondary to the primary use, residential dwelling. Per Article 9-210.3 Rural Single Family Residential (R-A), R-A districts are intended for residential dwellings occupied by a single housekeeping unit.
2. Provide parking surface of asphalt or concrete, a minimum of 20 parking stalls plus one handicap parking stall. Minimum parking stall 9' x 20', handicap parking is also 9' x 20' but will also require a van access isle of 8' x 20' and the accessible parking stall shall have signage. The parking lot shall be striped, and the drive isles shall be a minimum of 24 feet. No parking is allowed on unpaved surfaces. If parking exceeds the 20 required parking stalls, additional parking will be required to comply with Article 9-220.1 Standards Common to All Mercantile Districts and 11-1851 Paved Surfaces.
3. All parking to be approved by the Zoning Official before installation and provide the City of Ham Lake with a parking diagram.
4. Food services will be required to obtain a city license per Article 7-1500 Mobile Food Truck and Trailer Vending.
5. All undomesticated animals as defined by code shall comply with Articles 5-300 Animal Permits Domesticated, 5-200 Horses, Donkeys or Mules and 5-330 Exception for Chickens.
6. The farmhouse rental hours will be from 8 a.m. to 10 p.m. and available through the year. All other activities will be groups of 20 or less. General business hours for the months of April – December: Thursday-Saturday 8 a.m. – 9 p.m. and Sundays 8 a.m. – 5 p.m., closing for general business January through March.
7. No outdoor storage.
8. Maximum occupancy load 20 for an outdoor event and 50 when rental of the farmhouse.
9. No customers traffic in the original wood framed barn.
10. Any changes to the approved Conditional Use Permit will require an amendment to the existing Conditional Use Permit.
11. Meeting all City, County, and State requirements.
12. Access from Radisson Road NE needs be approved by the Anoka County Highway Department



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NOTICE OF PUBLIC HEARING CITY OF HAM LAKE COUNTY OF ANOKA STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, February 23, 2026 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE, for the purpose of considering the application of Kari Kearns requesting a Conditional Use Permit to operate Cadillac Ranch LLC/Branch and Bloom Flower Farm Inc., at 13401 Radisson Road NE, such land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

33-32-23-43-0001

THE W 450 FT OF N 850 FT OF SW1/4 OF SE1/4 OF SEC 33 TWP 32 RGE 23, SUBJ TO EASE OF REC

At such hearing both written and oral comments will be heard.

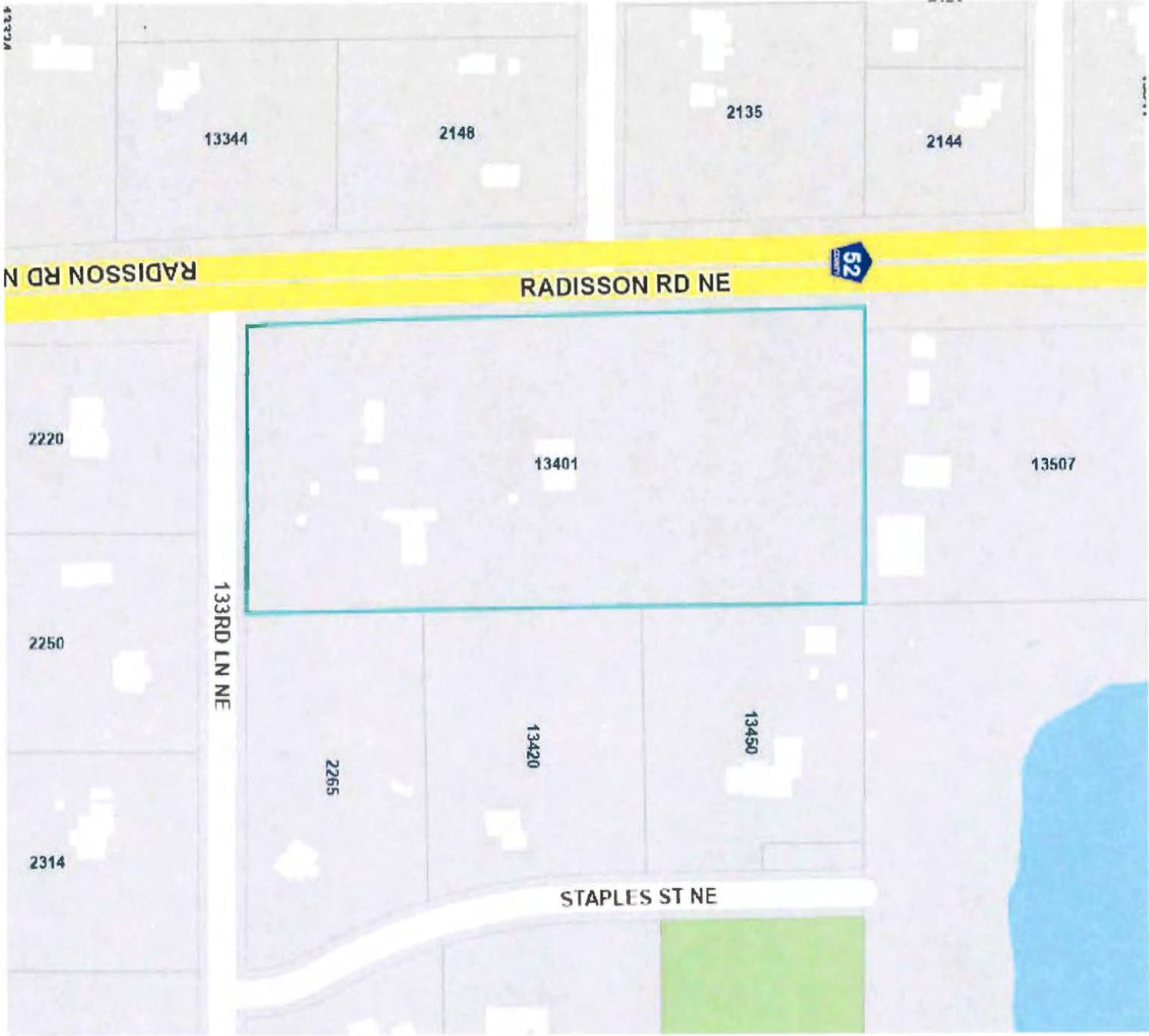
DATED: February 12, 2026

Nicole Wheeler
Administrative Assistant
City of Ham Lake





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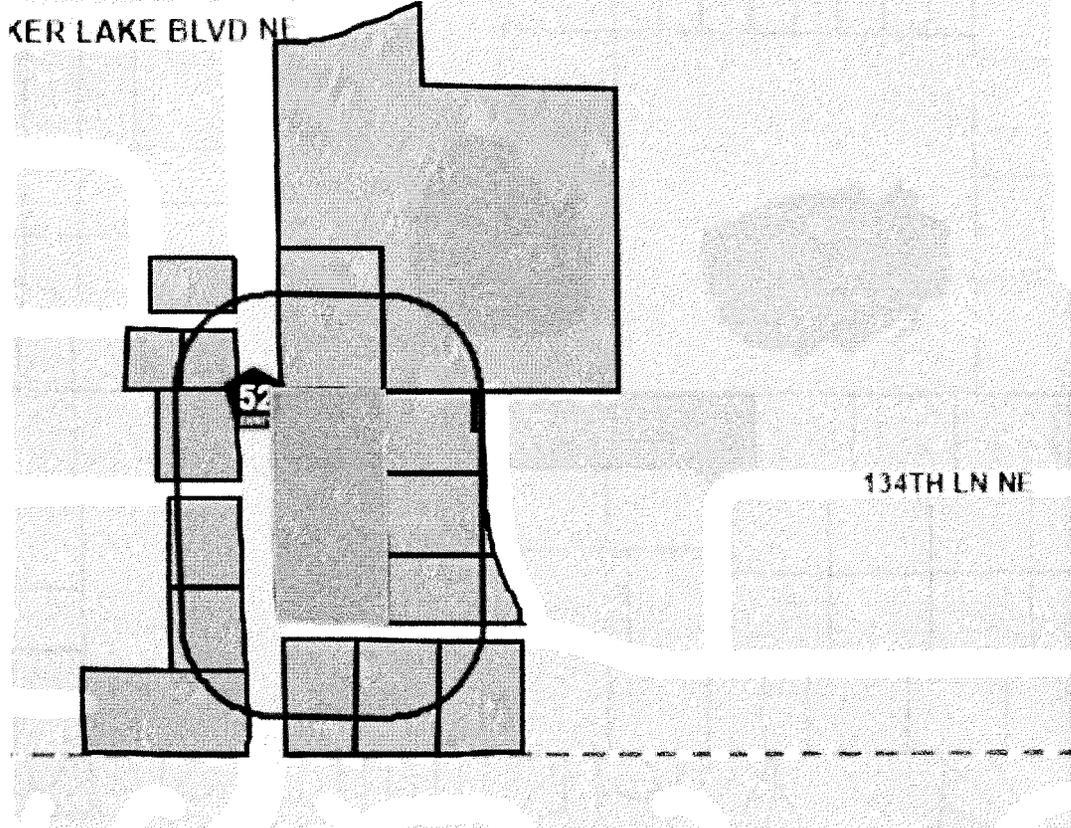


N →



Layer to search

KER LAKE BLVD NE



134TH LN NE

Select or search for a feature in the map

▼ 13401 Radisson Rd



Apply a search distance

350 Feet

Addressee Layer

Owner Address

Format

Comma-separated values

17 addressees found; do you want to continue?

BERGE SCOTT A & MICHELLE E	PIN: 33-32-23-34-0009	2135 134TH LN NE	HAM LAKE, MN 55304
BUNKER LK BLVD BAPTIST CHURCH	PIN: 33-32-23-42-0007	13627 RADDISON RD NE	HAM LAKE, MN 55304
CADILLAC RANCH LLC	PIN: 33-32-23-43-0001	3248 117TH LN NE	BLAINE, MN 55449
CHRIST FELLOWSHIP	PIN: 33-32-23-43-0004	22115 QUINCY ST NE	EAST BETHEL, MN 55011
EMMANS, LORI A	PIN: 33-32-23-43-0010	2220 133RD LN NE	HAM LAKE, MN 55304
FRID PATTI A	PIN: 33-32-23-34-0010	13324 RADISSON RD NE	ANOKA, MN 55304
FRID, APRIL LEA	PIN: 33-32-23-34-0004	2148 134TH LN NE	HAM LAKE, MN 55304
FRID, MICHAEL ERIC	PIN: 33-32-23-34-0017	13344 RADISSON RD NE	HAM LAKE, MN 55304
HACHEY, PETER D	PIN: 33-32-23-31-0009	13541 OWATONNA ST NE	HAM LAKE, MN 55304
KRTNICK, DANIEL N	PIN: 33-32-23-42-0003	13507 RADDISON RD NE	HAM LAKE, MN 55304
LEMAY, TODD M	PIN: 33-32-23-31-0015	2144 135TH LANE NE	HAM LAKE, MN 55304
OSENDORF, GARY	PIN: 33-32-23-43-0003	13450 STAPLES ST NE	HAM LAKE, MN 55304
SCHWARTZBAUER DAVID	PIN: 33-32-23-43-0009	2250 133RD LN NE	HAM LAKE, MN 55304
TAYLOR LEROY A & SUSAN L	PIN: 33-32-23-43-0011	13420 STAPLES ST NE	HAM LAKE, MN 55304
WILLIAMS, BRIAN R	PIN: 33-32-23-31-0014	2128 135TH LN NE	HAM LAKE, MN 55304
ZELINSKI, JOHN D	PIN: 33-32-23-43-0008	2314 133RD LN NE	HAM LAKE, MN 55304

BERGE SCOTT A & MICHELLE E
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PIN: 33-32-23-31-0014
2128 135TH LN NE
HAM LAKE, MN 55304

ZELINSKI, JOHN D
PIN: 33-32-23-43-0008
2314 133RD LN NE
HAM LAKE, MN 55304

9-210.3 Rural Single Family Residential (R-A) R-A districts are intended for residential dwellings occupied by a single housekeeping unit, located in unplatted areas.

a. Permitted Uses: The following shall be permitted uses in the R-A Districts:

- a) All permitted uses in the R-1 District
- b) Sod Farming
- c) Horticulture
- d) Sales of Produce grown on the site
- e) Maintaining Horses, Donkeys or Mules pursuant to Article 5-200 of the Ham Lake City Code;

b. Conditional Uses: The following shall apply to Conditional Uses in the R-A Districts.

a) General Requirements for Conditional Uses

- i) Road Frontage: The lot upon which the conditional use is proposed must contain at least 200 feet of frontage on a public road; and
- ii) Setback: The building and/or perimeter area of the land upon which activity for which the conditional use permit is proposed is set back at least fifty (50) feet from all lot lines, and
- iii) Screening: If deemed appropriate by the City Council after review and recommendation of the Planning Commission, an adequate screening barrier of a type and composition acceptable to the City shall be provided.
- iv) Small Lots: Notwithstanding the following, for R-A lots of three acres or less in size, as measured from the centerline of adjacent roadways, the only Permitted Uses and Conditional Uses allowed shall be those in the R-1 zoning district.

b) Listing of Conditional Uses: The following *Conditional Uses* shall apply in the R-A Districts:

- i) All *Conditional Uses* in the R-1 District
- ii) Public Dog Kennels meeting the requirements of Article 5-163
- iii) The raising of Livestock, Poultry, or other animals as outlined in Article 5-300 Animal Permits
- iv) Cemeteries



- v) Excavation or mining pursuant to permits issued under Article 11-600 of the Ham Lake City Code, but only within Mining Overlay Districts as defined therein
- vi) *Farm Wineries* under Article 9-330.4 of the Ham Lake City Code
- vii) Other Small Businesses which:
 - aa) Generate no noise which would violate the standards for residential land uses as found in the regulations of the Minnesota Pollution Control Agency, as expressed therein, which regulations are hereby adopted by reference insofar as they pertain to permitted decibel levels adjacent to or near residential properties, and
 - bb) Generate no odors, fumes, vibrations or light beyond the property lines, and
 - cc) Are largely screened from outside view, and
 - dd) Accommodate all parking on-site, and
 - ee) Do not generate unreasonable customer traffic, and
 - ff) Do not engage in on-site retail sales
- viii) Wetland Banking under Article 9-330.8 of the Ham Lake City Code.



Business Narrative for Branch & Bloom Flower Farm

Branch & Bloom Flower Farm is primarily a flower farm, growing warm season annuals, and some cool season bulbs, and perennials. This is a family farm and a family-run business.

General Business Hours

The farm's general business hours will run April – December, Thursday-Saturday from 8 a.m. – 9 p.m. and Sundays from 8 a.m. – 5 p.m.

We are closed for general business January through March.

The farmhouse will be available by private reservation year-round for groups of 20 or less. Farmhouse appointment hours would be from 8 a.m. to 10 p.m.

Flower Stand

We will sell the flowers we grow, by stem, by vessel or by a pre-made arrangements, and will available for pick up at a flower stand on the property. The flower stand is not a building, and not a part of any building. This is a mobile display used to hold flowers for sale. The Flower Stand Hours will operate under the General Business Hours as noted above.

Since there is not a place on the main street where someone can pull over, we use signage to direct customers to drive onto our driveway, pick up their flowers, and circle around in the paved roundabout to head out the same way they came in. The mobile flower stand display is put away in a storage shed on the days that it is not in use. In the future, when we have more chickens laying eggs, I would put out eggs at the flower stand for pick up (people would sign up and pay for weekly eggs ahead of time, and the flower stand would just be for pick-up).

The flower stand is self-serve so there are no employees working the stand.

U-Pick Sessions

The flower farm will also sell the flowers we grow by offering U-Pick sessions in our south field, where people pre-register and pay on our website, to come to the farm and cut their own flowers and make their own arrangements. Each session is limited to 20 attendees. We will do 2 two-hour U-pick sessions a week, during general business hours. We will use tables and a tent out next to the flower field as a space for people to build their bouquets. We provide vases & scissors and instruction on cutting and bouquet-making. The cost of this activity is dependent on the size of the vase that the person fills up. I lead the event and my family members help me set up and tear down.

In the future, it would be nice have a coffee cart or some sort of beverage station so people can get iced coffee and sparkling teas when they come to their U-Pick sessions. I am making connections with mobile coffee cart companies but haven't made any concrete plans for how this would work or how feasible this would be. The owner of the coffee cart would have the necessary permits to make and sell refreshments/food from their cart.

In the future, we plan to offer U-pick sessions for pumpkins that we grow in our north field. We would have people pre-register on the website and then pay per pound once they pick their pumpkins. Either myself or Clayton would be there to assist with weighing the pumpkins and accepting payment. This would also operate during General Business Hours.

Bloom Bars (Build Your Own Bouquet)

For people who want to do the bouquet making, but don't want to cut their own flowers, we can provide a display of pre-cut flowers and offer instruction on how to build your own arrangement or bouquet. We can use flowers grown on the farm during the growing season, and can supply or supplement the Bloom Bar with wholesale flowers in the off-season. Bloom Bars can be near the flower field under a tent, or on the cement patio of the farmhouse, or inside the farmhouse if weather does not allow it to be outside. Our Bloom Bars would be limited to 15 people indoors, an 20 people outdoors. I am the one that would usually cut the flowers and lead the bouquet making. I may invite guest florists to lead bouquet making in the future.

Photography

This historic 100-year old farm is a beautiful backdrop for photography (family photos, maternity photos, senior photos, etc.). We will grant private access to the farm on an hourly basis so photographers and their clients can come and do their photo sessions outside, or inside the renovated farmhouse. We will offer this throughout the year, although most of the photography on the farm will take place June-November. It would be one family and one photographer at a time, and would be by appointment only.

In the future, we hope to do a big sunflower field in the north field, and could offer that as a backdrop for photos too. We would have people pre-register and pay online for specific days/times. We anticipate this would also be family photos, but would be more amateur photographers and we would limit this to no more than 10 people at a scheduled session. This would also operate within General Business Hours.

Workshops

We plan to offer creative workshops, which would be limited to 15-20 attendees per session, depending on where it's held on the farm. These private events would be by

appointment only. Depending on weather, these would take place either outdoors, in the farmhouse (15 people max), or in the pole barn. Again, people would pre-register and pay online ahead of time so that we have enough supplies for each group. Our workshops would walk people through creating décor, like porch pots, wreaths and table arrangements, etc.

Christmas Trees

We plan to sell a limited number of Christmas Trees, wreaths & porch pots for a limited time starting Black Friday weekend through Christmas. We will be open during the General Business Hours. We anticipate about 50 customers per day. We will staff the Christmas Tree stand ourselves, and use family and friends to help with baling trees, loading the cars, directing cars, etc.

Farm/Farmhouse Rental

People love coming to the farm for a taste of the simple life. A slower pace, time to be closer to nature, with plants and animals around you and space to walk around. I plan to share this beautiful restoration we did with people through small events that would be by private reservation only. We could offer educational events, like sourdough workshops, pie making workshops, etc, or offer entertaining events like murder mystery nights. We can rent out the space for small group activities like team retreats, strategic planning meetings, or holiday parties. We could also host children's birthday parties. These events could be outdoors, indoors, or a mixture of both. Anything inside the farmhouse would be limited to 15 attendees. Anything outdoors would be limited to 50 attendees. Any 'employees' for these events are myself and my husband, or family members who help us out.

Parking

We have an area of the field where we plan to pave and stripe a parking lot for 20 cars. The dimensions will be 65 feet by 115 feet.

Storage

We have plenty of storage in the hay loft of the barn for things that need to be stored.

Minnesota State Accessibility Code

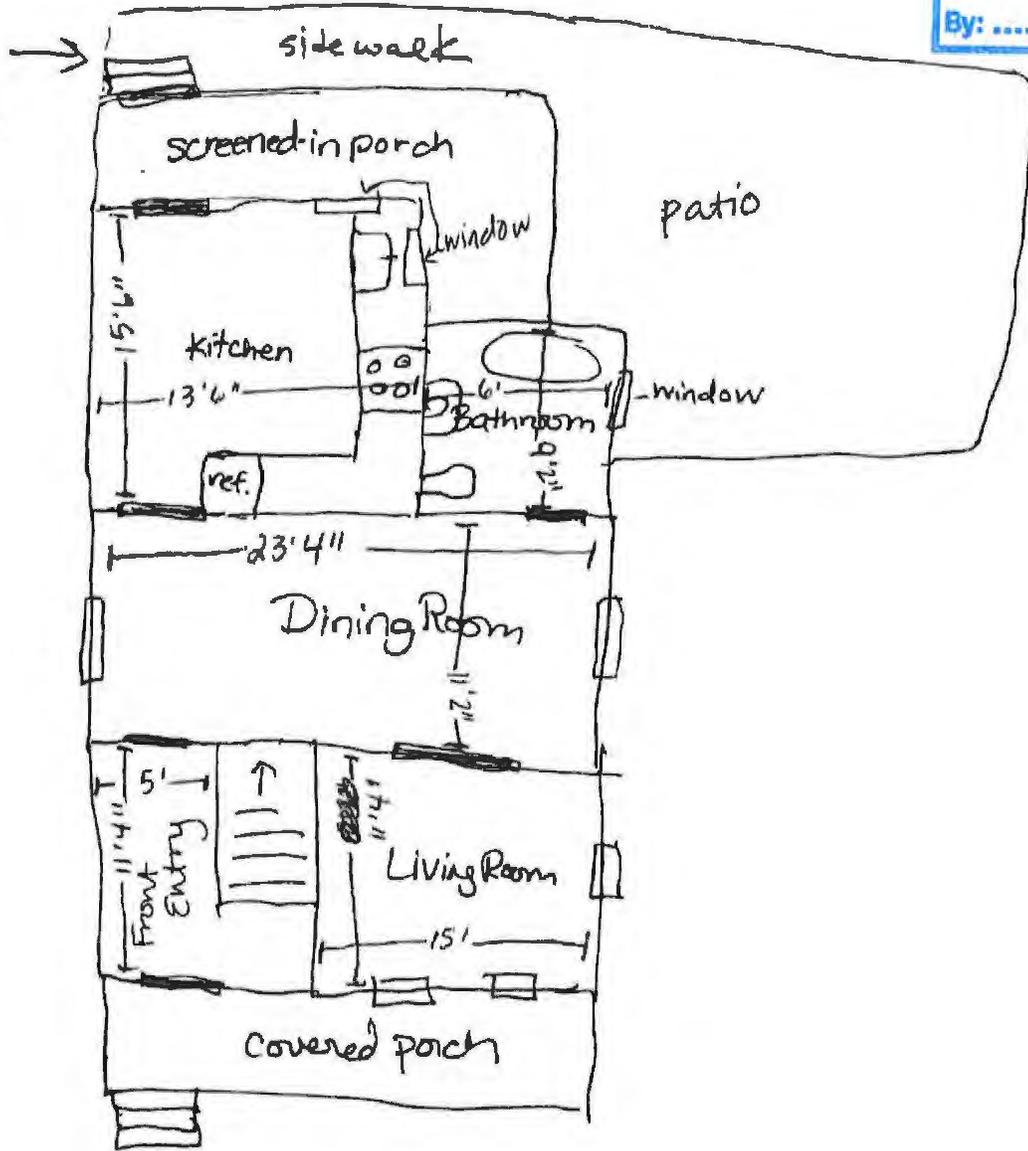
A hard surface from the parking lot to the driveway, to the farmhouse, with a ramp, will be constructed. The entrance door and the bathroom door on the main floor of the farm house are both ADA compliant. From the farm house, to the flower fields, is a manicured turf lawn, that is stable, firm, and slip resistant, and does not exceed the slope guidelines of

5%. For the flower field, the paths in between the flower rows are 72 inches wide and are of stable, firm and slip resistant turf.

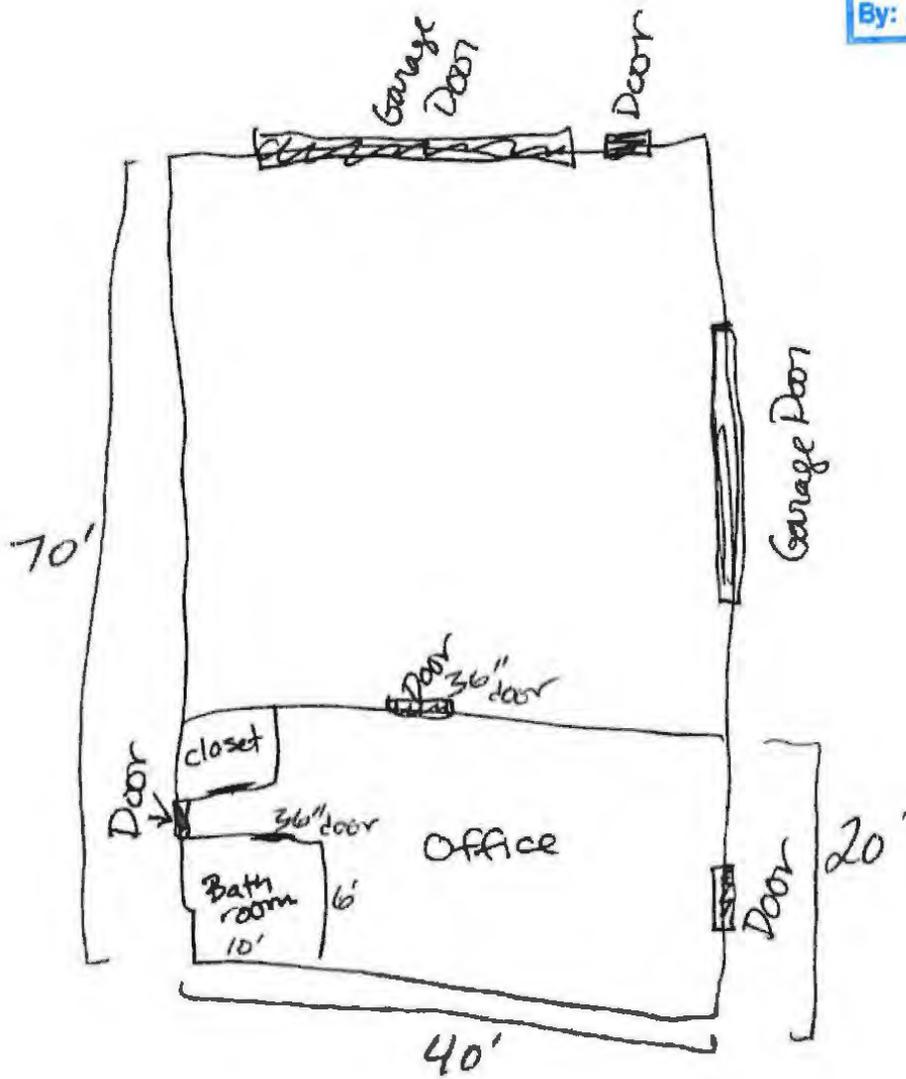
First Floor Farmhouse (2nd Floor would not be used.)

RECEIVED
JAN 28 2026
By:

Back Porch
Main Entry
for people



Pole Barn

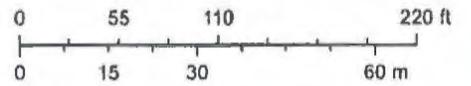


ArcGIS Web Map



1/28/2026, 2:18:44 PM

1:1,200



REC'D
JAN 28

RECEIVED
JAN 28 2026
By:



CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

PLANNING REQUEST

Date of Application 10/6/2025

Date of Receipt 10 10 25 / 10-15 25

Receipt # 104044 Amount \$ 750.00

Meeting Appearance Dates:
Planning Commission 2/23/2026

City Council 104075 \$400.00 (CUP)

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other Commercial Site Plan

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: TSC - Ham Lake Tractor Supply Co.

Address/Location of property: 16250 Johnson St NE 1362 164th Ave NE

Legal Description of property: East Half of the Northeast Quarter of the Northwest Quarter of Section 17, Township 32 North, Range 13 West, Aroka County, Minnesota

PIN # 17-32-23-21-0021 Current Zoning CD-1 Proposed Zoning CD-1

Notes: Redevelopment of vacant lot w/ existing pavement.

Applicant's Name: Will Polisky

Business Name: CMK Properties, LLC

Address 216 Centerville Dr #325

City Brentwood State TN Zip Code 37027

Phone 615-516-6367 Cell Phone _____ Fax _____

Email address _____

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE Will Polisky DATE 09/17/2025

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____
City Council _____

PROPERTY TAXES CURRENT YES NO
Any Active/Deferred Assessments YES NO

**NOTICE TO ALL APPLICANTS FOR MUNICIPAL
PERMITS, LICENSES,
OR OTHER MUNICIPAL ACTION**

1. *If you are requesting municipal action on any request for any of the above, you will be required to furnish certain information about yourself, the project you are involved in, or other matters pertaining to the subject. Some of the information you are asked to provide is classified by state law as either private or confidential. Private data is information which generally cannot be given to the public but can be given to the subject of the data. Confidential data is information which generally cannot be given to either the public or the subject of the data.*

2. *The purpose of this information is to enable the City Staff, Commissions, Council or other government agencies to evaluate relevant factors in considering your request. You are not legally required to provide this information. If you do not provide the requested information, the City may not act upon your request.*

3. *The information you supply will be public and available to any entity requesting to inspect the information.*

**DATA PRACTICES ADVISORY
TENNESSEN WARNING
REQUIRED BY MINNESOTA STATUTES CHAPTER 13.04**

SIGNED BY Wade Poty

COMPANY/TITLE: GMK Properties/Development Manager

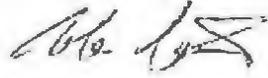
DATE: 10/6/2025

**CITY OF HAM LAKE
ACKNOWLEDGMENT OF RESPONSIBILITY
TO REIMBURSE EXPENSES**

The undersigned, Mark Lovecchio, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

Type of Application

acknowledges that the sum of \$ 750.00, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

Applicant Signature  Dated 10-6-25

The following statement must be signed if the applicant is not the property owner:

_____, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

I am aware of the application being submitted by the applicant and approve the request.

Property Owner Signature  Dated 10/6/25

TRACTOR SUPPLY NARRATIVE:

Tractor Supply Company operates retail stores supplying the lifestyle needs of recreational farmers and ranchers. TSC also serves the maintenance needs of those who enjoy a rural lifestyle, as well as tradesmen and small businesses.

Some of the uses typical to Tractor Supply are:

- Retail Sales
- Outdoor display of merchandise in front of the building
- Outdoor display of merchandise in a fenced outdoor area, like a garden center
- Greenhouse/Live Good Center inside the fenced area and the sale of plants and baby chickens / ducks seasonally
- Outdoor display of merchandise in a Permanent Trailer Display area in the parking area
- Outdoor display and sale of bulk propane from a 1,000 gallon tank
- Outdoor display and sale of hay & forage
- Pet grooming, washing services & occasional pet vaccination events

Listed below are the store hours and customer traffic counts for a typical TSC store.

Weekdays

Store Hours: Monday through Friday 8AM to 9PM

Daily Total Count: 225-275 customers

Peak Period Count per Hour: 30-55 customers (11AM-1PM & 5PM-8PM)

Weekends

Store Hours: Saturday 8AM to 9PM; Sunday Noon to 6PM

Daily Total Count: 275-450 customers

Peak Period Count per Hour: 40-60 customers (11AM-1PM & 5PM-8PM)

Notes:

- Noon to 5PM on Friday and all day Saturday are normally the busiest periods of the week.
- The average customer will stay in the store for approximately 15-20 minutes.
- Between 5-7 employees expected per shift.

CITY OF HAM LAKE

STAFF REPORT

To: Members of the Planning Commission

From: Mark Jones, Building Official

Subject: Tractor Supply Company (TSC) request for Commercial Site Plan to construct a retail store at 1362 164th Avenue NE

Introduction/Discussion:

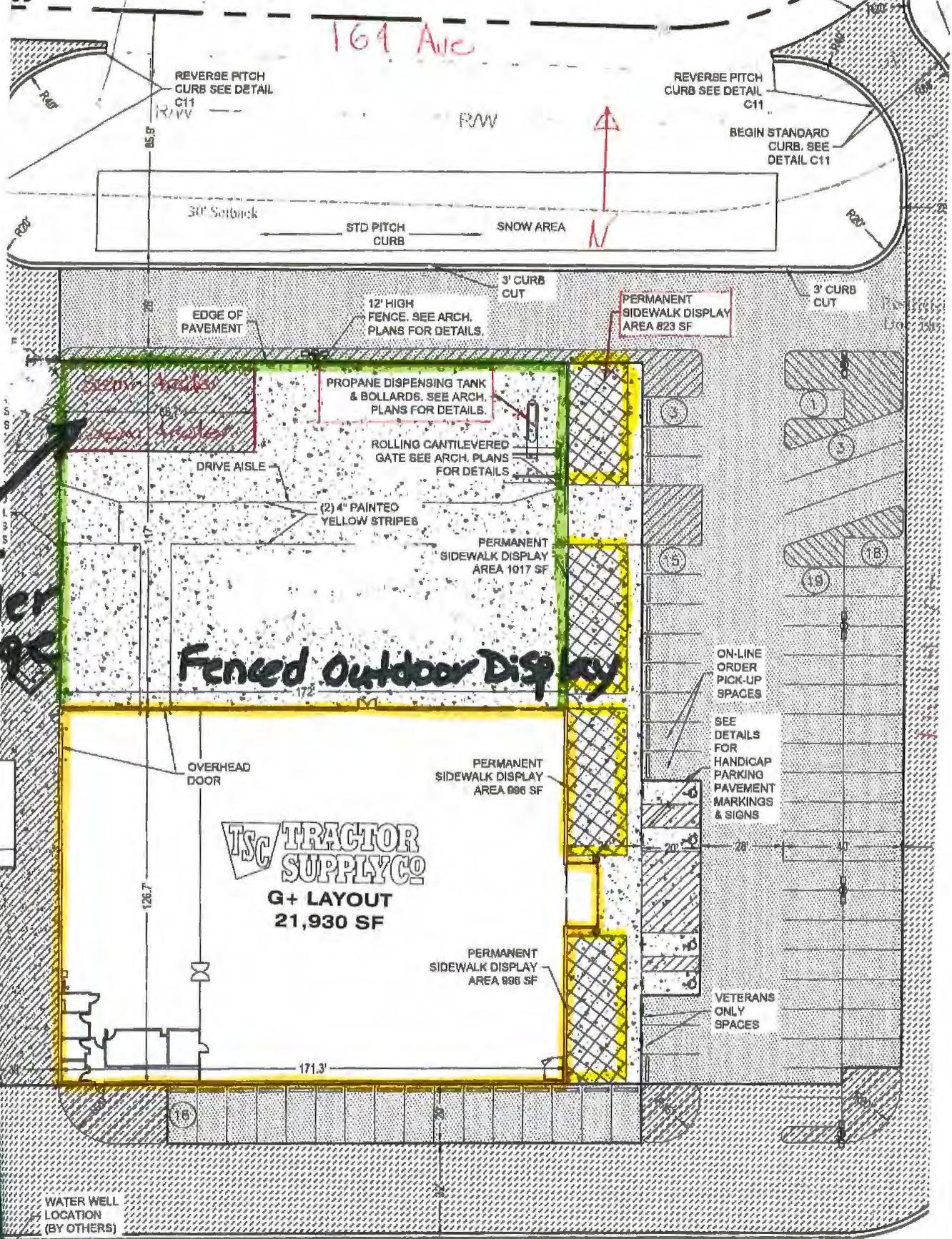
Tractor Supply Company (TSC) is proposing to construct a 21,930 square-foot building with a 19,894 square-foot fenced area for outside sales display, to be located at 1362 164th Avenue NE, (which fronts Highway 65 NE). This property is zoned Commercial Development I (CD-1). TSC operates retail stores supplying the lifestyle needs of recreational farmers and ranchers. TSC also serves the maintenance needs of those in rural settings, as well as tradesmen and small businesses. TSC will have a permanent outdoor display of merchandise, such as utility trailers and riding lawn mowers in front of the building and an outdoor display area of merchandise in a fenced area like a garden center.

The 19,894 square fenced area will be black wrought iron with split face CWU columns similar to the Elk River location (see attached picture). This area will have a greenhouse for the sale of plants and a Live Goods Center for the sale of baby chickens and ducks which will be seasonally. Within the outdoor fenced area, TSC will have a display for the sale of hay and forage, which will be stored on semi tractor flatbed trailers. This could be a point of discussion for the Planning Commission if screening is required so that the trailers are not visible from Highway 65. Per Ham Lake City Code, inventory is permitted Outside Storage for Improvement Stores but must be separately identified on the initial site plan submitted with the initial request for certificate of occupancy. Bins or containers housing the Inventory shall also be permitted Outside Storage for Improvement Stores. Pet grooming, washing services & occasional pet vaccination events will also be provided. TSC will sell and fill bulk propane from a 1,000-gallon tank.

Recommendation:

I recommend approval of the Commercial Site Plan for Tractor Supply Company (TSC), along with meeting all State, County and City requirements.

169 Ave



semi-trailer storage

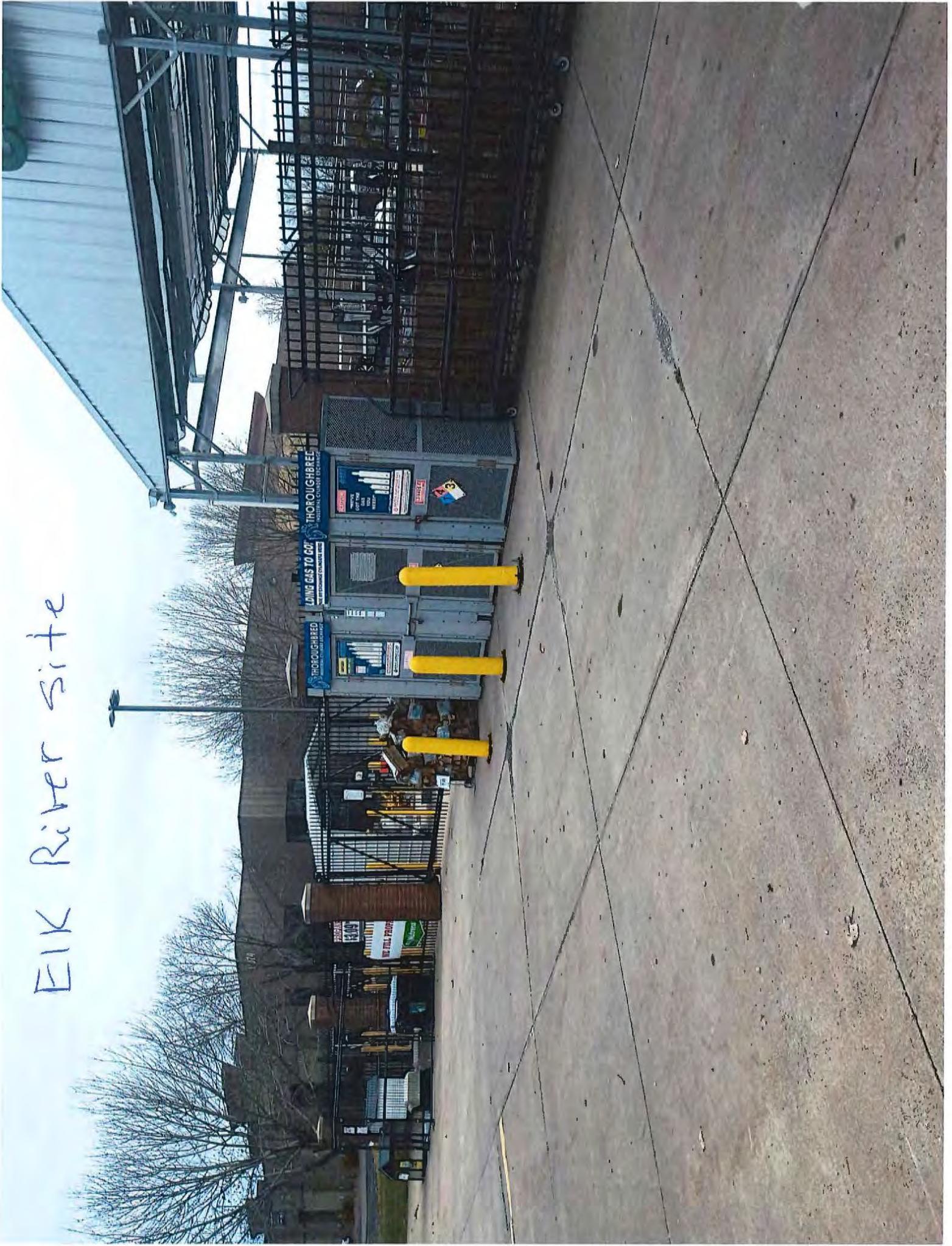
Fenced Outdoor Display

TSC TRACTOR SUPPLY CO
G+ LAYOUT
21,930 SF

667.16
S 88°41'07" W

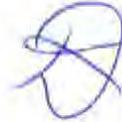
BEGIN STD PITCH CURB. SEE DETAIL C11
END REVERSE PITCH CURB. SEE DETAIL C11

EIK River site



Memorandum

Date: February 18, 2026
To: Planning Commissioners
From: David A. Krugler, City Engineer
Subject: Tractor Supply



Introduction:

The proposed 21,930 square-foot Tractor Supply building is located on the 6.99-acre (17-32-23-21-0021) 1362 164th Avenue NE site. The parcel is zoned Commercial Development Tier 1 (CD-1). A 200-scale aerial photo, a 400-scale zoning map and a 400-scale half section map are attached.

Discussion:

The Title Sheet, General Notes, Existing Conditions-Demo Plan, Site Plan, Grading and Drainage Plan, Utility Plan, Erosion Control Plan, Construction Details, Boring Logs, Landscape Plan and Storm Sewer Design received February 11th and the Architectural Plans received February 4th address prior review comments.

The attached Landscape Plan shows trees along the west and north side of the building. Per Article 11-1853(B) of the City Code, decorative trees shall be planted along the right-of-way lines of adjacent public roadways. Article 11-1860 allows for case-by-case evaluation of landscape requirements for commercial land approval and "...strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan". A determination needs to be made as to whether the proposed landscaping is adequate adjacent to the public roadway or if additional screening should be required.

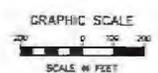
The Tractor Supply project was conditionally approved by the Coon Creek Watershed District (CCWD) Board of Managers at their January 26th meeting. The Notice of Application Status is attached. A CCWD permit is required before grading operations can commence. A Minnesota Pollution Control Agency National Pollutant Discharge Elimination System Construction Stormwater Permit is also required before grading operations can commence because the disturbed area exceeds one acre.

Recommendation:

It is recommended that the Tractor Supply commercial site plan be recommended for approval, including the determination if the proposed screening is adequate.

N 1/2 SECTION 17, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 234
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	31	43	44
23	24	35	14
22	21	42	41
33	34	43	44

NORTH HALF OF SECTION
SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS ()
EXAMPLE OF PN NUMBER: 17-32-23-011

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

501

16455

16401

16339

22

JOHNSON ST.

164TH LN.

ULYSSES S.

1362

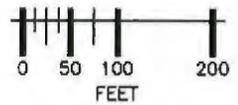
16326
16324
16320

1365

1360

16248

STATE TRUNK HIGHWAY NO. 65





Know what's below.
Call before you dig.

GOPHER STATE ONE
48 HOURS BEFORE YOU DIG
CALL 811 OR 800-252-1166

UTILITY COMPANIES:

ELECTRIC:
CENTERPOINT ENERGY
CONTACT: CUSTOMER SERVICE
PH: 713-207-2222

GAS:
CENTERPOINT ENERGY
CONTACT: CUSTOMER SERVICE
PH: 612-321-4939

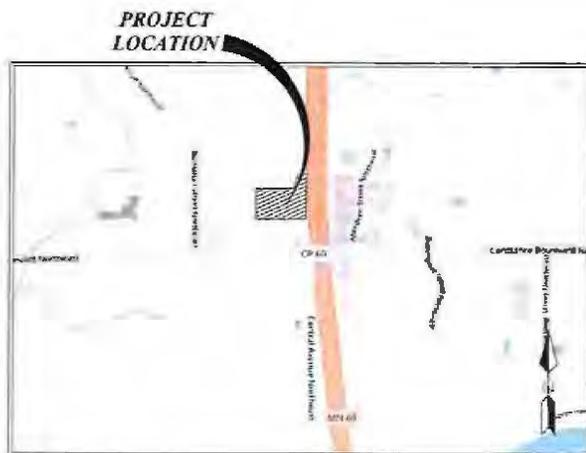
TELEPHONE:
CONTACT: CUSTOMER SERVICE
WEBSITE: WWW.SPECTRUM.COM



SITE DEVELOPMENT PLANS

TSC HAM LAKE, MN

February 2026



VICINITY MAP
T 2 1804

Sheet List Table	
Sheet Number	Sheet Title
C1	TITLE SHEET
C2	GENERAL NOTES
C3	EXISTING CONDITIONS-DEMO PLAN
C4	SITE PLAN
C5	GRADING AND DRAINAGE PLAN
C6	UTILITY PLAN
C7	EROSION CONTROL PLAN
C8	EROSION CONTROL DETAILS
C9	CONSTRUCTION DETAILS
C10	CONSTRUCTION DETAILS
C11	CONSTRUCTION DETAILS
C12	CONSTRUCTION DETAILS
C13	BORING LOGS
C14	BORING LOGS
C15	BORING LOG MAP
L1	LANDSCAPE PLAN

THE STANDARD SHEETS SPECIFICALLY IDENTIFIED ABOVE HAVE BEEN SELECTED BY ME OR UNDER MY RESPONSIBLE SUPERVISION AS BEING APPLICABLE TO THIS PROJECT.

PREPARED BY

SE3
13747 MONTFORT DR
SUITE 275
DALLAS, TX 75240
214-676-9968

PREPARED FOR:

CMK PROPERTIES, LLC

216 CENTERVIEW DRIVE
SUITE 325
BRENTWOOD, TN 37027

PRELIMINARY - FOR REVIEW ONLY

THIS DOCUMENT HAS BEEN REVIEWED AND APPROVED FOR CONSTRUCTION BY THE STATE OF TEXAS. THE REVIEW WAS PERFORMED BY CHUCKA BROWN ON 02/11/2026.

MATT GAUNT
PH: 214-676-9968

PROJECT NOTES:

BENCHMARKS

1. BENCHMARK
2. BENCHMARK
3. BENCHMARK
4. BENCHMARK

ISSUANCES / REVISIONS

NO.	DATE	BY	DESCRIPTION
1			

**TRACTOR SUPPLY COMPANY
HAM LAKE, MN**

TITLE SHEET

PROJECT NUMBER	ISSUED
216-001	02/11/2026
DESIGNED BY	SHEET NO.
DRAWN BY	C1
CHECKED BY	OF 15 SHEETS
DATE PLOTTED	

ARCHITECT:

SACRSA ARCHITECTURE
CONTACT:
CHIP WALLACE
231 PUBLIC SQUARE, SUITE 300
FRANKLIN, TN, 37054
PH: 615-481-3313
EMAIL: CHIP@SACRSA.CO

CIVIL ENGINEER:

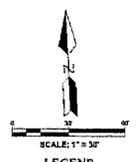
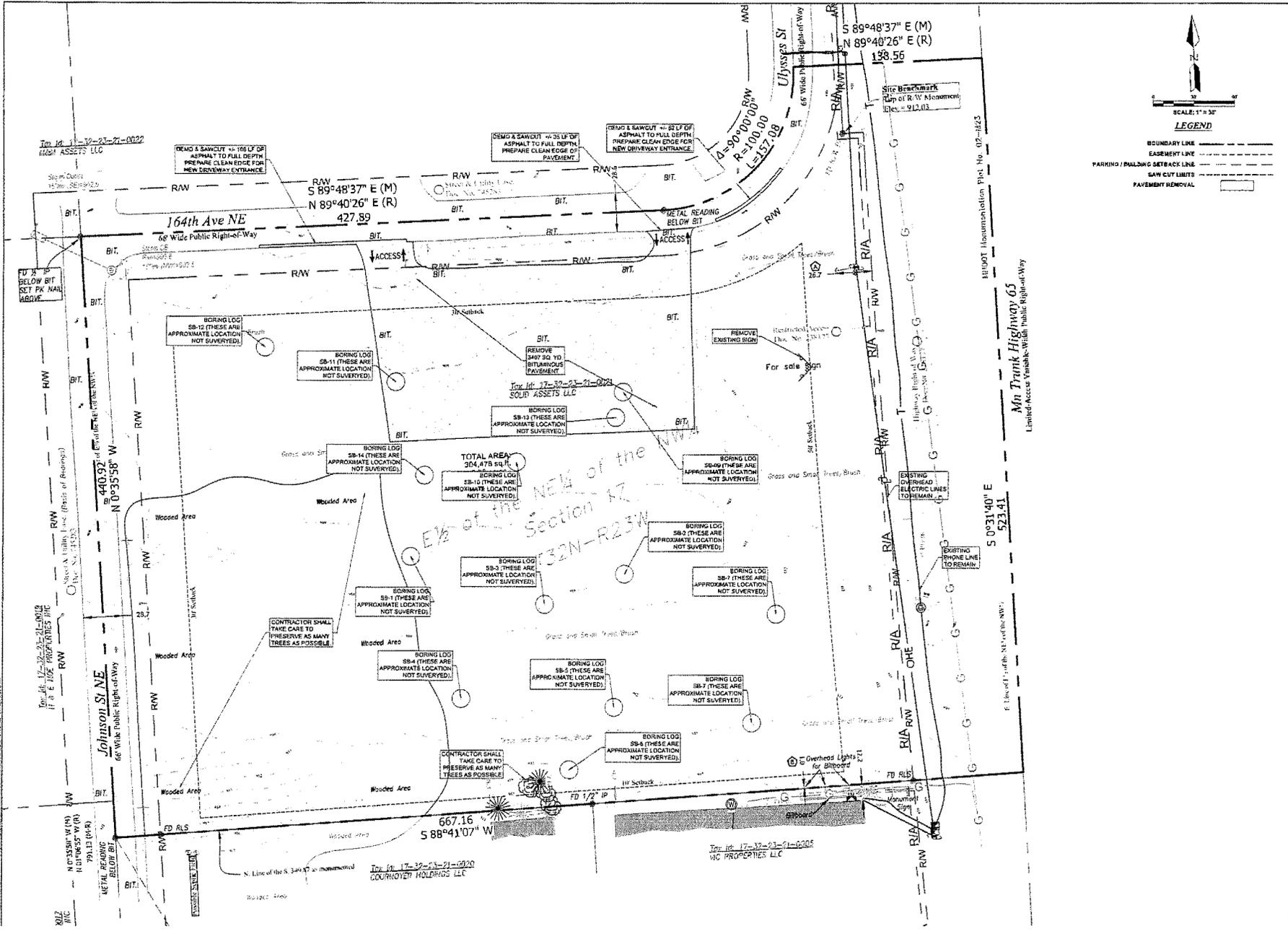
SE3, LLC
CONTACT:
MATT GAUNT, P.E.
13747 MONTFORT DR SUITE 275
DALLAS, TX 75240
PH: 214-676-9968 OFFICE
EMAIL: MGAUNT@SE3.US

SURVEYOR:

BONNEMA RUNKE STERN INC
CONTACT:
JOSHUA STERN
4566 HWY 71NE SUITE 1
WILLMAR, MN 56201
PH: (320) 231-2844
EMAIL: CHUCK@BRSSURVEYS.COM

DEVELOPER (CLIENT):

CMK PROPERTIES, LLC
CONTACT:
WILL POLISKY
216 CENTERVIEW DRIVE SUITE 325
BRENTWOOD, TN 37027



LEGEND

BOUNDARY LINE	---
EASEMENT LINE	- - - - -
PARKING / BUILDING SETBACK LINE	---
SWAY CUT LIMITS	---
PAVEMENT REMOVAL	---

PREPARED BY:
SEA
 13747 MONTFORT DR
 SUITE 275
 DALLAS, TX 75240
 214-676-9968

PREPARED FOR:
CMK PROPERTIES, LLC

216 CENTERVIEW DRIVE,
 SUITE 325
 BRENTWOOD, TN 37027

PRELIMINARY - FOR REVIEW ONLY
 THESE DOCUMENTS ARE FOR REVIEW PURPOSES
 AND NOT INTENDED FOR CONSTRUCTION.
 SHOULD THE PROJECT PROCEED, THEY MUST
 BE PREPARED BY OR UNDER SUPERVISION OF
 A PROFESSIONAL ENGINEER.

PROJECT NOTES:

BENCHMARK:
 661 Benchmark
 Top of W. Monument
 E. 89°48'37" W
 Dist. = 912.03

DATE/REVISION DATA:
 The Drawings shown are for the project as per the
 International Vehicle County of 1998 (R23W R23)
 E. 89°48'37" W
 Dist. = 912.03

EXISTING OVERHEAD ELECTRIC LINES TO REMAIN:
 11KV OVERHEAD POWER LINE
 4KV OVERHEAD POWER LINE
 2KV OVERHEAD POWER LINE

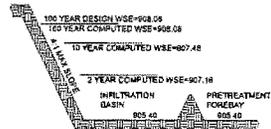
REVISIONS / REVISIONS

NO.	DATE	BY	DESCRIPTION
01	01/17/2023	MCA	ISSUED FOR RECORD

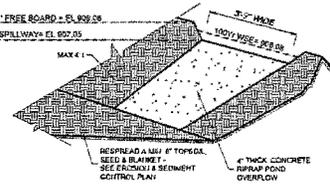
TRACTOR SUPPLY COMPANY
 HAMI LAKE, MN

EXISTING CONDITIONS DEMO PLAN

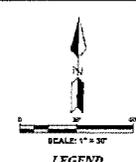
PROJECT NUMBER	01-229-012
DATE	01/17/2023
DRAWN BY	MSL
CHECKED BY	MSL
APPROVED BY	MSL
SCALE	AS SHOWN
SHEET NO.	03



DETENTION BASIN ADDED INCREMENTAL STORAGE VOLUME	
Elevation	Volume (AC-FT)
906	0.20
907	0.54
908	1.15
909	1.80



EMERGENCY POND SPILLWAY
BROAD WEIR
SCALE: NTS



- BOUNDARY LEGEND**
- PROPOSED CONTOURS
 - EXISTING CONTOURS
 - DRAINAGE FLOW / GUTCH LINE
 - STORM SEWER LINE / DRAINAGE LINE (DOUBLE LINE)
- STORM GRATE INLET CATCH BASIN STRUCTURE**
- STORM CLEANOUT
 - REF SPEC (SAFETY FLARED END SECTION) W/ CRATE
 - ELEVATION SPOT HEIGHT
- GRADING NOTES**
- TC = TOP OF CURB
 - FL = FLOW LINE
 - FF = FINISHED FLOOR
 - TW = TOP OF WALL
 - P = PAVEMENT
 - T = TOP OF INLET
 - FC = FINISHED GRADE
 - MP = HIGH POINT
 - BW = BOTTOM OF WALL

- DRAINAGE NOTES**
1. ALL ELEVATIONS PER SURVEY SHALL BE ADJUSTED TO THE MEAN SEA LEVEL ELEVATION.
 2. CHANNEL TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO 95% OF MAXIMUM DENSITY AS APPROVED BY THE ENGINEER. SHOULDER MATERIAL SHALL BE PLACED AND COMPACTED TO 90% OF MAXIMUM DENSITY AS APPROVED BY THE ENGINEER. UNDESIRABLE MATERIALS SHALL NOT BE USED IN ANY TRENCH OR UNDER OR WITHIN 12 FEET OF PAVED SURFACES. THE BACKFILL SHALL EXTEND TO THE SUBGRADE OF THE PAVEMENT UTILITY TRENCHES OR UNDER OR WITHIN 12 FEET OF PAVED SURFACES. MATERIALS AS APPROVED BY THE ENGINEER SHALL BE SUBSTITUTED FOR MATERIALS AT THE DISCRETION OF THE CONTRACTOR.
 3. IF PIPES ARE INSTALLED PRIOR TO MAJOR GRADING, REINFORCING IN THE PLACEMENT OF SOIL ABOVE THE PROPOSED CONSTRUCTION TRENCH SHALL BE INSTALLED AND REINFORCING SHALL BE INSTALLED TO THE FULL DEPTH OF THE TRENCH. ALL REINFORCING SHALL BE INSTALLED TO THE FULL DEPTH OF THE TRENCH. ALL REINFORCING SHALL BE INSTALLED TO THE FULL DEPTH OF THE TRENCH.
 4. THE PROPOSED STORM SEWER SHALL BE INSTALLED AND TESTED PER ALL SECTIONS OF ASTM D1521. PVC MATERIAL SHALL BE INSTALLED AND TESTED PER ALL SECTIONS OF ASTM D1521.
 5. STORM SEWER SHALL BE HUNG EXCEPT WHERE NOTED OTHERWISE. HANGING SHALL CONFORM TO ALL LOCAL, STATE, FEDERAL AND FEDERAL REGULATIONS. ALL HANGING SHALL MEET THE REQUIREMENTS OF ASTM D1521.
 6. RCP STORM SEWER SHALL CONFORM TO ASTM D1521 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM D1521. THE REQUIRED CLASS OF PIPE SHALL BE AS SPECIFIED IN THE PLANS, OR CLASS IF NOT SPECIFIED.
 7. THE PVC STORM SEWER SHALL BE INSTALLED TO THE BUILDING FOR DOWNSPOUT COLLECTION. ALL STORM SEWER SHALL BE INSTALLED TO THE BUILDING FOR DOWNSPOUT COLLECTION. ALL STORM SEWER SHALL BE INSTALLED TO THE BUILDING FOR DOWNSPOUT COLLECTION.
 8. CONTRACTOR SHALL COORDINATE WITH THE UTILITIES FOR ALL EXISTING UTILITIES. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 9. ALL EXISTING FIELD DRAINAGE TRENCHES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL EXISTING FIELD DRAINAGE TRENCHES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 10. ALL EXISTING FIELD DRAINAGE TRENCHES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL EXISTING FIELD DRAINAGE TRENCHES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 11. CONTRACTOR TO INSTALL UTILITY TYPE C STAFF RAIN GAGE.

PREPARED BY:
SEB
13747 MONTFORT DR
SUITE 375
DALLAS, TX 75240
214-678-9868

PREPARED FOR:
CMK PROPERTIES, LLC

215 CENTERVIEW DRIVE
SUITE 325
BRENTWOOD, TN 37027

PRELIMINARY - FOR REVIEW ONLY
THIS DOCUMENT IS FOR PRELIMINARY REVIEW ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

PROJECT NOTES:

BENCHMARKS:
Top of BM Monument
Elevation = 1162.28
E. 1/2" = 1" = 100'

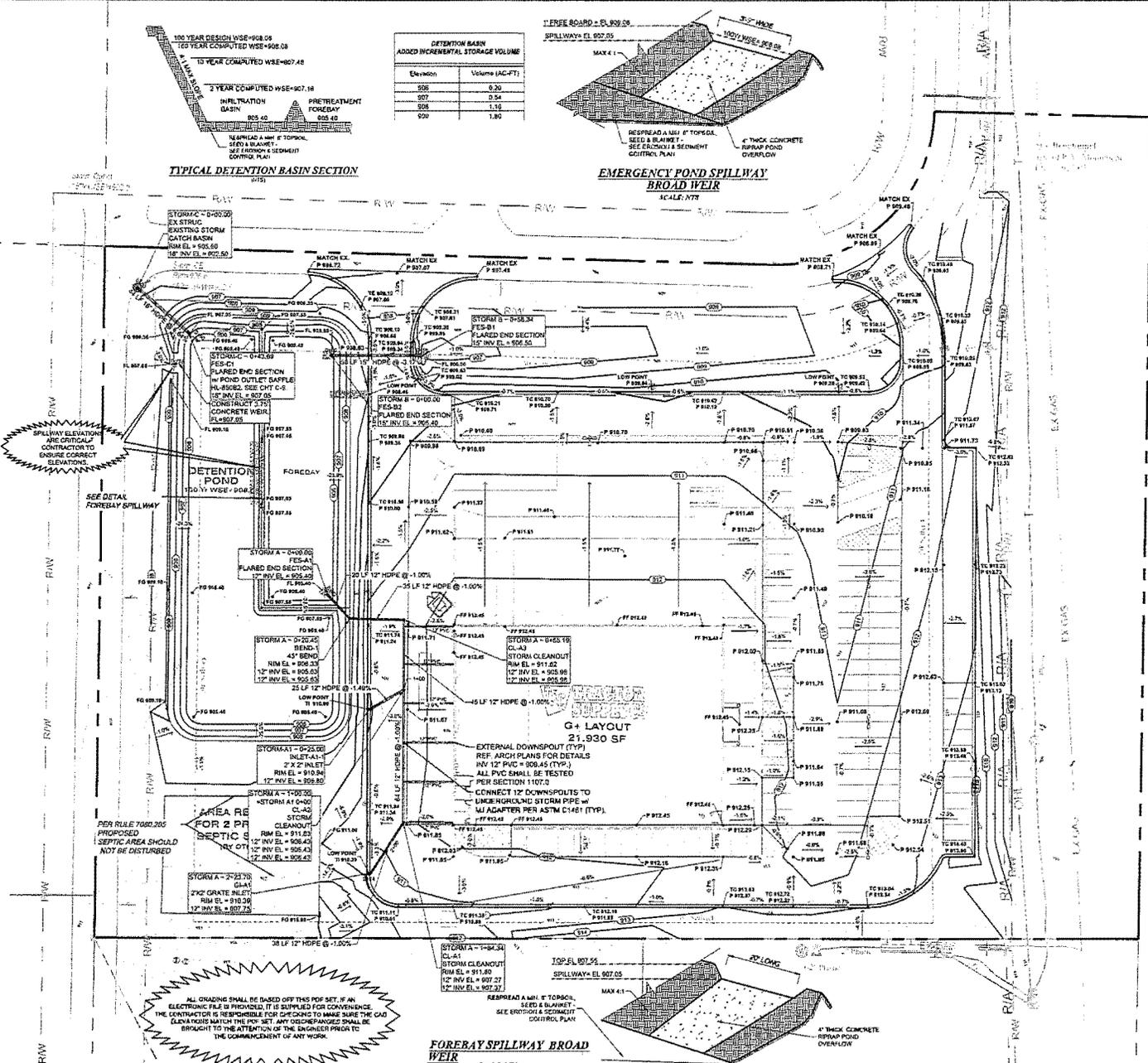
ISSUANCES / REVISIONS

NO.	DATE	BY	DESCRIPTION
01	07/20/20	MLC	ISSUED FOR BIDDING

TRACTOR SUPPLY COMPANY
HAM LAKE, MN

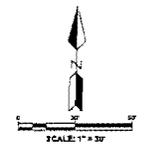
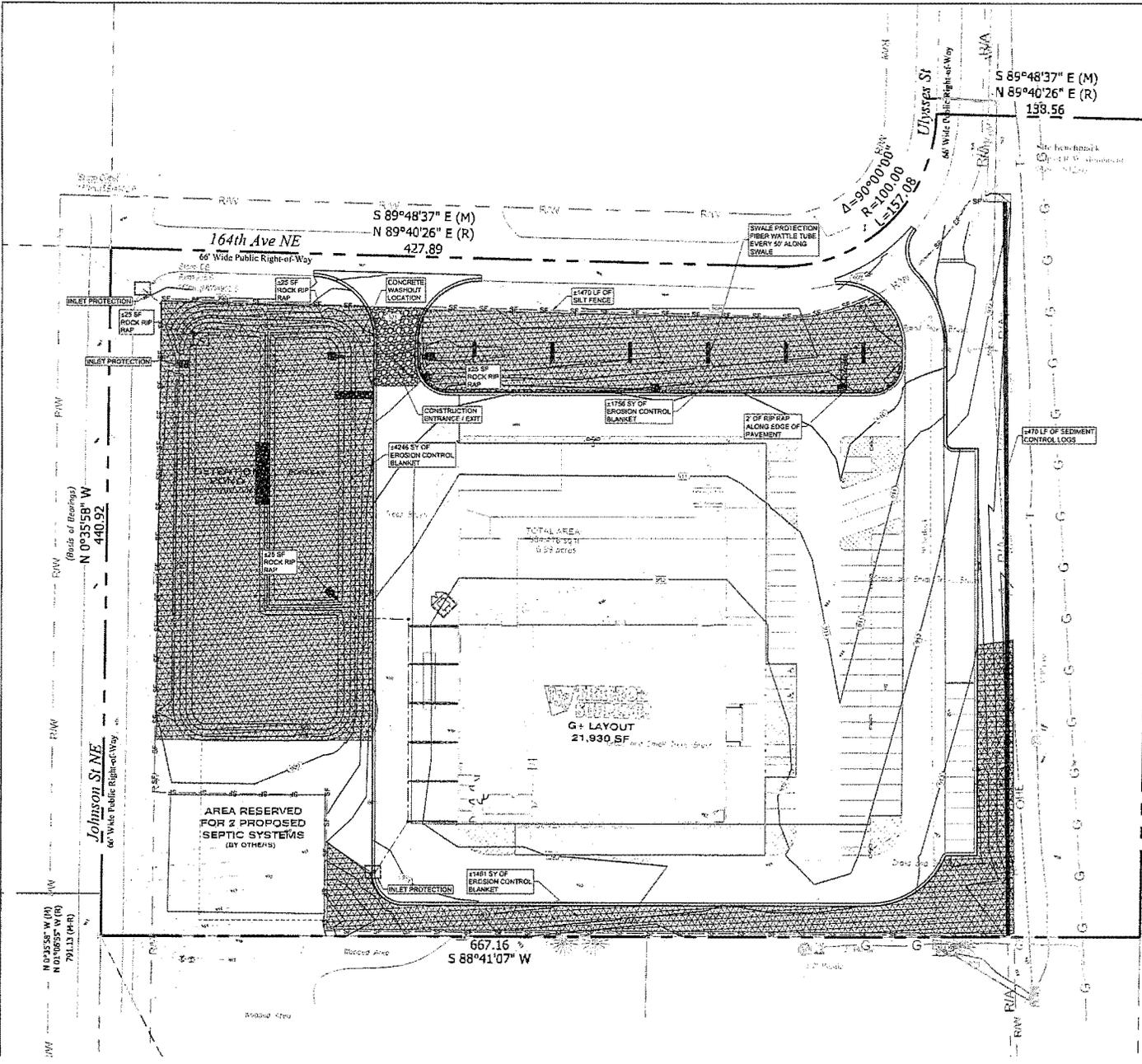
GRADING AND DRAINAGE PLAN

PROJECT NUMBER: 03-230-023
DATE: 07/20/20
CREATED BY: MLC
CHECKED BY: MLC
SCALE: 1" = 30'
SHEET NO.: C5
OF 15 SHEETS



ALL GRADING SHALL BE BASED OFF THIS POF SET. IF AN ELECTRONIC FILE IS PROVIDED, IT IS SUPPLIED FOR CONVENIENCE. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING TO MAKE SURE THE CAD DATA MATCHES THE POF SET. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORK.

FOREBAY SPILLWAY BROAD WEIR
SCALE: NTS



LEGEND

- SILT FENCE
- CONSTRUCTION ENTRANCE/EXIT
- EROSION CONTROL BLANKET
- FILTER BAG INLET PROTECTION
- FIBER WATTLE TUBE
- ROCK RIPRAP PROTECTION
- SEDIMENT CONTROL LOGS

- NOTE:**
- EROSION CONTROL BLANKETS TO BE USED AS MANUFACTURED BY NORTH AMERICAN GRASS OR EQUIVALENT, EXCEPT WHERE NOTED OTHERWISE.
 - INSTALL WATER DRAINAGE PROTECTION AT ALL OPEN LID DRAINAGE STRUCTURES. SEE DETAIL - HERT SHEET.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST ON THE PLANS THE LOCATION OF THE LEASTEST WASHOUT UPON INSTALLATION. SEE DETAIL - HERT SHEET.

GENERAL EROSION & SEDIMENT CONTROL NOTES

- THE CONTRACTOR SHALL INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAIN THEM UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED AS DETERMINED NECESSARY BY THE OWNER OR THE CITY IN THE EVENT OF ANY UNFORESEEN PROBLEMS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL LANDSCAPE OR VEGETATE DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 7 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC. IF THE GRASS PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, STRAW MULCH SHALL BE APPLIED AT A RATE OF THREE (3) TONS PER ACRE ON THE EXPOSED AREAS.
- THE CONTRACTOR SHALL CONTROL GUSTS WITH WATER OR OTHER METHODS APPROVED BY THE OWNER AND THE CITY.
- THE CONTRACTOR SHALL INSTALL SILT FENCE ALONG THE PERIMETER OF ALL SOIL STOCKPILES.
- THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC STREETS. SEDIMENT TRACKING IN THE PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
- SILT FENCE SHALL BE INSPECTED FOR GRIFFS OF SEDIMENT. TO AVOID SEE IF FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRM IN THE GROUNDLINE.
- REPAIR INLET PROTECTION SHALL BE INSPECTED AFTER HIGH FLOWS AND SHALL BE REPAIRED AS NEEDED.
- FILTER FABRIC IS TO BE INSTALLED UNDER ALL RIPRAP.
- ALL CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 0.5 INCHES OR GREATER.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM.
- CONTINUOUS WOOD CHIP OR COMPOST SEDIMENT CONTROL LOGS (BORDERS) FOR EROSION CONTROL AT PROJECT PERIMETER.

SCHEDULE FOR EROSION & SEDIMENT CONTROL MEASURES

- INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE AT THE LOCATION SHOWN ON THE PLAN OR AS DECIDED AT THE PRE-CONSTRUCTION MEETING.
- INSTALL SILT FENCE AT THE LOCATIONS SHOWN ON THE PLAN. THE SILT FENCE SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED WITH A SUFFICIENT PERMANENT VEGETATIVE COVER.
- INSTALL EARTHWORK AND GRADING OPERATIONS: IF NECESSARY, STOCKPILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CENSES FOR AT LEAST 14 DAYS WILL BE STABILIZED WITH TEMPORARY SEED AND MULCH NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY AT THAT AREA FOR DISTURBED AREAS AND NO LATER THAN 3 DAYS FOR TEMPORARY STOCKPILES.
- INSTALL LANDSCAPING LIMITS: INSTALL SILT AND OUTLET PROTECTION: REPAIR ALL STORM DRAIN STRUCTURES AS SHOWN ON THE PLAN. SILT PROTECTION SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED WITH PERMANENT VEGETATIVE COVER OR ALL AREAS TRANSFERRED TO THE CITY.
- PAVE PARKING AREA AND ADDRESS DRIVES.
- COMPLETE FINAL GRADING AND INSTALL PERMANENT SEEDING, PLANTING, & EROSION CONTROL BLANKET.
- ONCE THE SITE IS STABILIZED WITH PERMANENT VEGETATIVE COVER, REMOVE ALL TEMPORARY SEDIMENT CONTROL MEASURES, PLUSH ALL STORM SEWERS AND REMOVE REMAINING EROSION CONTROL DEVICES. CLEAN OUT SEDIMENT FROM PIPE OUTLET AREAS IF NECESSARY.
- FILE AN IMPROVED NOTICE OF TERMINATION (NOT).

523.41' E
 50°31'40" E
 Mn Trunk Highway 65
 Limited Access Variable-Width Public Right-of-Way

PREPARED BY:
SEC
 13747 MONTFORT DR
 SUITE 275
 DALLAS, TX 75240
 214-876-9868

PREPARED FOR:
CMK PROPERTIES, LLC

216 CENTERVIEW DRIVE
 SUITE 325
 BRENTWOOD, TN 37027

PRELIMINARY - FOR REVIEW ONLY
 THESE DOCUMENTS ARE PRELIMINARY DRAWINGS AND NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES OR REVISIONS MUST BE APPROVED BY THE DESIGN PROFESSIONAL OF RECORD.

PROJECT NOTES:
 1. EROSION CONTROL BLANKETS TO BE USED AS MANUFACTURED BY NORTH AMERICAN GRASS OR EQUIVALENT, EXCEPT WHERE NOTED OTHERWISE.

BENCHMARKS:
 BM - Benchmark
 TYP - Top of Finished
 H - HATCH
 ELEV - ELEVATION
 THE ELEVATION GIVEN IN THIS DRAWING IS THE ELEVATION OF THE BENCHMARK.

ELEVATION DATA
 THE ELEVATION GIVEN IN THIS DRAWING IS THE ELEVATION OF THE BENCHMARK.

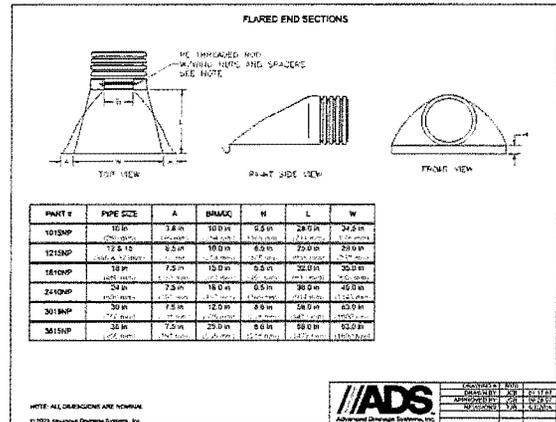
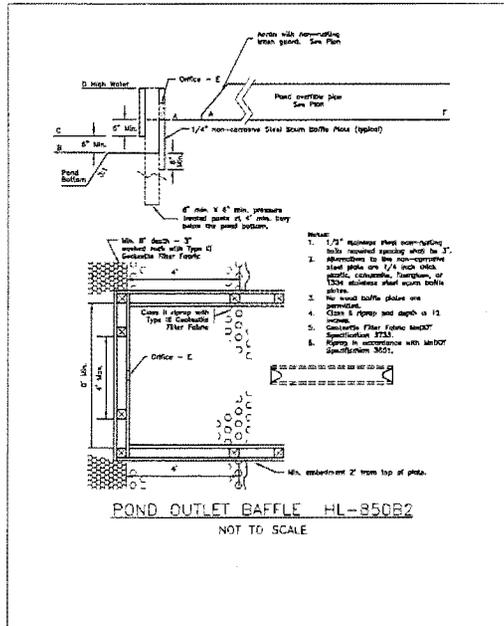
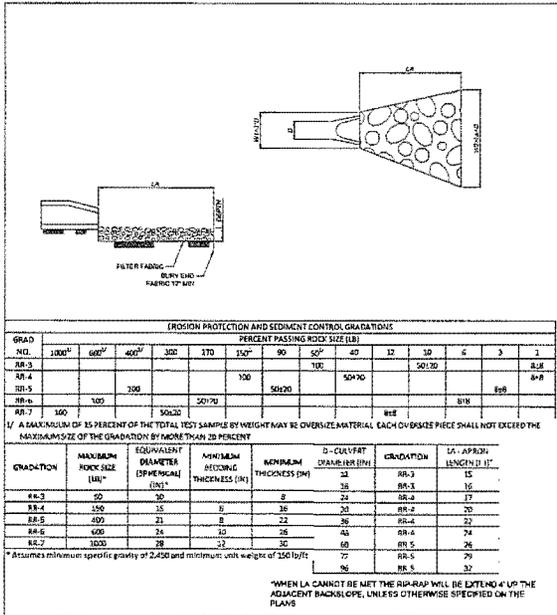
ISSUANCES / REVISIONS

NO.	DATE	BY	DESCRIPTION
01/10/20			ISSUED FOR BIDDING

TRACTOR SUPPLY COMPANY
 HAM LAKE, MN

EROSION CONTROL PLAN

PROJECT NUMBER	03-24-02
DATE	SCALE
01/10/20	1"=30'
DRAWN BY	SHEET NO.
SEC	C7
DESIGNED BY	
INCL	



PREPARED BY:
SEA
 18747 MONTFORT DR
 SUITE 273
 DALLAS, TX 75240
 214-678-8068

PREPARED FOR:
CMK PROPERTIES, LLC

216 CENTERVIEW DRIVE,
 SUITE 325
 BRENTWOOD, TN 37027

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 THESE DOCUMENTS ARE FOR TECHNICAL REVIEW AND NOT A CONTRACT FOR CONSTRUCTION. NO GUARANTEE OF ACCURACY IS MADE. THESE WERE PREPARED BY OR UNDER SUPERVISION OF:
 SAUL SHAWBY REG. NO. 27086 STATE OF TENNESSEE

PROJECT NOTES:

BENCHMARKS:
 1. 100' Bench Mark
 2. 100' Bench Mark
 3. 100' Bench Mark
 4. 100' Bench Mark
 5. 100' Bench Mark
 6. 100' Bench Mark
 7. 100' Bench Mark
 8. 100' Bench Mark
 9. 100' Bench Mark
 10. 100' Bench Mark

ISSUANCES / REVISIONS

NO.	DATE	BY	DESCRIPTION
01	10/20/20	MCL	ISSUED FOR BIDDING

TRACTOR SUPPLY COMPANY
 HAML LAKE, MN

CONSTRUCTION DETAILS

PROJECT NUMBER: 03-220-027

SCALE: 1"=1'-0"

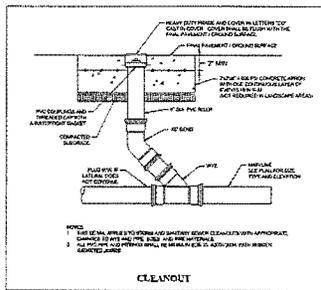
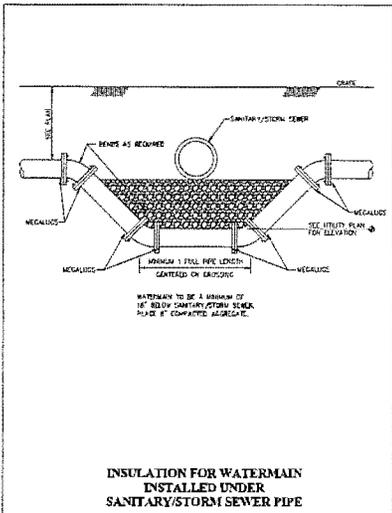
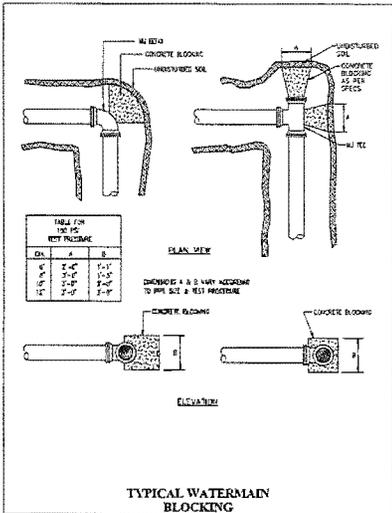
DRAWN BY: MCL

CHECKED BY: MCL

APPROVED BY: MCL

DATE: 10/20/20

SHEET NO. 19



PREPARED BY:
SEA
13747 MONTFORT DR
SUITE 273
DALLAS, TX 75240
214-678-9966

PREPARED FOR:
CMK PROPERTIES, L.L.C.

216 CENTERVIEW DRIVE,
SUITE 325
BRENTWOOD, TN 37027

PRELIMINARY - FOR REVIEW ONLY
THIS DOCUMENT IS NOT FOR CONSTRUCTION
AND IS NOT A CONTRACT DOCUMENT
EXCEPT FOR THE PARTS SPECIFICALLY IDENTIFIED
PREPARED BY: CMK DESIGN & CONSTRUCTION OF
DATE: 08/21/12
SCALE: AS SHOWN

PROJECT NOTES:

BENCHMARKS:
See Benchmark
Top of Sewer Main
@ 15400.25
@ 15400.25
Elev = 117.11

CLIENT: CMK
The Elevation Datum used for this survey is the North
American Vertical Datum of 1988 (NAVD 88).
E. 15400.25
E. 15400.25
NAVD 88
CMK DESIGN & CONSTRUCTION OF
CADD: CMK AS PER 112.475 (NAVD 88)

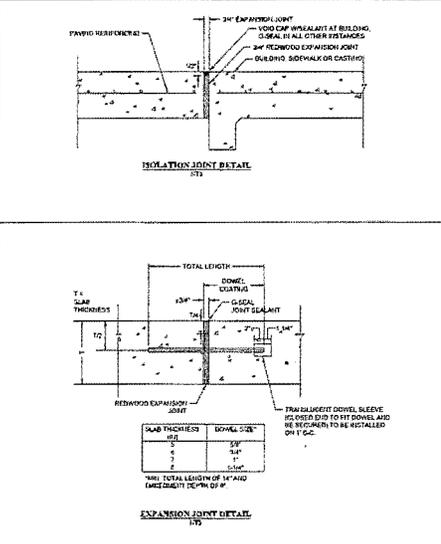
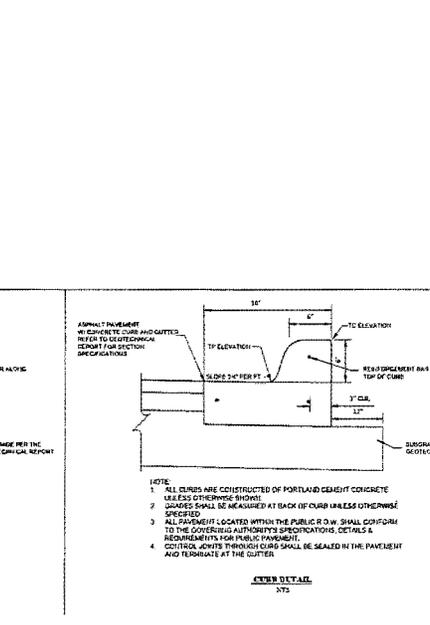
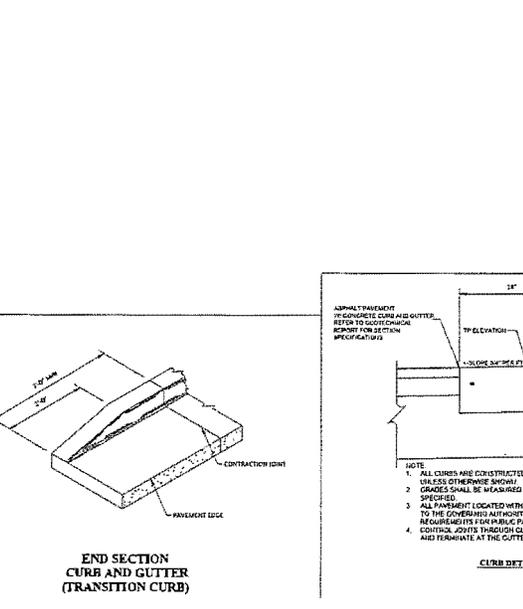
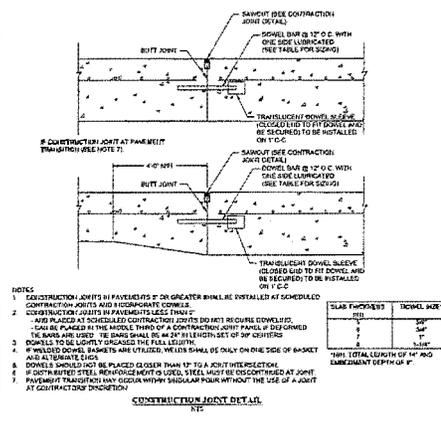
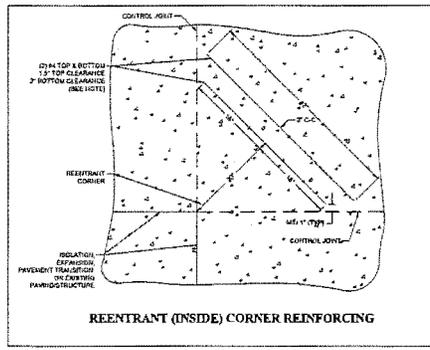
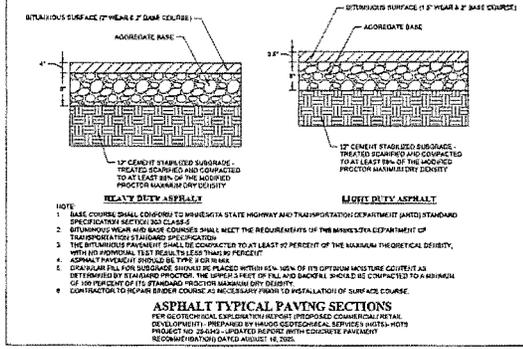
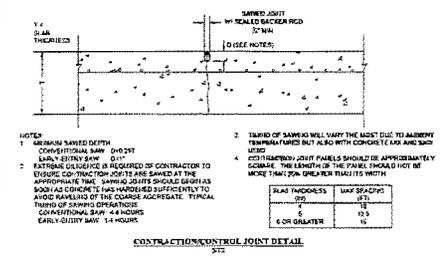
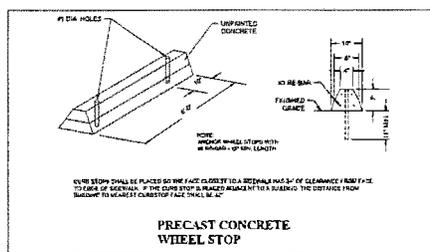
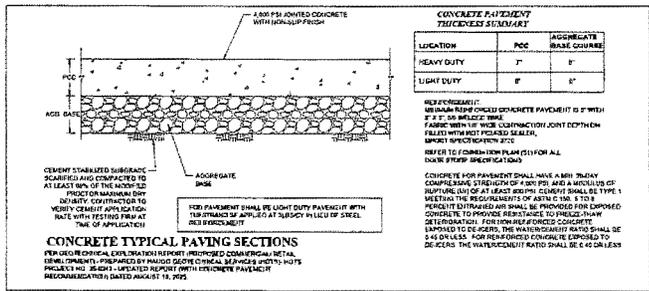
ISSUANCES / REVISIONS

NO.	DATE	BY	DESCRIPTION
05/11/12			ISSUED FOR BIDDING

**TRACTOR SUPPLY COMPANY
HAM LAKE, MN**

**CONSTRUCTION
DETAILS**

PROJECT NUMBER		05-220402	
DATE	05/11/12	SCALE	1/2" = 1'-0"
DRAWN BY	SM	SHEET NO.	C10
DESIGNED BY	MCL		



PREPARED BY:

SEA

13147 MONTFORT DR
SUITE 275
DALLAS, TX 75240
214-478-9988

PREPARED FOR:

CMK PROPERTIES, L.L.C.

216 CENTERVIEW DRIVE
SUITE 325
BRENTWOOD, TN 37027

PRELIMINARY - FOR REVIEW ONLY
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PROJECT NOTES:

BENCHMARKS:
No benchmark
Top of Hill measurement
11 MARCH 15
E. CENTERLINE
Elev 4 912.05

CLIENT FROM DATA:
The Client's Design used the the survey of the same
General Vertical Control of 1011 HUNTSLEY RD
11/10/15 12:07
E. CENTERLINE

MEASUREMENT CONTROL POINT:
CHECK MEASUREMENTS AT 11/10/15 12:07 HOURS

NO.	DATE	BY	DESCRIPTION
001/10/15	10/15	ML	ISSUED FOR RECORD

ISSUANCES / REVISIONS

TRACTOR SUPPLY COMPANY
HAM LAKE, MN

CONSTRUCTION DETAILS

PROJECT NUMBER: 03-228-002

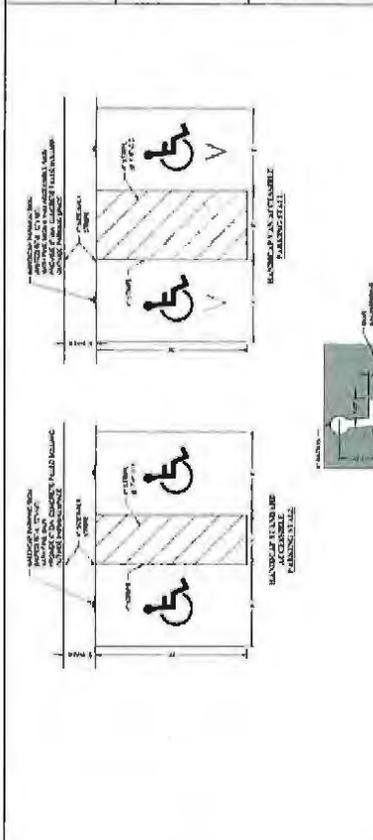
DATE OF ISSUE: SCALE: SITE

DRAWN BY: SAFFI

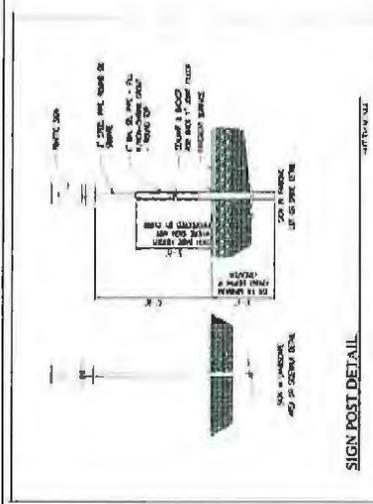
DESIGNED BY: SAFFI

INCHES: 1/4"

SCALE: 1/4" = 1'-0"



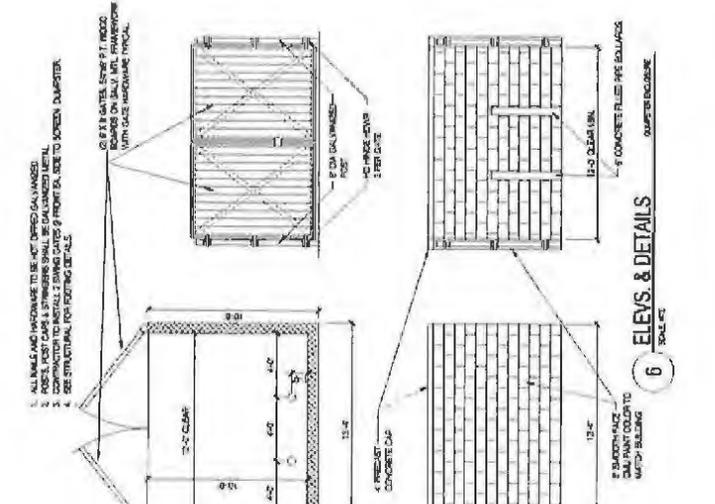
HANDICAP PARKING DETAILS
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 2. ALL MATERIALS SHALL BE AS SHOWN OR APPROVED BY THE ARCHITECT.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 4. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.



SIGN POST DETAIL
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 2. ALL MATERIALS SHALL BE AS SHOWN OR APPROVED BY THE ARCHITECT.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 4. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.



ACCESSIBLE PARKING SIGN DETAIL
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 2. ALL MATERIALS SHALL BE AS SHOWN OR APPROVED BY THE ARCHITECT.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 4. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.



6 ELEVATIONS & DETAILS
 SCALE: 1/4" = 1'-0"
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 2. ALL MATERIALS SHALL BE AS SHOWN OR APPROVED BY THE ARCHITECT.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 4. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.

- E. Other areas where other than natural wooded vegetation is to be used as ground cover, identifying the ground cover to be used;
- F. Locations, trunk size, height and species of all trees to be planted;
- G. Locations where existing natural wooded vegetation will remain undisturbed;
- H. All other landscaping features to be used.

11-1850 MINIMUM LANDSCAPING REQUIREMENTS

11-1851 Paved Surfaces All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall be surfaced with asphalt or concrete, to specifications established by the City's engineer.

11-1852 Ground Cover On any side of a lot which abuts a public road, the area from the road right-of-way to the nearest building side shall be entirely covered with ground cover consisting of pavement, decorative rock bordered with edging, lawn grass intended for regular mowing, mulch, bark, wood chips or other commonly used landscaping ground cover. Shingles, aggregate and clay mixtures such as Class V material, recycled concrete or asphalt, and other non-conventional ground covers shall not be permitted. Loose ground cover shall be installed to a depth of at least three inches. Any area which is covered by landscaping ground cover (not lawn or pavement) shall also include one decorative shrub for each ten square feet of ground cover.

Side yards and rear yards which do not contain existing natural wooded vegetation shall either be covered with ground cover in the manner stated above for front yards, or shall be planted so as to encourage the emergence of natural wooded vegetation, through the planting of tree species expected to reach a height of at least twenty five feet. Areas so prepared shall not be required to have mown lawn areas, but may be allowed to return to a natural state.

11-1853 Tree Plantings Trees which are planted outside of areas intended to return to a natural wooded state shall be of a variety indigenous to the local climate. Deciduous trees shall, when planted, have a trunk size of at least one and one half inches at a height of four feet from ground level. Conifers shall have a height of at least five feet. Tree locations are subject to review and approval of the City in the landscaping plan review process, and while no specific number of trees are required, the following general principles shall be observed;

- A. Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years;
- B. Decorative trees shall be planted along the right of way lines of adjacent public roadways;

- C. The use of conifers shall be encouraged and preferred.
- D. Whenever possible, an attempt will be made to preserve stands of existing vegetation, particularly treed or wooded areas.

11-1860 Case by Case Evaluation

Recognizing that the City contains a wide variety of commercial land, the landscape approval process shall be on a case by case basis. Where wetlands are present, or where large distances separate a commercial lot from adjacent lands, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.

11-1900 ILLICIT DISCHARGES AND CONNECTIONS TO STORM DRAINAGE SYSTEM

The purpose of this ordinance is to provide for the health, safety, and general welfare of the citizens of Ham Lake through the regulation of non-storm water discharges to the storm sewer drainage system to the maximum extent practicable as required by federal and state law. This ordinance establishes methods for controlling the introduction of pollutants into the Municipal Separate Storm Sewer System (MS4) in order to comply with requirements of the National Pollutant Discharge Elimination System (NPDES) permit process. The objectives of this ordinance are:

1. To regulate and minimize the contribution of pollutants to the municipal separate storm sewer system (MS4) by stormwater discharges by any user.
2. To prohibit Illicit Connections and Discharges to the municipal separate storm sewer system.
3. To establish legal authority to carry out all inspection, surveillance and monitoring procedures necessary to ensure compliance with this ordinance.

11-1900.10 DEFINITIONS

For the purposes of this Code, the following shall mean:

a) Authorized Enforcement Agency: employees or designees of the Administrator of the City of Ham Lake designated to enforce this Ordinance.

b) Best Management Practices (BMPs): schedules of activities, prohibitions of practices, general good house keeping practices, pollution prevention and educational practices, maintenance procedures and other management practices to prevent or reduce the

David Krugler

From: MS4Front <do_not_reply@ms4prod.ms4front.net>
Sent: Tuesday, January 27, 2026 10:18 AM
To: mlovecchio@se3.us
Cc: permitsubmittals@cooncreekwd.org; David Krugler; ssaraf@se3.us
Subject: CCWD Notice of Permit Application Status

Project: TSC HAM LAKE, MN

Permit Application Number: P-25-037

Applicant (Property Owner): Marty Fisher

Purpose: A Tractor Supply Company store is proposed to be constructed along Johnson Street in Ham Lake, MN. The 6.99± acre site (5.16 acres excluding public rights of way) will consist of a 1 story building, paved parking lot, & stormwater infiltration basin with pretreatment area.

Location: 16350 JOHNSON ST NE

At their meeting on 01/26/2026 the Board of Managers of the Coon Creek Watershed District conditionally approved the above referenced project with 3 conditions and 4 stipulations. **This is NOT a permit.**

Prior to permit issuance, the following conditions must be fulfilled.

Conditions:

1. Update the sediment and erosion control plan to include the following notes: 1. portable toilets should be secured. 2. hazardous materials and stormwater contaminants should be stored uncover cover and in sealed containers.
2. Provide proof of recording of a fully executed Operations and Maintenance Agreement for the perpetual inspection and maintenance of all proposed stormwater management practices after review and approval by the District.
3. Submittal of a performance escrow in the amount of \$4,515.00.

After issuance, the permit will include the following stipulations that will need to be fulfilled before permit closeout:

Stipulations:

1. Completion of a post construction infiltration test on the Detention Basin by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
2. The applicant must apply for coverage under the Minnesota Pollution Control Agency's (MPCA's) Construction Stormwater Permit (Permit No: MNR100001)

3. Submittal of as-builts for the stormwater management practices and associated structures listed in Tables 2 and 3 of the Application Review Report dated 1/21/2026, including volume, critical elevations and proof of installation for hydrodynamic separators.

4. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.

Please respond to each of the above items in writing when resubmitting revised materials to the District. Please use the link below when submitting all project documents.

[Access Permit # P-25-037 Here](#)

Please be advised that this is NOT a permit, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rules. If you have any questions, please call 763-755-0975.



3-
1-11717

CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

PLANNING REQUEST

Date of Application 1/29/2026 Date of Receipt 1/29/2026
Receipt # D109992 Amount \$ 1400⁰⁰

Meeting Appearance Dates:
Planning Commission 2/23/2026 City Council _____

Please check request(s):

- | | |
|---|---|
| <input type="checkbox"/> Metes & Bounds Conveyance | <input type="checkbox"/> Commercial Building Permit |
| <input checked="" type="checkbox"/> Sketch Plan | <input type="checkbox"/> Certificate of Occupancy |
| <input type="checkbox"/> Preliminary Plat Approval* | <input type="checkbox"/> Home Occupation Permit |
| <input type="checkbox"/> Final Plat Approval | <input type="checkbox"/> Conditional Use Permit (New)* |
| <input type="checkbox"/> Rezoning* | <input type="checkbox"/> Conditional Use Permit (Renewal) |
| <input type="checkbox"/> Multiple Dog License* | <input type="checkbox"/> Other _____ |

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: KE Properties LLC (Majestic Highlands)

Address/Location of property: 1016 Bunker Lake Blvd NE

Legal Description of property: see attached sheet

PIN # 32-32-23-32-0002 Current Zoning R-Att Proposed Zoning ~~R-Att~~
R-1

Notes: _____

Applicant's Name: Dave Erickson

Business Name: KE Properties LLC

Address 3143-104th Lane NE

City Blaine State MN Zip Code 55449

Phone 612 201 1131 Cell Phone 612 201 1131 Fax _____

Email address _____

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 1/29/2026

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____ PROPERTY TAXES CURRENT YES NO
City Council _____ Any Active/Deferred Assessments YES NO

**NOTICE TO ALL APPLICANTS FOR MUNICIPAL
PERMITS, LICENSES,
OR OTHER MUNICIPAL ACTION**

1. *If you are requesting municipal action on any request for any of the above, you will be required to furnish certain information about yourself, the project you are involved in, or other matters pertaining to the subject. Some of the information you are asked to provide is classified by state law as either private or confidential. Private data is information which generally cannot be given to the public but can be given to the subject of the data. Confidential data is information which generally cannot be given to either the public or the subject of the data.*

2. *The purpose of this information is to enable the City Staff, Commissions, Council or other government agencies to evaluate relevant factors in considering your request. You are not legally required to provide this information. If you do not provide the requested information, the City may not act upon your request.*

3. *The information you supply will be public and available to any entity requesting to inspect the information.*

**DATA PRACTICES ADVISORY
TENNESSEN WARNING
REQUIRED BY MINNESOTA STATUTES CHAPTER 13.04**

SIGNED BY



COMPANY/TITLE:

KE Properties LLC

DATE:

1/29/2026

**CITY OF HAM LAKE
ACKNOWLEDGMENT OF RESPONSIBILITY
TO REIMBURSE EXPENSES**

The undersigned, Dave Erickson, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

Preliminary Plat

Type of Application

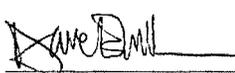
acknowledges that the sum of \$ _____, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

Applicant Signature  Dated 1/29/2026

The following statement must be signed if the applicant is not the property owner:

Dave Erickson, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

I am aware of the application being submitted by the applicant and approve the request.

Property Owner Signature  Dated 1/29/2026

Memorandum

Date: February 18, 2026
To: Planning Commissioners
From: David A. Krugler, City Engineer 
Subject: Majestic Highlands

Introduction:

The proposed two lot residential development is located on 3.17-acre parcel 32-32-23-32-0002. The existing zoning is Residential Affordable Housing (R-AH) which was rezoned in 2023 in preparation of an assisted living facility. A 200-scale aerial photo, a 400-scale zoning map and a 400-scale half section map are attached.

Discussion:

The proposed two-lot residential development are located within the 3.17-acre of a previously submitted residential development plan that had been approved for an assisted living development, but was ultimately abandoned. There is insufficient frontage to split the lot into two parcels, therefore a proposed cul-de-sac and infiltration basin is proposed to accommodate the additional lot. The parcel will need to be rezoned to Single Family Residential (R-1)

The sketch shows the 60-feet of right-of-way proposed to be dedicated to the County for Bunker Lake Boulevard (County State Aaid Highway 116). The proposed Taylor Street aligns with the private Majestic Oaks roadway, Taylor Street, located across CSAH 116. CSAH 116 falls under the jurisdiction of Anoka County Highway Department (ACHD). Prior comments from ACHD indicated that the full access may not be permitted if the roadway is expanded to a 4-lane highway. ACHD review and approval is required.

Per the attached Proposed Municipal Bike Trail System exhibit, Bunker Lake Boulevard is identified as a proposed bike trail corridor. The current trail constructed is on the north side of Bunker Lake Boulevard from the City border to 860 feet east of Jefferson Street. The constructed trail is on the south side of Bunker Lake Boulevard on the east side of Trunk Highway 65. The location of the proposed trail crossing of Bunker Lake Boulevard has not been identified and will require clarification. Per the Public Works Superintendent John Witkowski, fees be collected rather than parkland dedication.

Coon Creek Watershed District approval is required. No portion of the development falls within the FEMA Zone A 100-year floodplain. An existing septic field exists on the parcel. A septic compliance inspection, that includes soil borings confirming a secondary septic system location must be completed and certified. If the field is to be abandoned, it must be properly decommissioned in accordance with Minnesota Rule 7080.2500.

Recommendations:

It is recommended that the Sketch Plan of Majestic Highlands be recommended for approval.

CONCEPT PLAN

-of- MAJESTIC HIGHLANDS
-for- KE PROPERTIES, LLC
DAVE ERICKSON
3023 104TH LANE
BLAINE, MN 55449
(612) 201-1131

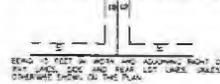
LEGAL DESCRIPTION

THE WEST 345 FEET OF THE NORTH 450 FEET OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 32, RANGE 23, ANOKA COUNTY, MINNESOTA, SUBJECT TO EASE.

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, HAZARDOUS W/4579
- DENOTES ANOKA COUNTY CAST IRON MONUMENT
- DENOTES TRUE LINE
- DENOTES EXISTING 4 FOOT CONTOUR
- DENOTES EASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES EXISTING WELL
- DENOTES PROPOSED STORM SEWER
- DENOTES ADJACENT PARCELS, OWNER INFORMATION (FOR ANOKA COUNTY TAX INFORMATION)

SEWER AND UTILITY EASEMENTS AND SHOWN THIS

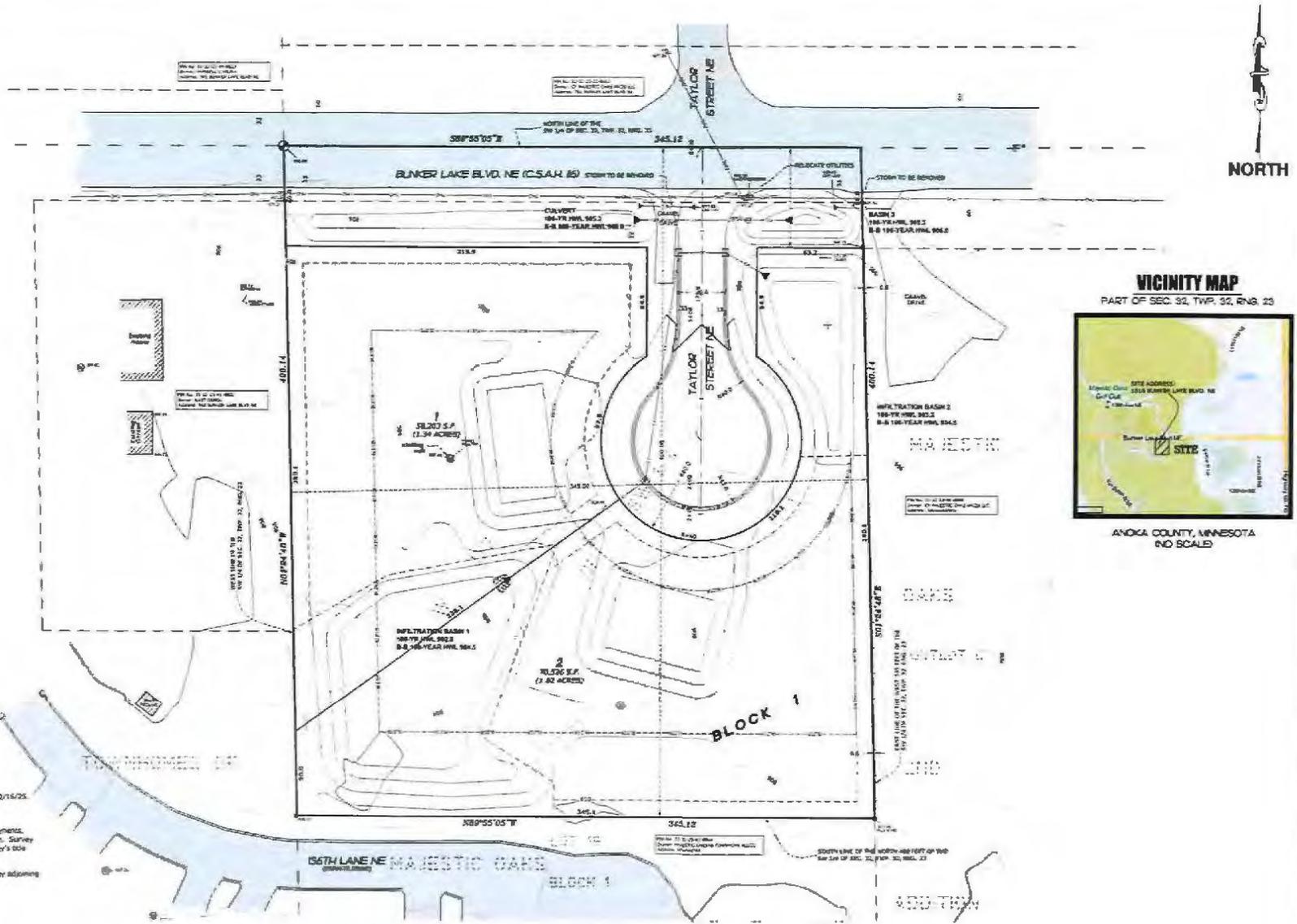


DEVELOPMENT DATA

- TOTAL SITE AREA = 2.174 ACRES
- 2 PROPOSED SINGLE FAMILY LOTS
- AVERAGE LOT SIZE = 1.134 ACRES
- MINIMUM STREET FRONTAGE = 200 FEET (40 FEET ON OLD EASE)
- MINIMUM LOT SIZE = 1.80 ACRES (EXCLUDING HALF OF STREET FRONT)
- EXISTING ZONING = R-2
- PROPOSED ZONING = R-2
- BUILDING SETBACKS: FRONT = 20 FEET, SIDE = 10 FEET, REAR = 10 FEET, COUNTY ROAD = 50 FEET

NOTES

- Property Address: 1216 Bunker Lake Blvd, N.E. Ham Lake, MN 55334
PID No. 22-23-23-0062.
- Field survey was completed by E.G. Rud and Sons, Inc. on 10/25/13 and 12/14/13.
- Boundaries shown are an Anoka County datum.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown herein. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Total lot areas are calculated to street centerline, and 10 feet of right of way adjoining the County Road per ordinance.
- Private set: applies to be more than 1 foot above finished soil.
- Proposed storm sewer and ponding per Howe Engineering, Inc.



VICINITY MAP



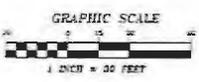
E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

BENCHMARK

BENCH-MARK: MnDOT 02060: 310 feet south of the junction of Trunk Hwy. 95 and County Road 216 (Bunker Lake Blvd.), 90 feet east of northbound Trunk Hwy. 45, 22.3 feet south of power pole with light, 2.5 feet west of witness point.
Elevation = 904.652 (NAVD83)

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

EGRS-S-410
Date: 02/12/2016 License No. 41578



NO.	DATE	DESCRIPTION	BY
1	12/14/13	SKETCH PLAN SUBMITTAL	PHD
2			
3			

S 1/2 SECTION 32, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	23	24	25
26	27	28	29
30	31	32	33
34	35	36	37

NORTH HALF OF SECTION

SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

Section Township Range Quarter Specific
Number Number Number Quarter Date
XX XX XX XX XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS (1)
EXAMPLE OF PIN NUMBER: 10-32-23-05-000

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE'S PURPOSES, AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

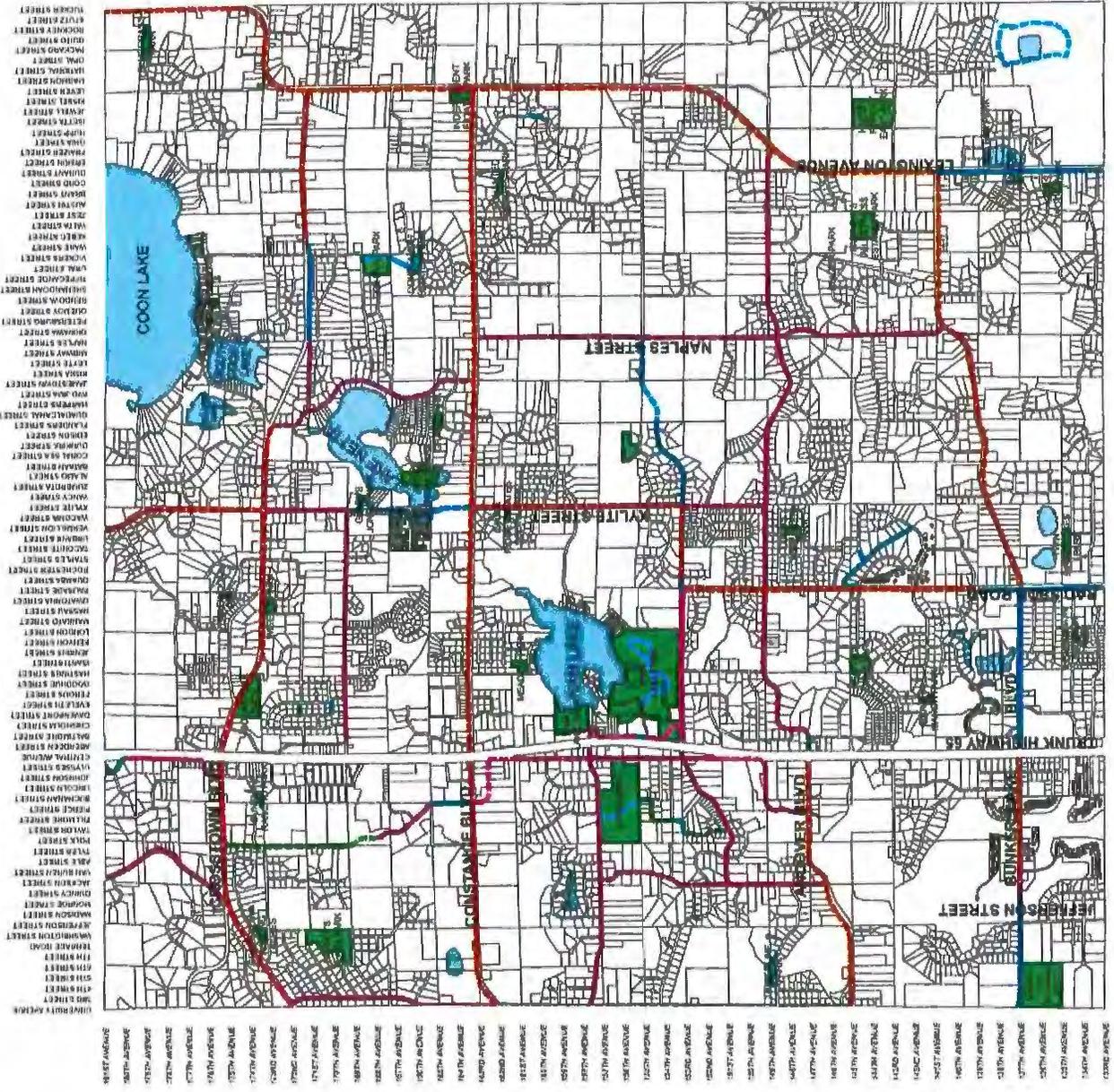
**HAM LAKE,
MINNESOTA
BIKE FACILITIES MAP**

AUTOMOBILES

BATTLES

CITIES

PRESIDENTS



Legend

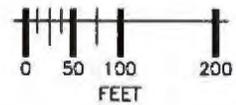
- Existing Bike Lane
- Existing Bike Path
- - - Proposed County Bike Path
- - - Proposed Bike Lane/Path
- . . . Proposed Bike Lane
- . . . Proposed Bike Path
- Potential Future Park
- Existing Park



MAP DATE:

12/2/2025





N

PUD

R-AH

R-A

(D. CSAH 116)

LINCOLN ST.

R-AH

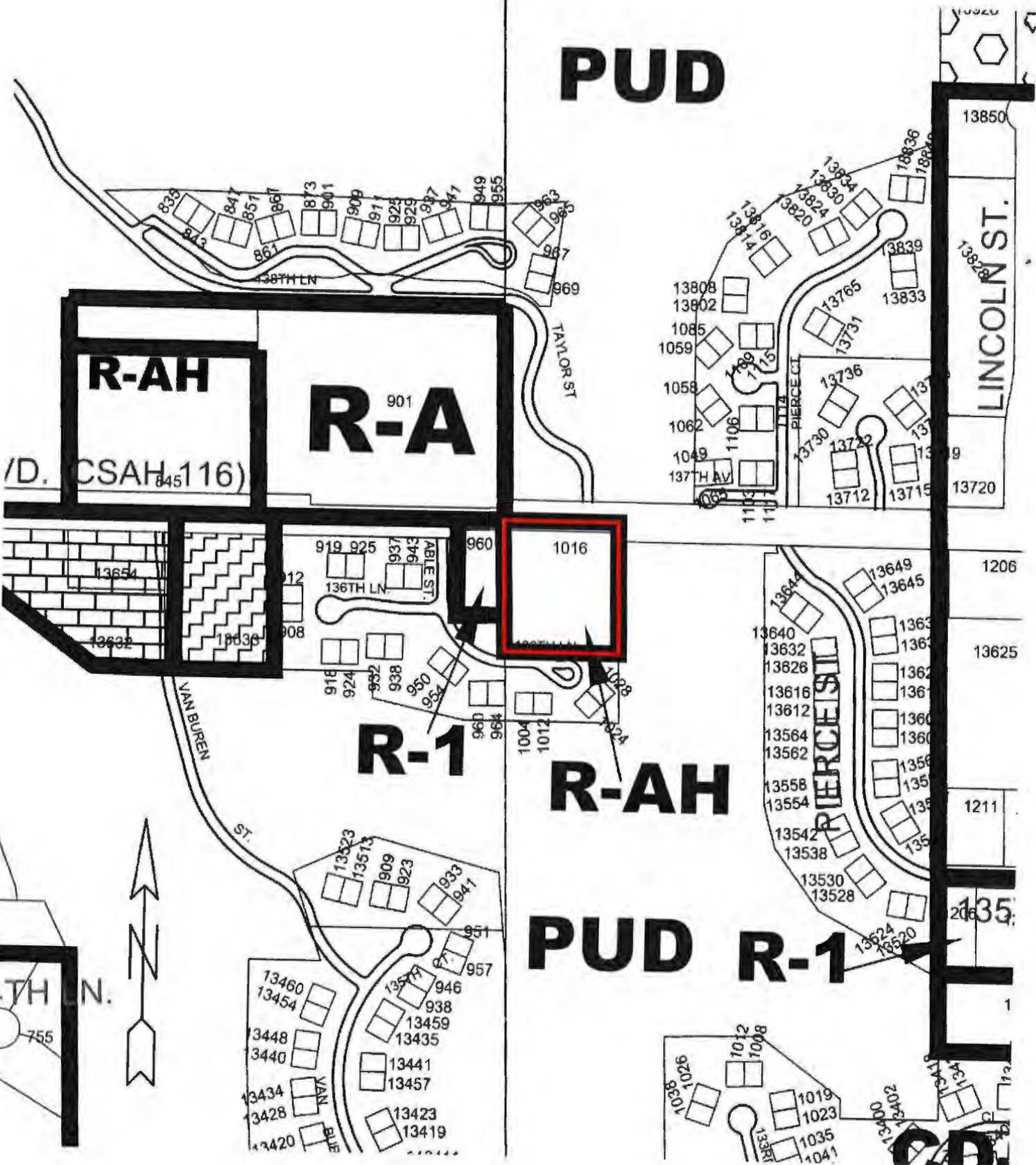
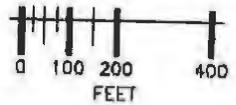
R-1

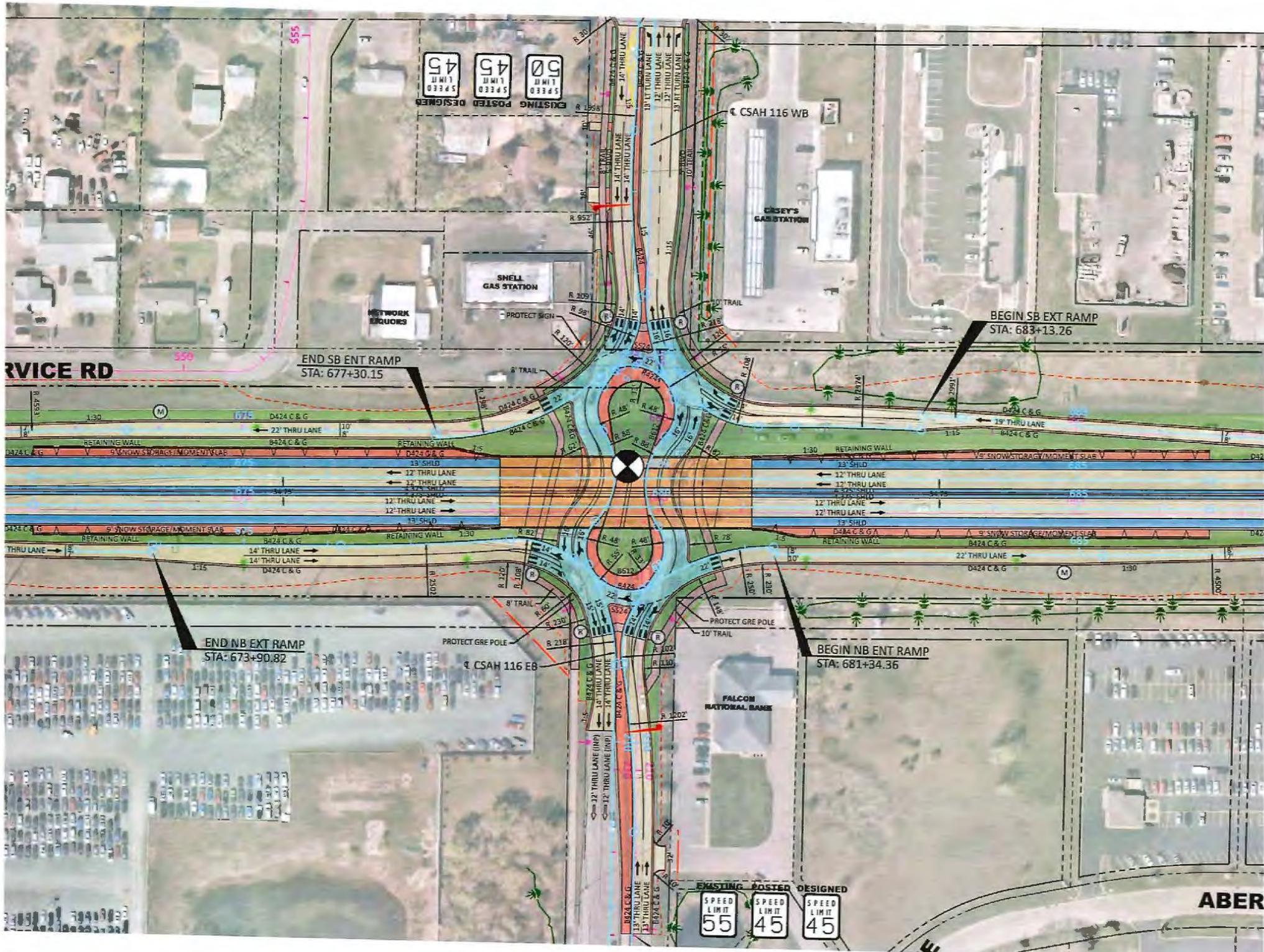
PUD R-1



17TH LN.

755





ABER