

CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, MARCH 23, 2026

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: February 23, 2026

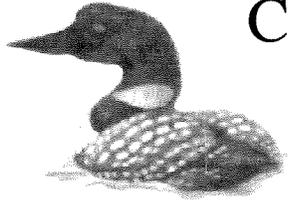
PUBLIC HEARING:

- 6:01 pm Jeffrey A. Stalberger of MN Developments LLC, requesting Preliminary and Final Plat approval and rezoning portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for South Shore Estates (3 lots) in Section 2
- 6:01 pm Jeffrey A. Stalberger of MN Developments LLC, requesting Preliminary Plat approval and rezoning portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for South Shore Estates Second Addition (40 residential lots and 2 outlots) in Section 2

NEW BUSINESS: None

COMMISSION BUSINESS:

1. City Council Update



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
info@ci.ham-lake.mn.us

CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, FEBRUARY 23, 2026

The Ham Lake Planning Commission met for its regular meeting on Monday, February 23, 2026, in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Dave Ringler, David Ross, Jeff Entsminger, Kyle Lejonvarn and Erin Dixon

MEMBERS ABSENT: Commissioner Jonathan Fisher

OTHERS PRESENT: City Engineer, Dave Krugler, Building Official, Mark Jones, Deputy City Clerk, Dawnette Shimek, and Administrative Assistant, Nicole Wheeler

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:
The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:
Motion by Dixon, seconded by Ross, to approve the minutes of the January 12, 2026 Planning Commission meeting as written. All present in favor, motion carried.

PUBLIC HEARING:
Kari Kearns of Cadillac Ranch LLC, requesting a Conditional Use Permit to operate Branch and Bloom Flower Farm, Inc. at 13401 Radisson Road NE
Kari Kearns was present before the Planning Commission requesting a Conditional Use Permit to operate Branch and Bloom Flower Farm, Inc. at 13401 Radisson Road NE. Ms. Kearns stated that she would like to operate a farm stand during the growing months. Ms. Kearns stated she would grow seasonal, warm season, annual flowers that people can come in and cut and arrange flowers. Ms. Kearns stated she would also have bloom bar events where she would cut the flowers and people would come and gather flowers to arrange their own bouquets; Ms. Kearns stated she would also offer workshops to allow customers to create their own seasonal arrangements and customers would pre-register to attend these events. Ms. Kearns stated they would also seasonally offer you pick pumpkins and sell Christmas trees. Ms. Kearns stated they would also rent the farmhouse for small groups, for bridal showers, team retreats and gatherings like that. Ms. Kearns stated that the farm also provides a beautiful backdrop for photos. Chair Pogalz asked for a background of the property and Ms. Kearns stated they bought the property about 3 years ago and have cleaned it up, restored the barn and house and added a garage. Ms. Kearns stated that this is not their primary residence, but they spend a lot of time there and would love to share the amazing transformation of the farm with others. Commissioner Lejonvarn asked about bathroom facilities.

Commissioner Dixson stated that she completed the inspection, a copy of which is on file. Commissioner Dixson stated she walked the outside of the property to see where the parking lot and access would be located; went through the new building that has an ADA (Americans with Disabilities Act) bathroom; went through the main floor of the farmhouse that will be open for rental and it has a kitchen, dining room, living room and bathroom; viewed the property where the plants and flowers will be grown; and viewed the patio space where Ms. Kearns will be holding workshops.

Chair Pogalz opened the public hearing at 6:23 p.m. and asked for public comment.

Chair Pogalz read a letter submitted by Peter and Erika Hachey residing at 13541 Owatonna Street NE, Ham Lake, MN, stating concerns regarding the property becoming a loud concert venue and is asking that the Conditional Use Permit be denied.

Chair Pogalz read a letter submitted by Lori Koester residing at 2220 133rd Lane NE, Ham Lake, MN, stating the use is not compatible with adjacent residential land use and even with restrictions and conditions, it is clearly, without question, a formula for future conflict.

Gary Rasmusson, 2046 134th Lane NE, Ham Lake, MN, expressed concern about events like concerts, food trucks, alcohol, and noise levels disrupting the neighborhood.

Leroy Taylor, 13420 Staples St NE, Ham Lake, MN, expressed concern about the noise level and retail sales in a residential neighborhood.

Caroline Holmes, 2265 133rd Lane NE, Ham Lake, MN, stated she has attended four events at Branch and Bloom. The property has been beautifully renovated, the events were well organized and onsite parking was great. The venue is an asset to the neighborhood.

Gary Osendorf, 13450 Staples St NE, Ham Lake, MN, stated he attended the grand opening event. The property is beautiful. He went home while the band was still playing and he could not hear the noise from inside his home. He questioned if the venue would need to reapply for a CUP every year, if the venue would increase neighboring property taxes or change the zoning.

Aaron Lewicki, 2027 141st Avenue NE, Ham Lake, MN, stated he has attended three or four well organized events with his kids. The property is beautiful and a blessing to the community.

John Zelinski, 2314 133rd Lane NE, Ham Lake, MN, stated the property looks great. He is in favor of flower and Christmas tree sales but not an event center.

Nancy Schardin, 912 136th Lane NE, Ham Lake, MN, stated the property is beautiful, the current owners have been respectful and care about the neighbors and community.

Gary Rasmusson, 2046 134th Lane NE, Ham Lake, MN, asked if the City received any complaints during the grand opening event.

Chair Pogalz asked for further comment and with there being none, he recessed the public hearing at 6:42 p.m.

Building and Zoning Official Jones stated that the farmhouse has a septic system and the building has a holding tank with an alarm that is compliant on the property. Chair Pogalz stated that much of the comment received is regarding an event held last August where they had a live band that caused a noise nuisance. Deputy City Clerk Shimek stated that the property owner had obtained a field party permit from the City for the event and residents can obtain up to four field party permits a year, but issuance of a field party permit does not allow the permit holder to cause a noise disturbance and if the sheriff's office is called, the property owner would be asked to lower the noise to not cause a nuisance. Deputy City Clerk Shimek stated that there have been no complaints on file. Commissioner Dixon explained that if the City should receive any complaints, the Planning Commission would hold a public hearing to review the Conditional Use Permit and possibly revoke the Conditional Use Permit. Ms. Kearns stated she will abide by the conditions set for the Conditional Use Permit.

Chair Pogalz reopened the meeting at 6:58 p.m. and asked for further public comment.

Sue Taylor, 13420 Staples Street NE, inquired about the animals in the barn and questioned if they would be running a petting zoo.

Chair Pogalz asked for further public comment and with there being none, closed the public hearing at 7:01 p.m.

Discussion followed regarding bringing in items like Christmas trees and wreaths to sell and the Planning Commission agreed that only product grown on-site would be allowed to be sold because a Conditional Use Permit in R-A zoning does not allow retail sales. It was agreed by the Planning Commission that the pots, ribbons, etc. provided to create flower arrangements and seasonal pot arrangements would be considered incidental to the business. Building and Zoning Official Jones stated that if animals are being kept on the property, they would need to obtain an animal permit from the City.

Motion by Dixon, seconded by Ross, to recommend approval of the Conditional Use Permit for Kari Kearns of Cadillac Ranch, LLC, requesting to operate Branch and Bloom Flower Farm, Inc., at 13401 Radisson Road NE, subject to the following conditions:

- 1. The use of Branch & Bloom Flower Farm to be secondary to the primary use, residential dwelling. Per Article 9-210.3 Rural Single Family Residential (R-A), R-A districts are intended for residential dwellings occupied by a single housekeeping unit.**
- 2. Provide parking and driveway surfaces, which are to be asphalt or concrete, a minimum of 20 parking stalls plus one handicap parking stall. Minimum parking stall 9' x 20', handicap parking is also 9' x 20' but will also require a van access isle of 8' x 20' and the accessible parking stall shall have signage. The parking lot shall be striped, and the drive isles shall be a minimum of 24 feet. No parking is allowed on unpaved surfaces. If parking exceeds the 20 required parking stalls, additional parking will be required to comply with Article 9-220.1 Standards Common to All Mercantile Districts and 11-1851 Paved Surfaces.**
- 3. All parking to be approved by the Zoning Official before installation and provide the City of Ham Lake with a parking diagram.**

4. **No on-street parking is allowed.**
5. **Food services will be required to obtain a city license per Article 7-1500 Mobile Food Truck and Trailer Vending.**
6. **All undomesticated animals as defined by code shall comply with Articles 5-300 Animal Permits Domesticated, 5-200 Horses, Donkeys or Mules and 5-330 Exception for Chickens.**
7. **The farmhouse will be available by reservation from 8:00 a.m. to 10:00 p.m. year-round for groups of 20 people or less. If the farmhouse and yard area are used, a maximum group is limited to 50 people or less.**
8. **General business hours for the sale of flowers, pumpkins and Christmas trees (must be grown on-site) will be for the months of April to December: Thursday-Saturday 8:00 a.m. to 9:00 p.m. and Sundays 8:00 a.m. to 5:00 p.m. for the months of April to December. Workshop events to create seasonal arrangements to require pre-registration. The business will be closed from January through March.**
9. **No outdoor storage is allowed.**
10. **No customer traffic shall be allowed in the original wood framed barn.**
11. **Any changes to the approved Conditional Use Permit will require a public hearing to consider an amendment.**
12. **Access to Radisson Road NE requires approval from the Anoka County Highway Department.**
13. **No on-site retail sales of products not grown/produced on the property.**
14. **Meeting all City, County, and State requirements.**

Clayton Kearns, property owner, was in the audience and asked to clarify the difference between retail sales and having a garage sale two weekends in a row, because they are basically the same thing. Commissioner Dixon stated that City Code states what is allowed in R-A Zoning with a Conditional Use Permit and states that the activity does not engage in on-site retail sales. Commissioner Dixon stated that according to the City Code they are allowed to sell what is grown on-site, but items cannot be brought in to be sold.

All present in favor, motion carried. *This application will be placed on the City Council's Monday, March 2, 2026 agenda.*

Chair Pogalz called a 5-minute recess at 7:18 p.m. and reconvened at 7:23 p.m.

NEW BUSINESS:

Will Polisky (not present) of CMK Properties, LLC, requesting Commercial Site Plan Approval to operate Tractor Supply Company at 1362 164th Avenue NE

Commissioner Ross completed the inspection, a copy of which is on file. **Commissioner Ross made a motion to recommend approval of the Commercial Site Plan for CMK Properties, LLC, to construct a 21,930 square-foot building with a 19,894 square-foot fenced area for an outside sales display and operate Tractor Supply Company at 1362 164th Avenue NE, subject to meeting the requirements of the City Engineer and Building and Zoning Official and all City, County and State requirements.** Discussion followed. Building and Zoning Official Jones stated that the property will be fenced with black wrought iron, not chain-link. Building and Zoning Official Jones asked the Planning Commission if the 2 semi-trailers where hay and straw are kept for sale should be screened and it was agreed that they do not need to be screened. **Motion**

Seconded by Lejonvarn. All present in favor, motion carried. *This application will be placed on the City Council's Monday, March 2, 2026 agenda.*

K.E. Properties, LLC requesting Sketch Plan approval for Majestic Highlands, a residential development (two lots) in Section 32

Dave Erickson of KE Properties LLC, was present before the Planning Commission requesting Sketch Plan approval for Majestic Highlands. Mr. Erickson stated that the property was previously rezoned to Residential Affordable Housing (R-AH) to accommodate an assisted living facility. Mr. Erickson stated that he is proposing a two-lot Single Family Residential (R-1) development on the 3.17 acre parcel. Mr. Erickson stated that a road ending in a cul-de-sac will be constructed to access the new lots. **Motion by Pogalz, seconded by Dixson, to recommend approval of the request by K.E. Properties, LLC, requesting Sketch Plan Approval for Majestic Highlands, a two-lot residential development in Section 32, subject to the developer paying parkland dedication fees in the amount of \$2,500 per lot (\$5,000 total), approval from the Coon Creek Watershed District (CCWD), an inspection of the existing septic system that includes soil borings confirming a secondary septic system location and being certified, if the field is being abandoned, it must be properly decommissioned in accordance with Minnesota Rule 7080.2500, rezoning the property to Single Family Residential (R-1), meeting the requirements of the City Engineer and the Building Official and all City, County and State Codes. All present in favor, motion carried.** *This application will be placed on the City Council's Monday, March 2, 2026 agenda.*

COMMISSION BUSINESS:

City Council Update

Deputy City Clerk Shimek stated that all items from the Planning Commissions previous meeting were approved by the City Council. A Planning Commissioner will not be attending the City Council's March 2, 2026 meeting.

Chair Pogalz stated that Commissioner Ross has chosen not to serve another term on the Planning Commission and this may be his last meeting. The Planning Commission thanked Commissioner Ross for serving on the Planning Commission. Mr. Ross thanked the Planning Commission and stated he is leaving with the greatest respect for the Planning Commission and City Staff.

ADJOURNMENT:

Motion by Dixson, seconded by Entsminger, to adjourn the Planning Commission meeting at 7:43 p.m. All present in favor, motion carried.

Dawnette Shimek, Deputy City Clerk



CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

PLANNING REQUEST

Date of Application 10/21/2025 Date of Receipt _____

Receipt # _____ Amount \$ _____

Meeting Appearance Dates:

Planning Commission 3/23/2026 City Council _____

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other _____

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: South Shores Estates

Address/Location of property: 3740 Interlachen Drive NE & 17529 Vickers St NE

Legal Description of property: LOTS 2, 3 & 13 AUD SUB NO 121; SUBJ TO EASE OF REC AND AUD SUB 121 HAM LAKE TWP AUD SUB 121 LOT 14

PIN # 02-32-23-43-0001 & 02-32-23-34-0018 Current Zoning R-A Proposed Zoning R-1

Notes: For residential development to separate north house at 3740 Interlachen for 3 total parcels

Applicant's Name: Jeffrey A Stalberger

Business Name: MN Developments LLC

Address 3399 185th Lane NE

City East Bethel State MN Zip Code 55092

Phone 612-799-1471 Cell Phone 612-799-1471 Fax _____

Email address S _____

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE  DATE 10/23/25

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____ PROPERTY TAXES CURRENT YES NO
City Council _____ Any Active/Deferred Assessments YES NO

**NOTICE TO ALL APPLICANTS FOR MUNICIPAL
PERMITS, LICENSES,
OR OTHER MUNICIPAL ACTION**

- 1. If you are requesting municipal action on any request for any of the above, you will be required to furnish certain information about yourself, the project you are involved in, or other matters pertaining to the subject. Some of the information you are asked to provide is classified by state law as either private or confidential. Private data is information which generally cannot be given to the public but can be given to the subject of the data. Confidential data is information which generally cannot be given to either the public or the subject of the data.***
- 2. The purpose of this information is to enable the City Staff, Commissions, Council or other government agencies to evaluate relevant factors in considering your request. You are not legally required to provide this information. If you do not provide the requested information, the City may not act upon your request.***
- 3. The information you supply will be public and available to any entity requesting to inspect the information.***

**DATA PRACTICES ADVISORY
TENNESSEN WARNING
REQUIRED BY MINNESOTA STATUTES CHAPTER 13.04**

SIGNED BY  _____

COMPANY/TITLE: Co-administrator MN Developments LLC

DATE: 10/23/25

CITY OF HAM LAKE ACKNOWLEDGMENT OF RESPONSIBILITY TO REIMBURSE EXPENSES

The undersigned, Jeffrey A Stalberger, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

Residential development to separate north house at 3740 Interlachen for 3 total parcels

Type of Application

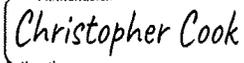
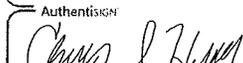
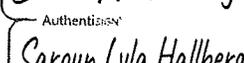
acknowledges that the sum of \$ _____, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

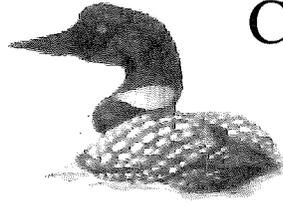
Applicant Signature  **Dated** 10/23/25

The following statement must be signed if the applicant is not the property owner:

Multiple Owners _____, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

I am aware of the application being submitted by the applicant and approve the request.

	10/23/25		10/23/25		10/23/25
Property Owner Signature <u></u>		Dated <u>10/22/25</u>			
	10/22/25		10/23/25		10/23/25
	10/23/25		10/23/25		



CITY OF HAM LAKE

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NOTICE OF PUBLIC HEARING
CITY OF HAM LAKE
COUNTY OF ANOKA
STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, March 23, 2026 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Jeffrey A. Stalberger of MN Developments LLC, requesting preliminary plat and final plat approval and rezoning of the plat of South Shore Estates from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) in Section 2, a parcel of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

That part of Government Lot 2 and Government Lot 3, Section 2, Township 32, Range 23, Anoka County, Minnesota, also being Lots 2, 3, 13, and 14, AUDITOR'S SUBDIVISION NO. 121, according to the recorded plat thereof, described as follows:

Beginning at the South Quarter corner of said Section 2, also being the Southeast corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121; thence South 87 degrees 30 minutes 25 seconds West, assumed bearing, along the South line of said Government Lot 3, also being the South line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 748.60 feet to the Southwest corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121; thence North 03 degrees 26 minutes 35 seconds West, along the West line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 1423.64 feet to the Southwest corner of Lot 10, said AUDITOR'S SUBDIVISION NO. 121; thence North 89 degrees 44 minutes 41 seconds East, along the South line of Lots 10 and 11, said AUDITOR'S SUBDIVISION NO. 121, a distance of 180.00 feet; thence North 03 degrees 26 minutes 35 seconds West, along the East line of said Lot 11, AUDITOR'S SUBDIVISION NO. 121, a distance of 250.39 feet to the South line of Block 4, in the plat of COMFORT RESORT, Anoka County, Minnesota; thence North 89 degrees 44 minutes 41 seconds East, along said South line of Block 4, COMFORT RESORT, and its easterly extension, 111.15 feet to the Southeast corner of Lot 1, said AUDITOR'S SUBDIVISION NO. 121; thence North 03 degrees 26 minutes 35 seconds West, along the East line of said Lot 1, AUDITOR'S SUBDIVISION NO. 121, a distance of 125.19 feet to the Northeast corner of said Lot 1, AUDITOR'S SUBDIVISION NO. 121, also being the southerly right-of-way line of

Interlachen Drive, as created and dedicated in said COMFORT RESORT; thence North 89 degrees 44 minutes 41 seconds East, along said southerly right-of-way line of Interlachen Drive, 50.09 feet; thence North 78 degrees 25 minutes 29 seconds East, continuing along said southerly right-of-way line of Interlachen Drive, 314.53 feet; thence North 77 degrees 05 minutes 26 seconds East, continuing along said southerly right-of-way of Interlachen Drive, 220.83 feet to the Northwest corner of Lot 4, said AUDITOR'S SUBDIVISION NO 121; thence South 11 degrees 24 minutes 49 seconds East, along the westerly line of said Lot 4, AUDITOR'S SUBDIVISION NO. 121, a distance of 126.00 feet to the Southwest corner of said Lot 4, AUDITOR'S SUBDIVISION NO 121; thence North 77 degrees 22 minutes 12 seconds East, along the southerly line of said Lot 4, AUDITOR'S SUBDIVISION NO. 121, a distance of 233.00 feet; thence North 87 degrees 54 minutes 02 seconds East, along the South line of Lots 1, 2, 3, 4, 5, and 6, Block 3, said COMFORT RESORT, 300.00 feet to the Southwest corner of Lot 7, Block 3, said COMFORT RESORT; thence South 82 degrees 21 minutes 28 seconds East, along the southerly line of Lots 7, 8, and 9, Block 3, said COMFORT RESORT, 149.54 feet to the Southeast corner of said Lot 9, Block 3, COMFORT RESORT; thence North 17 degrees 06 minutes 42 seconds West, along the easterly line of said Lot 9, Block 3, COMFORT RESORT, a distance of 125.86 feet to the Northeast corner of said Lot 9, Block 3, COMFORT RESORT, also being said southerly right-of-way line of Interlachen Drive; thence South 82 degrees 25 minutes 58 seconds East, along said southerly right-of-way-line of Interlachen Drive, 90.11 feet to the most easterly right-of-way line of said Interlachen Drive, also being the easterly right-of-way-line of a 33.00 foot wide Road, as created and dedicated in said plat of COMFORT RESORT; thence North 10 degrees 33 minutes 04 seconds West, along said most easterly right-of-way line of said Interlachen Drive and said easterly right-of-way line of a 33.00 foot wide Road, 490 feet, more or less, to the shoreline of Coon Lake; thence easterly along said shoreline of Coon Lake to the East line of said Government Lot 2, also being the East line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, also being the West line of the plat of TRAILS END SHORES, Anoka County, Minnesota, as established by District Court File No. C3-99-2057; thence South 00 degrees 33 minutes 41 seconds East, along said East line of said Government Lot 2, also being said West line of TRAILS END SHORES, 2336.61 feet to the South line of said Government Lot 2, also being the South line of said Lot 14, said AUDITOR'S SUBDIVISION NO. 121; thence South 87 degrees 15 minutes 06 seconds West, along said South line of Government Lot 2, also being the South line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, a distance of 1343.65 feet to the point of beginning.

At such hearing both written and oral comments will be heard.

DATED: March 12, 2026

Dawnette Shimek
Deputy City Clerk
City of Ham Lake

VICINITY MAP

PART OF SEC. 2, TWP. 32, RNG. 23



↑ North

South Shore Estates – 3 Single Family Residential Lots

ALBRIGHT, BRIAN
PIN: 02-32-23-44-0004
17380 DURANT ST NE
HAM LAKE, MN 55304

ARONSON, BRIAN
PIN: 02-32-23-31-0061
3703 INTERLACHEN DR NE
HAM LAKE, MN 55304

ARONSON, CAITLIN
PIN: 02-32-23-42-0010
3859 INTERLACHEN DR NE
HAM LAKE, MN 55304

BERG STEVEN L & BONNIE M
PIN: 11-32-23-12-0024
3841 CROSSTOWN BLVD NE
HAM LAKE, MN 55304

BRUHN-DING, BARBARA J
PIN: 02-32-23-41-0017
4055 INTERLACHEN DR NE
HAM LAKE, MN 55304

COLBURN RICHARD H
PIN: 02-32-23-42-0024
3838 INTERLACHEN DR NE
HAM LAKE, MN 55304

CULLEN DAVID C
PIN: 02-32-23-42-0012
3873 INTERLACHEN DR NE
HAM LAKE, MN 55304

DAWSON, THOMAS J
PIN: 11-32-23-12-0030
17241 VICKERS ST NE
HAM LAKE, MN 55304

DREWS DANIEL
PIN: 02-32-23-31-0056
3648 INTERLACHEN DR NE
HAM LAKE, MN 55304

ERICKSON, ANDREA
PIN: 11-32-23-12-0007
3855 172ND LN NE
HAM LAKE, MN 55304

FIRST FIDUCIARY CORPORATION,
TRUSTEE
PIN: 02-32-23-44-0005
4120 LEXINGTON WAY
EAGAN, MN 55123

GILBERT, JENNIFER
PIN: 02-32-23-41-0023
4015 INTERLACHEN DR NE
HAM LAKE, MN 55304

GRAVES, NICHOLAS GARRET
PIN: 02-32-23-42-0004
3833 INTERLACHEN DR NE
HAM LAKE, MN 55304

GREENER, TERRY N
PIN: 11-32-23-12-0002
17259 VICKERS ST NE
HAM LAKE, MN 55304

HALLBERG, DANIEL D
PIN: 02-32-23-42-0025
3753 INTERLACHEN DR NE
HAM LAKE, MN 55304

HENDERSON SANDRA N
PIN: 02-32-23-42-0027
3854 INTERLACHEN DR NE
HAM LAKE, MN 55304

HOFFMAN TRUSTEE, WARREN A
PIN: 01-32-23-33-0007
15740 LEXINGTON AVE NE
HAM LAKE, MN 55304

HOFFMANN COREY
PIN: 11-32-23-11-0011
17208 DURANT ST NE
HAM LAKE, MN 55304

HUEBSCHER, JAMI
PIN: 02-32-23-42-0028
3866 INTERLACHEN DR NE
HAM LAKE, MN 55304

HYLLE MARK A & CARLA J
PIN: 02-32-23-42-0006
3827 INTERLACHEN DR NE
HAM LAKE, MN 55304

JANET J DAUN LIVING TRUST
PIN: 02-32-23-34-0020
3631 WOODLAND DR NE
HAM LAKE, MN 55304

JOHANNES, RICHARD
PIN: 02-32-23-42-0009
3847 INTERLACHEN DR NE
HAM LAKE, MN 55304

JOHNSON, GAYLE M
PIN: 02-32-23-42-0023
3815 INTERLACHEN DR NE
HAM LAKE, MN 55304

KAROL RENAE
PIN: 02-32-23-31-0048
PO BOX 32025
MINNEAPOLIS, MN 55432

KOEHLER MICHAEL NEIL
PIN: 11-32-23-12-0005
17229 VICKERS ST NE
HAM LAKE, MN 55304

KRATZKE KARL
PIN: 11-32-23-21-0020
3719 172ND LN NE
HAM LAKE, MN 55304

KUNCHIER, JONATHAN MICHAEL
PIN: 11-32-23-12-0025
3929 CROSSTOWN BLVD NE
HAM LAKE, MN 55304

KUNSHIER WARREN E & CHERYL
PIN: 11-32-23-12-0023
3945 172ND LN NE
HAM LAKE, MN 55304

LEEBENS ROBERT J & LORALEE A
PIN: 02-32-23-42-0022
3823 INTERLACHEN DR NE
HAM LAKE, MN 55304

LUSTHOFF WAYNE W & SANDRA L
PIN: 02-32-23-31-0013
3643 INTERLACHEN DR NE
ANOKA, MN 55304

MILLER, TARA H
PIN: 02-32-23-42-0011
3863 INTERLACHEN DR NE
HAM LAKE, MN 55304

OLSEN, TERRI L
PIN: 11-32-23-21-0022
3641 172ND LN NE
HAM LAKE, MN 55304

PETRY, STEVEN J
PIN: 02-32-23-31-0012
3633 INTERLACHEN DR NE
HAM LAKE, MN 55304

ROONEY JAMES H & LINDA
PIN: 11-32-23-21-0002
17246 VICKERS ST NE
HAM LAKE, MN 55304

SANFT CARLY
PIN: 11-32-23-12-0010
3905 172ND LN NE
HAM LAKE, MN 55304

SCHULTZ, PAUL
PIN: 02-32-23-41-0001
4110 INTERLACHEN DR NE
ANDOVER, MN 55304

SMITH, JONAH S
PIN: 02-32-23-34-0021
3621 WOODLAND DR NE
HAM LAKE, MN 55304

STEUCK, RICHARD G
PIN: 02-32-23-34-0019
3636 WOODLAND DR NE
HAM LAKE, MN 55304

THOMPSON, JERRY GENE
PIN: 11-32-23-11-0003
21229 TOLLHOUSE ROAD
CLOVIS, CA 93619

ZWEIG, ZACHARY D
PIN: 02-32-23-31-0059
3658 INTERLACHEN DR NE
HAM LAKE, MN 55304

NEUBERGER, JENNA K
PIN: 11-32-23-21-0021
3729 172ND LN NE
HAM LAKE, MN 55304

PECK, LEIGHTON L
PIN: 11-32-23-11-0010
17242 DURANT ST NE
HAM LAKE, MN 55304

RABE, BRIAN
PIN: 02-32-23-31-0014
3653 INTERLACHEN DR NE
HAM LAKE, MN 55304

ROSENCRANTZ, SHERI L & TODD
PIN: 02-32-23-31-0054
3612 INTERLACHEN DR NE
HAM LAKE, MN 55304

SCHARBER TRUSTEE JENNIFER SUE
PIN: 02-32-23-31-0051
8585 YELLOWSTONE LN N
MAPLE GROVE, MN 55311

SCHWARTZ, JUDY J
PIN: 11-32-23-21-0006
17220 VICKERS ST NE
HAM LAKE, MN 55304

SPINLER, PAUL W
PIN: 11-32-23-21-0024
3621 172ND LN NE
ANDOVER, MN 55304

STONE BRADLEY D & JENNIFER A
PIN: 02-32-23-41-0016
4033 INTERLACHEN DR NE
HAM LAKE, MN 55304

TJB LAND LLC
PIN: 02-32-23-42-0008
9100 BALTIMORE ST NE STE 102
BLAINE, MN 55449

OLESEN, TIMOTHY S
PIN: 02-32-23-44-0003
17440 DURANT ST NE
HAM LAKE, MN 55304

PETERSON RANDY & KATHLEEN
PIN: 02-32-23-31-0010
3623 INTERLACHEN DR
HAM LAKE, MN 55304

RHEA CO
PIN: 02-32-23-31-0053
12590 SCHARBER ST
ROGERS, MN 55374

RUUD, SHERRIE
PIN: 02-32-23-31-0050
3805 INTERLACHEN DR NE
HAM LAKE, MN 55304

SCHMIDTZ, ALLEN J
PIN: 02-32-23-42-0001
3820 INTERLACHEN DR NE
HAM LAKE, MN 55304

SMITH DAVID L
PIN: 11-32-23-12-0029
3850 172ND LN NE
HAM LAKE, MN 55304

STADLER SEAN
PIN: 02-32-23-31-0058
3637 INTERLACHEN DR NE
HAM LAKE, MN 55304

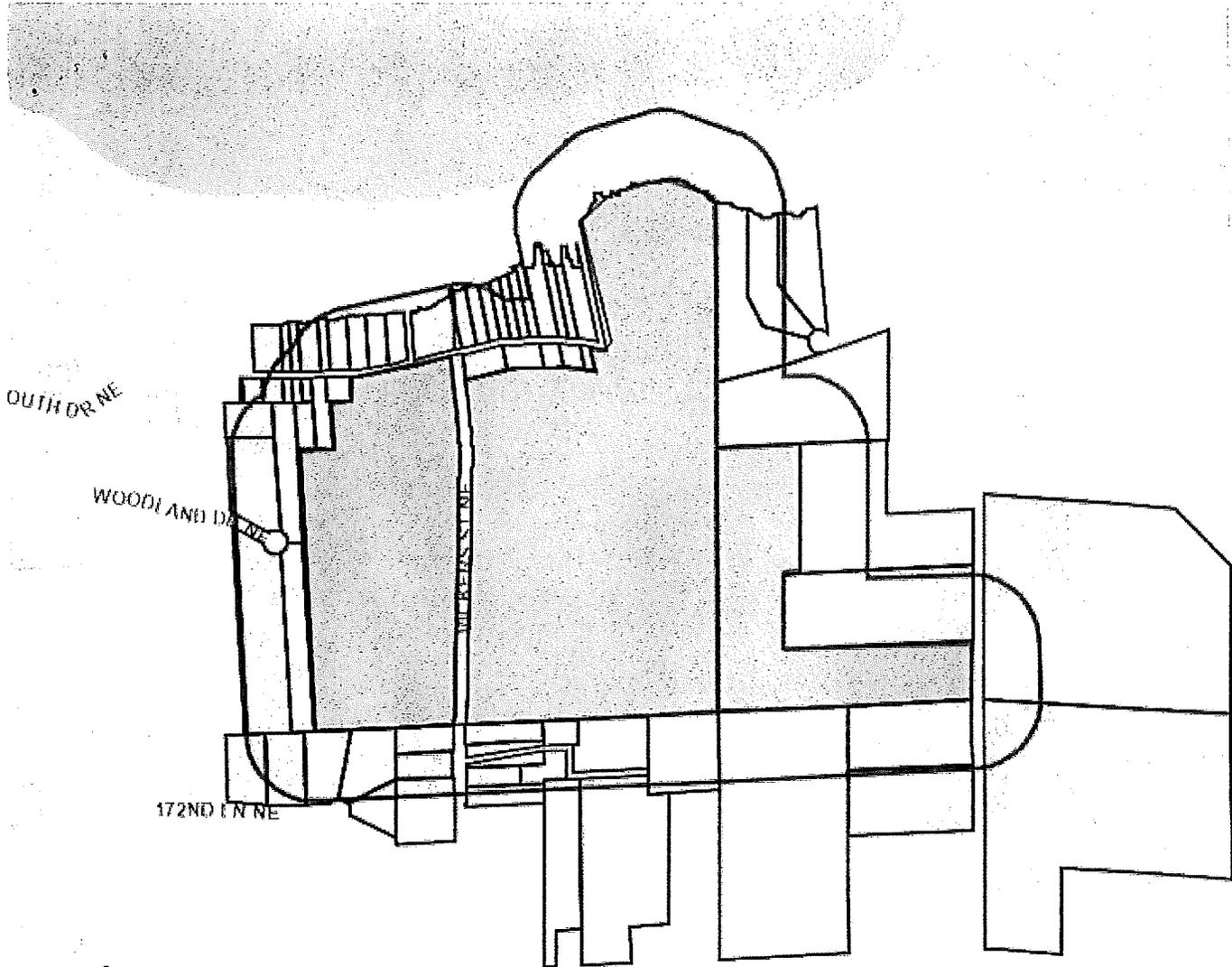
TAIT, LAURA
PIN: 11-32-23-21-0023
3631 172ND LN NE
HAM LAKE, MN 55304

WAWERS, CAROL
PIN: 11-32-23-21-0003
17256 VICKERS ST NE
HAM LAKE, MN 55304

ALBRIGHT, BRIAN	PIN: 02-32-23-44-0004	17380 DURANT ST NE	HAM LAKE, MN 55304
ARONSON, BRIAN	PIN: 02-32-23-31-0061	3703 INTERLACHEN DR NE	HAM LAKE, MN 55304
ARONSON, CAITLIN	PIN: 02-32-23-42-0010	3859 INTERLACHEN DR NE	HAM LAKE, MN 55304
BERG STEVEN L & BONNIE M	PIN: 11-32-23-12-0024	3841 CROSSTOWN BLVD NE	HAM LAKE, MN 55304
BRUHN-DING, BARBARA J	PIN: 02-32-23-41-0017	4055 INTERLACHEN DR NE	HAM LAKE, MN 55304
COLBURN RICHARD H	PIN: 02-32-23-42-0024	3838 INTERLACHEN DR NE	HAM LAKE, MN 55304
CULLEN DAVID C	PIN: 02-32-23-42-0012	3873 INTERLACHEN DR NE	HAM LAKE, MN 55304
DAWSON, THOMAS J	PIN: 11-32-23-12-0030	17241 VICKERS ST NE	HAM LAKE, MN 55304
DREWS DANIEL	PIN: 02-32-23-31-0056	3648 INTERLACHEN DR NE	HAM LAKE, MN 55304
ERICKSON, ANDREA	PIN: 11-32-23-12-0007	3855 172ND LN NE	HAM LAKE, MN 55304
FIRST FIDUCIARY CORPORATION, TRUSTEE	PIN: 02-32-23-44-0005	4120 LEXINGTON WAY	EAGAN, MN 55123
GILBERT, JENNIFER	PIN: 02-32-23-41-0023	4015 INTERLACHEN DR NE	HAM LAKE, MN 55304
GRAVES, NICHOLAS GARRET	PIN: 02-32-23-42-0004	3833 INTERLACHEN DR NE	HAM LAKE, MN 55304
GREENER, TERRY N	PIN: 11-32-23-12-0002	17259 VICKERS ST NE	HAM LAKE, MN 55304
HALLBERG, DANIEL D	PIN: 02-32-23-42-0025	3753 INTERLACHEN DR NE	HAM LAKE, MN 55304
HENDERSON SANDRA N	PIN: 02-32-23-42-0027	3854 INTERLACHEN DR NE	HAM LAKE, MN 55304
HOFFMAN TRUSTEE, WARREN A	PIN: 01-32-23-33-0007	15740 LEXINGTON AVE NE	HAM LAKE, MN 55304
HOFFMANN COREY	PIN: 11-32-23-11-0011	17208 DURANT ST NE	HAM LAKE, MN 55304
HUEBSCHER, JAMI	PIN: 02-32-23-42-0028	3866 INTERLACHEN DR NE	HAM LAKE, MN 55304
HYLLE MARK A & CARLA J	PIN: 02-32-23-42-0006	3827 INTERLACHEN DR NE	HAM LAKE, MN 55304
JANET J DAUN LIVING TRUST	PIN: 02-32-23-34-0020	3631 WOODLAND DR NE	HAM LAKE, MN 55304
JOHANNES, RICHARD	PIN: 02-32-23-42-0009	3847 INTERLACHEN DR NE	HAM LAKE, MN 55304
JOHNSON, GAYLE M	PIN: 02-32-23-42-0023	3815 INTERLACHEN DR NE	HAM LAKE, MN 55304
KAROL RENAE	PIN: 02-32-23-31-0048	PO BOX 32025	MINNEAPOLIS, MN 55432
KOEHLER MICHAEL NEIL	PIN: 11-32-23-12-0005	17229 VICKERS ST NE	HAM LAKE, MN 55304
KRATZKE KARL	PIN: 11-32-23-21-0020	3719 172ND LN NE	HAM LAKE, MN 55304
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KUNSHIER WARREN E & CHERYL	PIN: 11-32-23-12-0023	3945 172ND LN NE	HAM LAKE, MN 55304
LEEBENS ROBERT J & LORALEE A	PIN: 02-32-23-42-0022	3823 INTERLACHEN DR NE	HAM LAKE, MN 55304
LUSTHOFF WAYNE W & SANDRA L	PIN: 02-32-23-31-0013	3643 INTERLACHEN DR NE	ANOKA, MN 55304
MILLER, TARA H	PIN: 02-32-23-42-0011	3863 INTERLACHEN DR NE	HAM LAKE, MN 55304
NEUBERGER, JENNA K	PIN: 11-32-23-21-0021	3729 172ND LN NE	HAM LAKE, MN 55304
OLESEN, TIMOTHY S	PIN: 02-32-23-44-0003	17440 DURANT ST NE	HAM LAKE, MN 55304
OLSEN, TERRI L	PIN: 11-32-23-21-0022	3641 172ND LN NE	HAM LAKE, MN 55304
PECK, LEIGHTON L	PIN: 11-32-23-11-0010	17242 DURANT ST NE	HAM LAKE, MN 55304
PETERSON RANDY & KATHLEEN	PIN: 02-32-23-31-0010	3623 INTERLACHEN DR	HAM LAKE, MN 55304
PETRY, STEVEN J	PIN: 02-32-23-31-0012	3633 INTERLACHEN DR NE	HAM LAKE, MN 55304
RABE, BRIAN	PIN: 02-32-23-31-0014	3653 INTERLACHEN DR NE	HAM LAKE, MN 55304
RHEA CO	PIN: 02-32-23-31-0053	12590 SCHARBER ST	ROGERS, MN 55374

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SANFT CARLY
SCHARBER TRUSTEE JENNIFER SUE
SCHMIDTZ, ALLEN J
SCHULTZ, PAUL
SCHWARTZ, JUDY J
SMITH DAVID L
SMITH, JONAH S
SPINLER, PAUL W
STADLER SEAN
STEUCK, RICHARD G
STONE BRADLEY D & JENNIFER A
TAIT, LAURA
THOMPSON, JERRY GENE
TJB LAND LLC
WAWERS, CAROL
ZWEIG, ZACHARY D

PIN: 11-32-23-21-0002 17246 VICKERS ST NE
PIN: 02-32-23-31-0054 3612 INTERLACHEN DR NE
PIN: 02-32-23-31-0050 3805 INTERLACHEN DR NE
PIN: 11-32-23-12-0010 3905 172ND LN NE
PIN: 02-32-23-31-0051 8585 YELLOWSTONE LN N
PIN: 02-32-23-42-0001 3820 INTERLACHEN DR NE
PIN: 02-32-23-41-0001 4110 INTERLACHEN DR NE
PIN: 11-32-23-21-0006 17220 VICKERS ST NE
PIN: 11-32-23-12-0029 3850 172ND LN NE
PIN: 02-32-23-34-0021 3621 WOODLAND DR NE
PIN: 11-32-23-21-0024 3621 172ND LN NE
PIN: 02-32-23-31-0058 3637 INTERLACHEN DR NE
PIN: 02-32-23-34-0019 3636 WOODLAND DR NE
PIN: 02-32-23-41-0016 4033 INTERLACHEN DR NE
PIN: 11-32-23-21-0023 3631 172ND LN NE
PIN: 11-32-23-11-0003 21229 TOLLHOUSE ROAD
PIN: 02-32-23-42-0008 9100 BALTIMORE ST NE STE 102
PIN: 11-32-23-21-0003 17256 VICKERS ST NE
PIN: 02-32-23-31-0059 3658 INTERLACHEN DR NE
HAM LAKE, MN 55304
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MAPLE GROVE, MN 55311
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ANDOVER, MN 55304
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HAM LAKE, MN 55304
ANDOVER, MN 55304
HAM LAKE, MN 55304
CLOVIS, CA 93619
BLAINE, MN 55449
HAM LAKE, MN 55304
HAM LAKE, MN 55304



OUTHOR NE

WOODLAND DRIVE

172ND LN NE

CROSTOWN BLVD NE

176TH AVE

176TH AVE

18

70TH LN NE

Memorandum

Date: March 17, 2026
To: Planning Commissioners
From: David A. Krugler, City Engineer
Subject: South Shore Estates



Introduction:

The Preliminary and Final Plat for South Shore Estates subdivides the 94.28-acre 17529 Vickers Street and 3740 Interlachen Drive parcel into three lots. The existing houses and accessory buildings are located on proposed Lot 1 of Block 1 and Lots 1 and 2 of Block 2. The parcels are currently zoned Rural Single Family Residential (R-A) and will be rezoned Single Family Residential (R-1) following final plat approval. A 500-scale zoning map, 400-scale half-section map and a 500-scale aerial photo are attached.

Discussion:

The Final Plat, Preliminary Plat and Livability Plan received March 5th address the prior review comments. The proposed subdivision qualifies as a Minor Plat under Section 10-101 of City Code and therefore does not require that the existing driveway access a paved road.

The existing house and accessory building located on Lot 1 of Block 2 will remain. The existing 1,450 square foot accessory building complies with Section 9-370.1 of City Code, which permits up to 5,000 square feet on lots of five (5) acres or greater. Prior to final plat signatures by the City, a Certificate of Compliance inspection of the existing septic system shall be completed in accordance with Section 11-450.4(c) of City Code.

The existing accessory building located on Lot 1 of Block 1 is proposed to remain. In accordance with Section 10-430(E)(2) of City Code, the existing gravel driveway serving Lot 1 shall be paved prior to issuance of any future building permits.

As the Minor Plat utilizes existing infrastructure and does not require new public improvements beyond individual lot development, a Development Agreement is not required. The developer shall pay a \$200 drainage fund contribution along with a \$2,500 parkland dedication fee for each of the three lots. It is anticipated that there will be a future subdivision to create up to 40 additional lots and will also need to pay a \$200 drainage fund contribution along with \$2,500 parkland dedication fee for each future lot.

The Soil Boring Test Report confirms that there is adequate area for a primary and secondary septic system for all three lots. The attached April 10th Tradewell septic certification certifies that the lots will support two standard septic systems in accordance with Minnesota Rules 7080.

Recommendations:

It is recommended that the Preliminary Plat and Final Plat for South Shore Estates be recommended for approval.

PRELIMINARY PLAT

-of- SOUTH SHORE ESTATES
-for- MN DEVELOPMENTS, LLC.
17404 WARD LAKE DRIVE NW
ANDOVER, MN 55304
(612) 799-1471

VICINITY MAP

PART OF SEC. 2, TWP. 32, RANG. 23



ANOKA COUNTY, MINNESOTA
(NO SCALE)

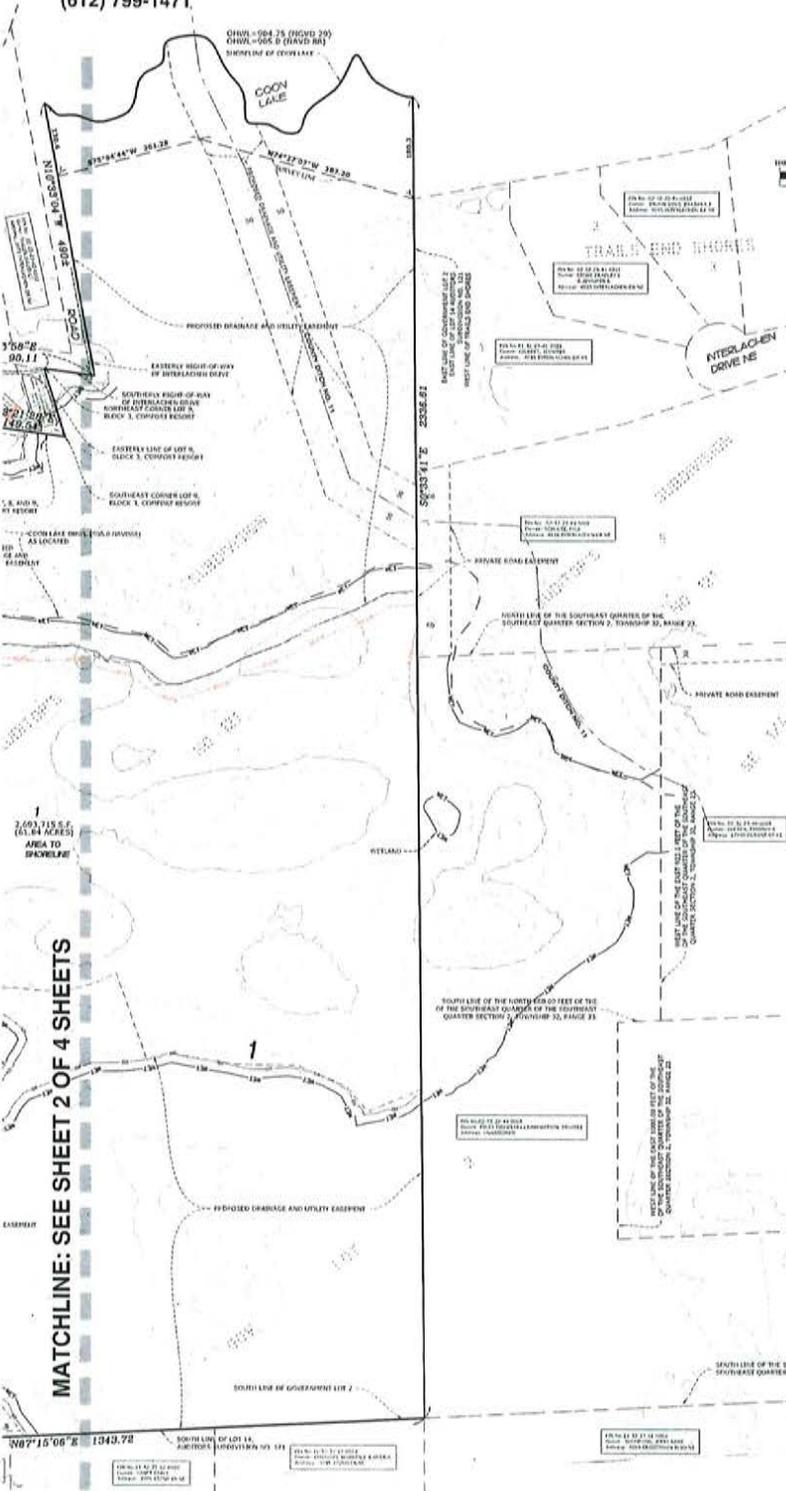
NORTH



PROPERTY DESCRIPTION

That part of Government Lot 2 and Government Lot 3, Section 2, Township 32, Range 23, Anoka County, Minnesota, also being Lots 2, 3, 13, and 14, AUDITOR'S SUBDIVISION NO. 121, according to the recorded plat thereof, described as follows:

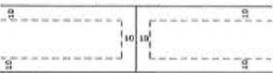
Beginning at the South Quarter corner of said Section 2, also being the Southeast corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, thence South 87 degrees 10 minutes 28 seconds West, assumed bearing, along the South line of said Government Lot 3, also being the South line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 748.60 feet to the Southwest corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121; thence North 83 degrees 26 minutes 35 seconds West, along the West line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 1423.64 feet to the Southwest corner of Lot 10, said AUDITOR'S SUBDIVISION NO. 121; thence North 89 degrees 44 minutes 41 seconds East, along the South line of Lots 10 and 11, said AUDITOR'S SUBDIVISION NO. 121, a distance of 180.80 feet; thence North 09 degrees 26 minutes 35 seconds West, along the East line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 250.39 feet to the South line of Block 4, in the plat of COMFORT RESORT, Anoka County, Minnesota; thence North 83 degrees 44 minutes 41 seconds East, along said South line of Block 4, COMFORT RESORT, and its easterly extension, 111.15 feet to the Southeast corner of Lot 1, said AUDITOR'S SUBDIVISION NO. 121; thence North 83 degrees 26 minutes 35 seconds West, along the East line of said Lot 1, AUDITOR'S SUBDIVISION NO. 121, a distance of 125.19 feet to the Northeast corner of said Lot 1, AUDITOR'S SUBDIVISION NO. 121, also being the southerly right-of-way line of Interlachen Drive, as created and dedicated in said COMFORT RESORT; thence North 83 degrees 45 minutes 41 seconds East, along said southerly right-of-way line of Interlachen Drive, 59.09 feet; thence North 78 degrees 29 seconds East, continuing along said southerly right-of-way line of Interlachen Drive, 314.52 feet; thence North 77 degrees 05 minutes 26 seconds East, continuing along said southerly right-of-way line of Interlachen Drive, 220.82 feet to the Northeast corner of Lot 4, said AUDITOR'S SUBDIVISION NO. 121; thence North 11 degrees 24 minutes 49 seconds East, along the westerly line of said Lot 4, AUDITOR'S SUBDIVISION NO. 121, a distance of 126.06 feet to the Southwest corner of said Lot 4, AUDITOR'S SUBDIVISION NO. 121; thence North 77 degrees 22 minutes 12 seconds East, along the southerly line of said Lot 4, AUDITOR'S SUBDIVISION NO. 121, a distance of 233.09 feet; thence North 07 degrees 54 minutes 02 seconds East, along the South line of Lots 1, 2, 3, 4, 5, and 6, Block 3, said COMFORT RESORT, 300.00 feet to the Southwest corner of Lot 7, Block 3, said COMFORT RESORT; thence South 82 degrees 21 minutes 20 seconds East, along the southerly line of Lots 7, 8, and 9, Block 3, said COMFORT RESORT, 149.54 feet to the Southeast corner of said Lot 9, Block 3, COMFORT RESORT; thence North 17 degrees 06 minutes 42 seconds West, along the easterly line of said Lot 9, Block 3, COMFORT RESORT, a distance of 125.80 feet to the Northeast corner of said Lot 9, Block 3, COMFORT RESORT, also being said southerly right-of-way line of Interlachen Drive; thence South 82 degrees 21 minutes 50 seconds East, along said southerly right-of-way line of Interlachen Drive, 80.11 feet to the most easterly right-of-way line of said Interlachen Drive, also being the easterly right-of-way line of a 33.00 foot wide Road, as created and dedicated in said plat of COMFORT RESORT; thence North 10 degrees 04 seconds West, along said most easterly right-of-way line of said Interlachen Drive and said easterly right-of-way line of a 33.00 foot wide Road, 499 feet, more or less, to the shoreline of Coon Lake; thence easterly along said shoreline of Coon Lake to the East line of said Government Lot 2, also being the East line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, also being the West line of the plat of TRAILS END SHORES, Anoka County, Minnesota, as established by District Court File No. C3-99-2057; thence South 80 degrees 33 minutes 41 seconds East, along the East line of said Government Lot 2, also being said West line of TRAILS END SHORES, 2336.61 feet to the South line of said Government Lot 2, also being the South line of said Lot 14, said AUDITOR'S SUBDIVISION NO. 121; thence South 87 degrees 15 minutes 06 seconds West, along said South line of Government Lot 2, also being the South line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, a distance of 1343.65 feet to the point of beginning.



MATCHLINE: SEE SHEET 2 OF 4 SHEETS

TYPICAL EASEMENTS

(NOT TO SCALE)



BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES AND 10 FEET IN WIDTH ADJOINING UTILITY LINES UNLESS OTHERWISE SHOWN.

NOTES

- Bearings shown are on Anoka County datum.
- Parcel ID Numbers: 03-32-23-34-0018, 03-32-23-43-0001 (It is anticipated that these five parcels may become one FID in the registration process.)
- Site Address: 3748 INTERLACHEN DR NE, 17529 VICKERS ST NE
- OWNERS: First Fiduciary Corporation, Daniel D. Halberg, Robert Halberg, Christopher Halberg, Jenise Cook, Good Dale Homes, LLC

DEVELOPMENT DATA

TOTAL SITE AREA = 94.204 ACRES
3 PROPOSED SINGLE FAMILY LOTS
AVERAGE LOT SIZE = 31.403 ACRES
MINIMUM STREET FRONTAGE = 200 FEET
MINIMUM LOT SIZE = 1.00 ACRES (INCLUDING HALF OF STREET ROW)
PROPOSED ZONING = R-1
BUILDING SETBACKS: FRONT = 30 FEET, SIDE = 10 FEET, REAR = 50 FEET, COUNTY ROAD = 50 FEET

LEGEND

- DENOTES LIDAR CONTOURS (2' INTERVALS)
- DENOTES BUILDING SETBACK LINE
- DENOTES WETLAND LINE DELINEATED BY KODIAC ENVIRONMENTAL SERVICES INC.
- DENOTES WETLAND BUFFER LINE
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

BENCHMARK

ANOKA COUNTY B.M. 2003
ELEVATION 908.792
DATUM: NAVD 88

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

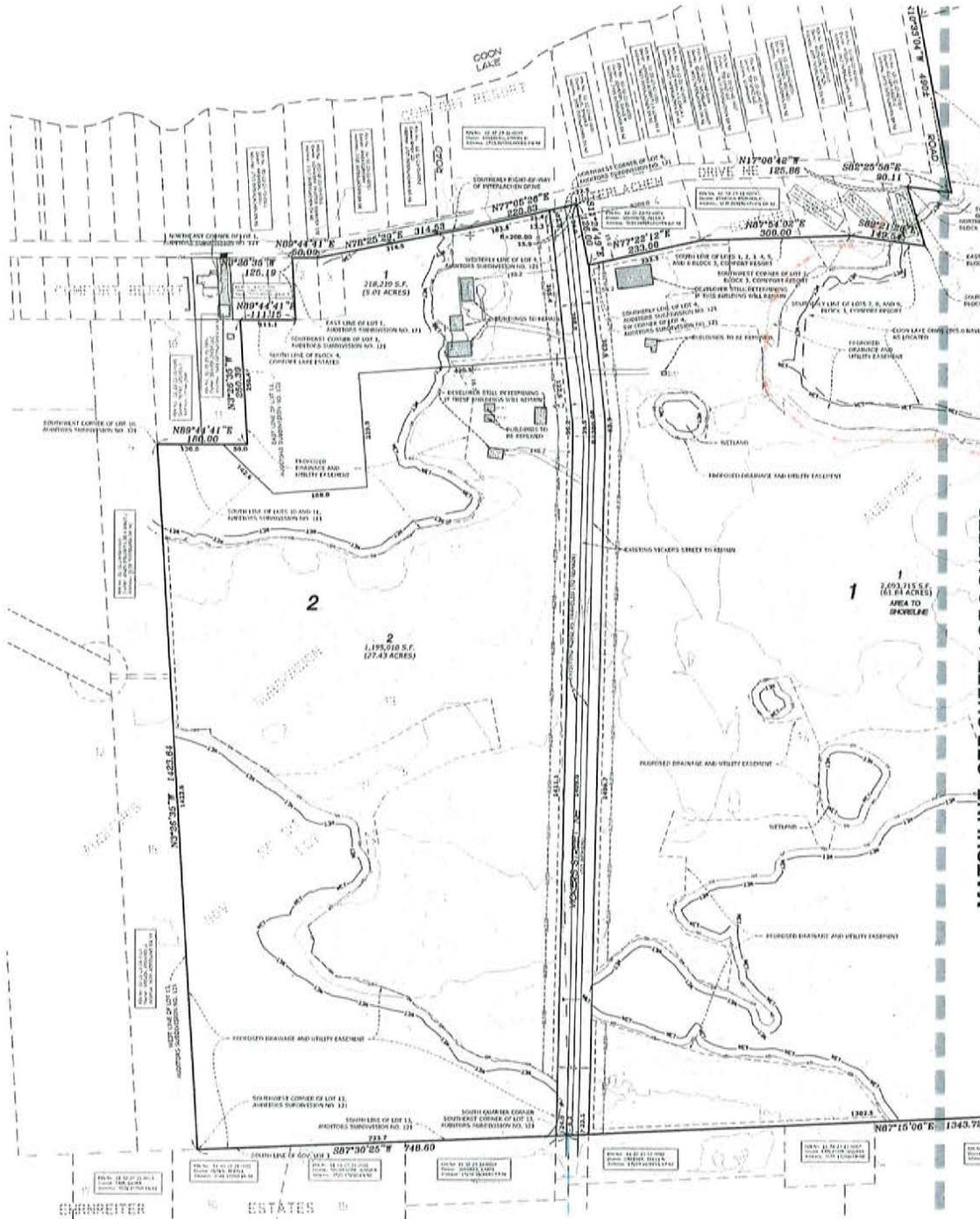
JASON E. BUR
Date: 03/05/2006 License No. 41578

E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

PROJECT NUMBER	JOB NO.	DATE	DATE
1	1377425	CITY ALYSEDA COMMENTS	REV 1
2	8306262	FINAL PLAT APPLICATION	REV 1
3			
NO.	DATE	DESCRIPTION	BY

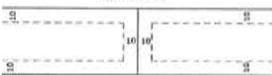
PRELIMINARY PLAT

~of~ SOUTH SHORE ESTATES
 ~for~ MN DEVELOPMENTS, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471



MATCHLINE: SEE SHEET 1 OF 3 SHEETS

TYPICAL EASEMENTS (NOT TO SCALE)



BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES
 AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS
 OTHERWISE SHOWN.

NORTH

GRAPHIC SCALE



LEGEND

- DEMOTES LIDAR CONTOURS (2' INTERVAL)
- DEMOTES BUILDING SETBACK LINE
- DEMOTES WETLAND LINE DELINEATED BY KIRKMAN ENVIRONMENTAL SERVICES INC.
- DEMOTES WETLAND BUFFER LINE
- DEMOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

BENCHMARK

ANOKA COUNTY B.M. 2003
 ELEVATION FOR 200
 DATUM: NAD 83

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

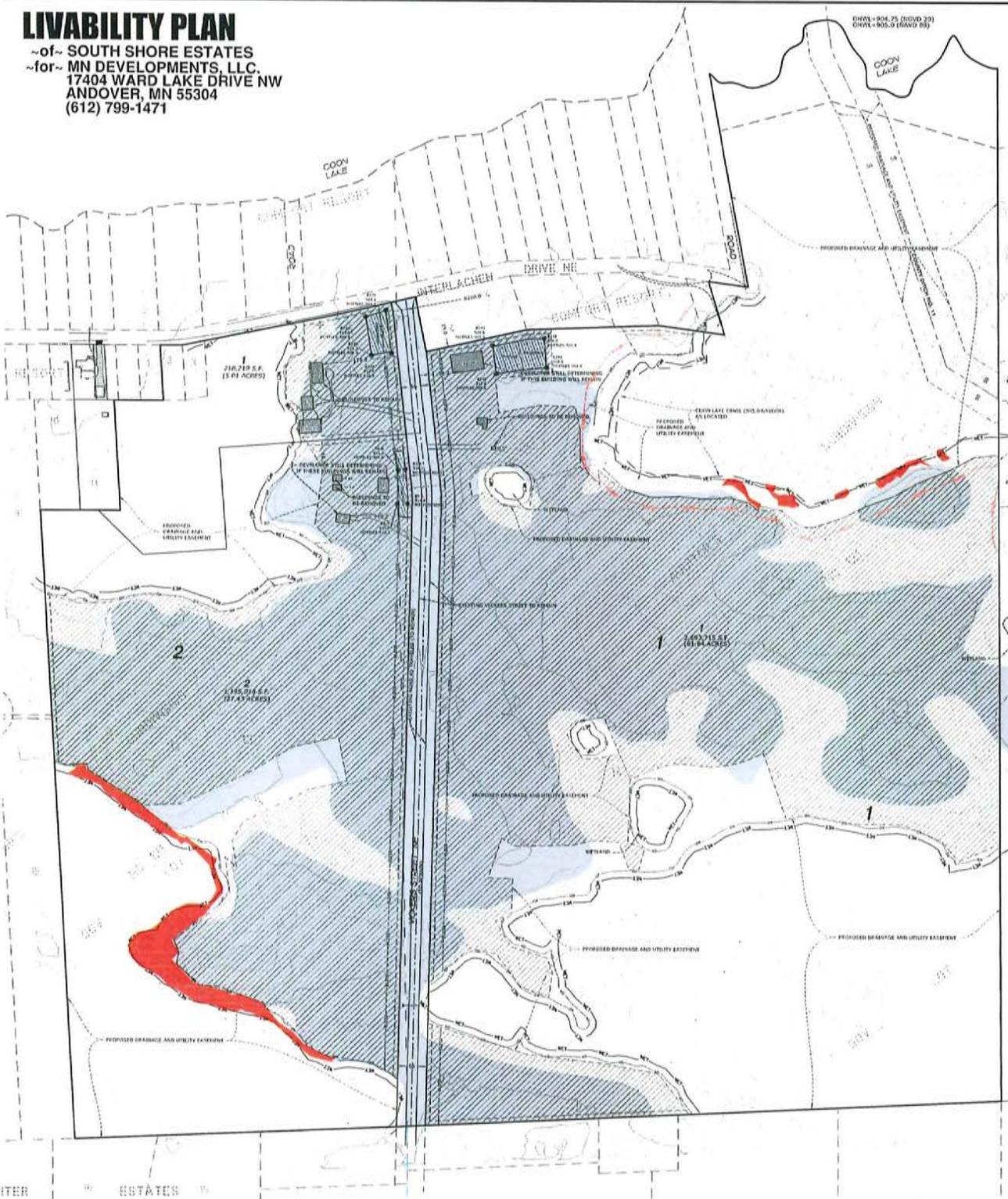
JASON E. RUD
 Date: 03/05/2026 License No. 41578

PROJECT	DATE	DATE	DATE	DATE
1	03/05/2026	03/05/2026	03/05/2026	03/05/2026
2				
3				
4				
5				

J.E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

LIVABILITY PLAN

~of~ SOUTH SHORE ESTATES
 ~for~ MN DEVELOPMENTS, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471



LIVABILITY DATA

Lot	Block	Total Lot Area (Ac. ±)	Void Area (Ac. ±)	Soils Area (sq. Ft.)	Block #	Block Elevation	Soils Elevation
1	1	2,203.75	1,735.00	7,737	240	300.9	300.8
					241	300.8	307.3
					242	300.9	308.8
					243	300.9	309.9
1	2	218,716	53,770	4,233	226	314.3	308.3
				(Secondary)	227	313.1	310.0
					228	313.0	309.5
					229	314.1	312.1
2	2	1,195,018	624,243	3,115	314	315.5	310.3
				(Secondary)	324	314.6	310.5
					324A	314.2	309.7
					343	315.1	309.8

NOTE: SEE SOUTH SHORE ESTATES SECOND FOR ADDITIONAL SOIL BORING DATA.

LEGEND

- DENOTES IRON ROD/PISTON FOUND AS LABELED
- DENOTES IRON ROD/PISTON SET, MARKED AS L.S. ± 15.0
- ⊙ DENOTES ANHRA COUNTY CAST IRON ROD/PISTON
- DENOTES EXISTING SPOT ELEVATION
- DENOTES SOIL BORING (BY TRADITIONAL SOIL TESTING)
- DENOTES LIDAR CONTOURS
- ▨ DENOTES GRAVEL SURFACE
- ▨ DENOTES PROPOSED YARD AREA
- ▨ DENOTES PROPOSED SEPTIC AREA
- ▨ DENOTES AREA 1' ABOVE FLOTTLES

NORTH
 GRAPHIC SCALE



BENCHMARK

ANDHRA COUNTY BM 2023
 ELEVATION 908.292
 DATE: DAVID BE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

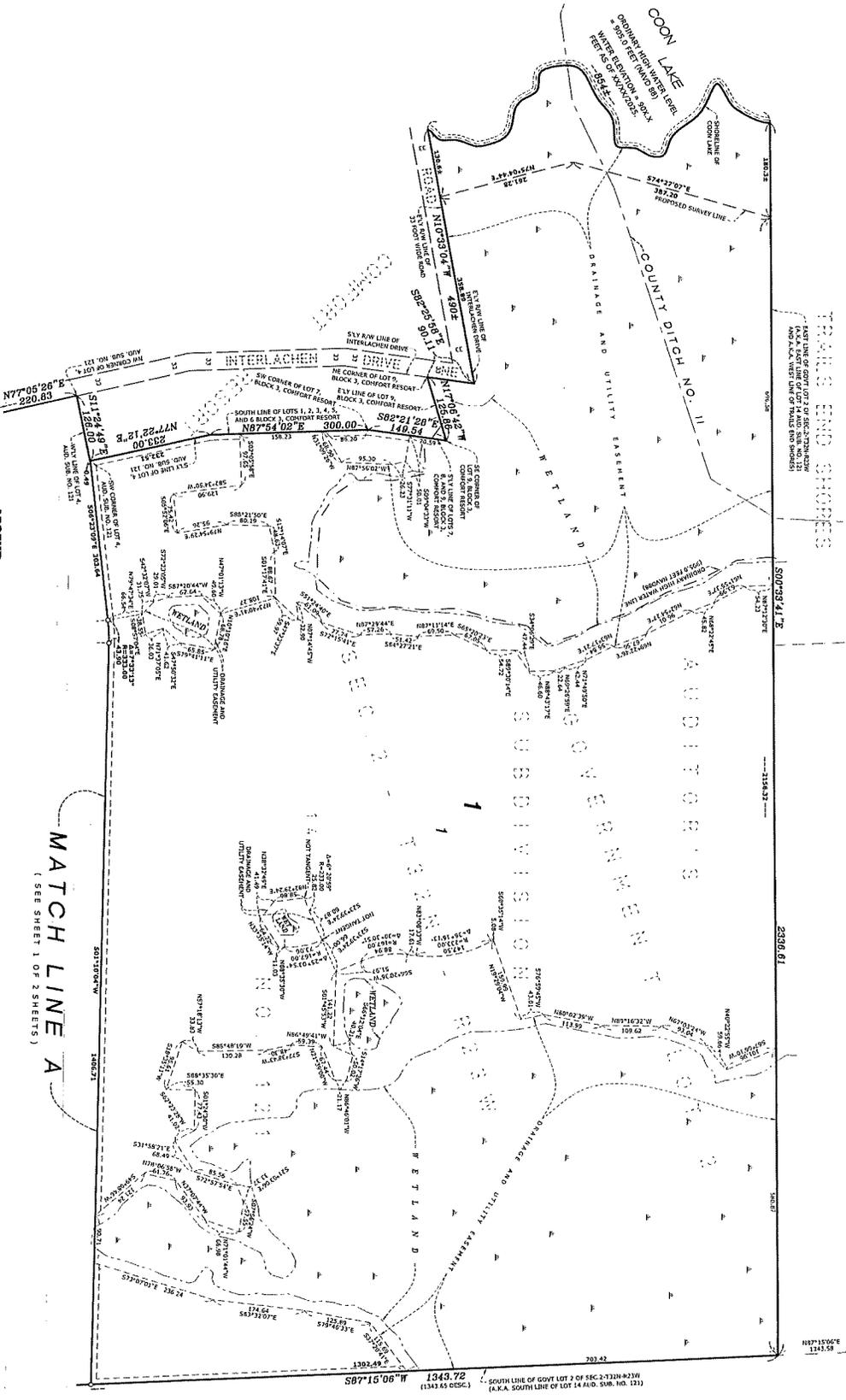
JASON R. RUD
 Date: 03/25/2026 License No. 41578

DATE	BY	REVISION
1	JAR	DATE: 03/25/2026
2	JAR	DATE: 03/25/2026
3	JAR	DATE: 03/25/2026

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

SOUTH SHORE ESTATES

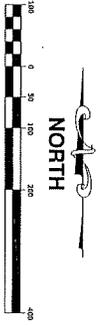
CITY OF HAM LAKE
 COUNTY OF ANOKA
 SEC. 2, T32N, R23W



LEGEND

- DENOTES 1/2 INCH OPEN IRON PIPE MONUMENT FOUND, UNLESS OTHERWISE SHOWN
- DENOTES 1/2 INCH BY 1/4 INCH IRON PIPE SET, MARKED "N.S. NO. 4129"
- ◊ DENOTES ANOKA COUNTY CAST IRON MONUMENT, UNLESS OTHERWISE SHOWN
- ◊ DENOTES WELAND PIPE AS DESIGNATED BY SURVEYOR'S FIELD NOTES, UNLESS OTHERWISE SHOWN IN XXXX XXXX
- ◊ DENOTES DISTANCE PER DESCRIPTION (XXX.XX DESC.)

MATCH LINE A
 (SEE SHEET 1 OF 2 SHEETS)



FOR THE PURPOSES OF THIS PLAT, THE SOUTHWEST CORNER OF SECTION 02, TOWNSHIP 22 NORTH, RANGE 23 WEST IS ASSUMED TO HAVE A BEARING OF SOUTH 81 DEGREES 21 MINUTES 22 SECONDS WEST.

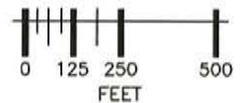
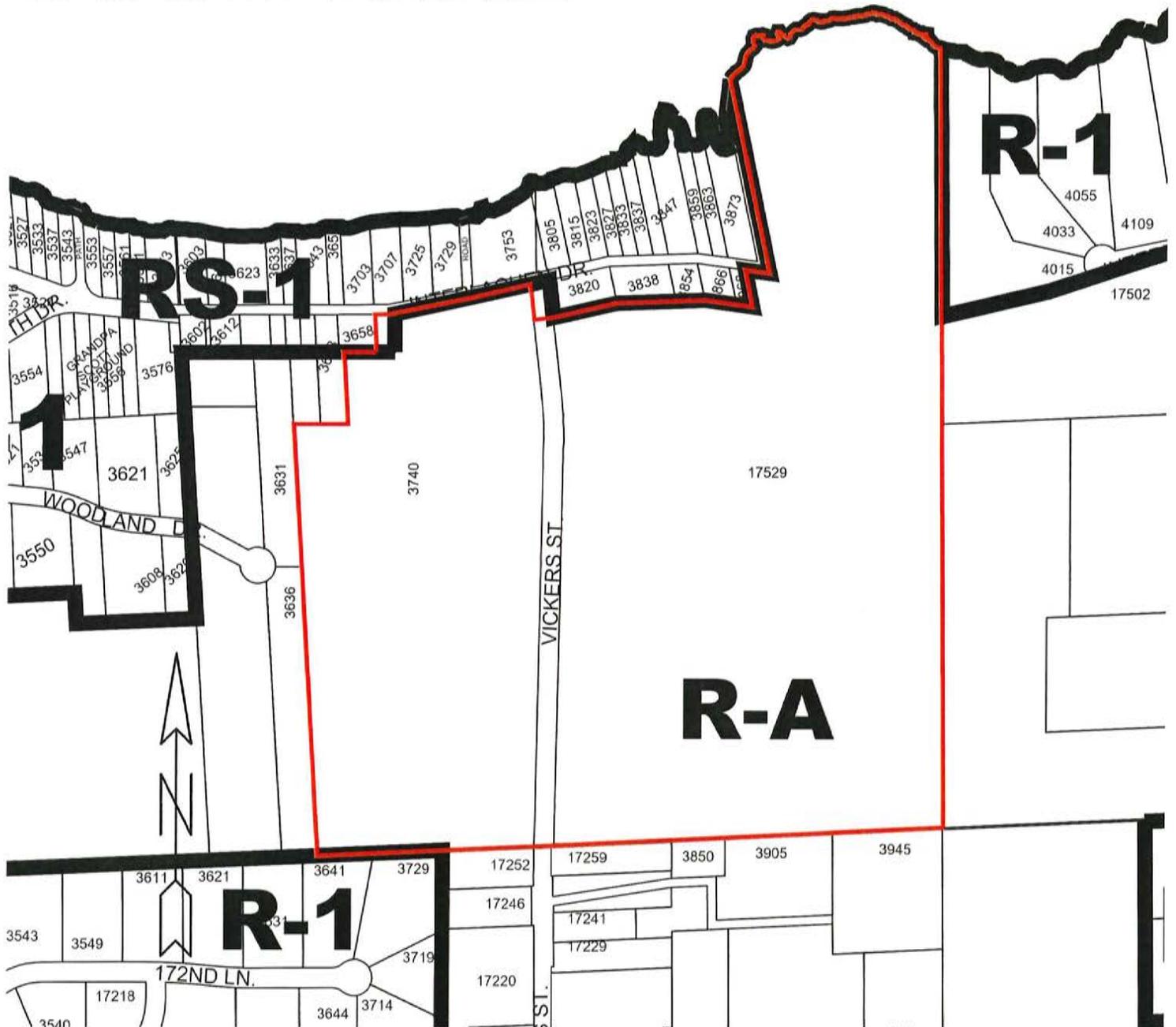
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, SIDE AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

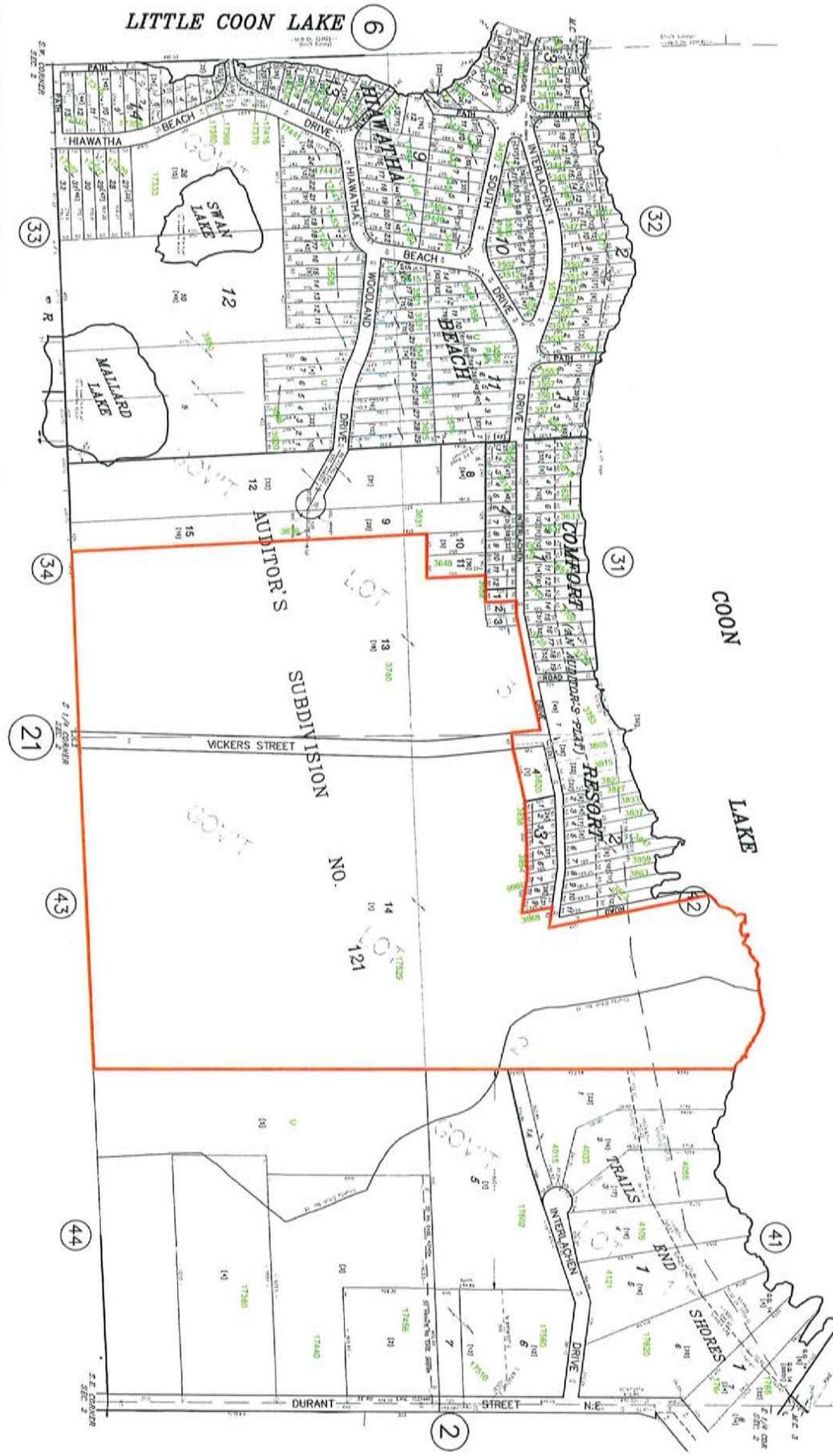
TRAFFIC END SHOULDER
 SHALL BE 10 FEET WIDE AND SHALL BE 10 FEET FROM THE RIGHT OF WAY LINE OF ROAD AND SHALL BE 10 FEET FROM THE LEFT OF WAY LINE OF ROAD AND SHALL BE 10 FEET FROM THE RIGHT OF WAY LINE OF ROAD AND SHALL BE 10 FEET FROM THE LEFT OF WAY LINE OF ROAD.

(1,259 ACRES) RURAL DEVELOPMENT) COON LAKE



SECTION 2, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 224-3200

QUARTER-QUARTER INDEX

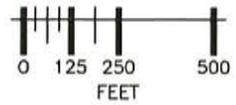
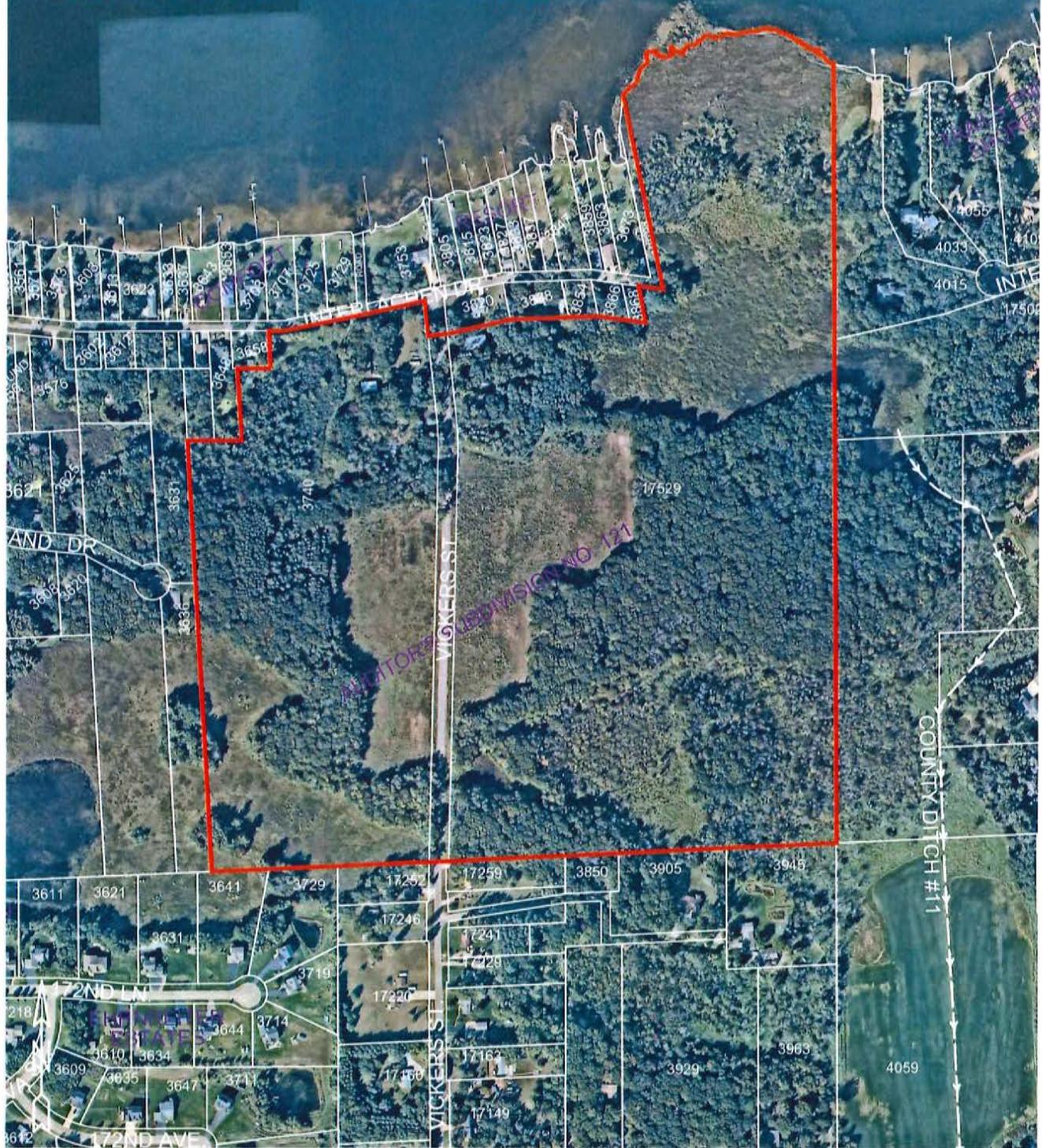
22	21	12	11
23	24	13	14
32	31	22	21
33	34	23	24

PROPERTY IDENTIFICATION NUMBERS

Section	Township	Range	Quarter	Specific	Parcel
XV	XV	XV	XV	XXXX	

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES PERTAINING TO THE AREA SHOWN HEREIN. THE SURVEYOR'S OFFICE IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

259 ACRES) (L DEVELOPMENT) COON LAKE



**Tradewell Soil Testing
18330 Dahlia Street NW
Cedar, MN 55011
(763) 286-9095**

March 12th, 2026

RFC Engineering
13635 Johnson Street NE
Ham Lake, MN 55304

To whom it may concern:

As a licensed site evaluator who conducted the soil borings in South Shore Estates 1st Addition for Minnesota Developments, LLC, I found the following: Each boring has at least 12" of natural, undisturbed soil with no redox features (mottled soil). In order to design and install a standard soil treatment system according to MN Chapter 7080 Code, at least 12" of natural soil with no signs of redox (mottling) is required. Therefore, each of the proposed lots will support 2 "standard" septic systems within the 7,500 square feet septic area as shown on the Grading Plan.

Sincerely,



Mark Tradewell
MPCA #307



CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

PLANNING REQUEST

Date of Application 10/21/2025 Date of Receipt _____

Receipt # _____ Amount \$ _____

Meeting Appearance Dates:

Planning Commission 3/23/2026 City Council _____

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other _____

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: South Shores Estates Second Addition

Address/Location of property: 3740 Interlachen Drive NE & 17529 Vickers St NE

Legal Description of property: Lot 1 of Block 1 and Lot 2 of Block 2 South Shores Estates minor plat & 02-32-23-44-0005

PIN # 02-32-23-43-0001 & 02-32-23-34-0018 Current Zoning R-A Proposed Zoning R-1

Notes: Rezoning via minor plat. Application for 41 lot residential development

Applicant's Name: Jeffrey A Stalberger

Business Name: MN Developments LLC

Address 3399 185th Lane NE

City East Bethel State MN Zip Code 55092

Phone 612-799-1471 Cell Phone 612-799-1471 Fax _____

Email address: _____

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE  DATE 10/23/25

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____ City Council _____ PROPERTY TAXES CURRENT YES NO Any Active/Deferred Assessments YES NO

**NOTICE TO ALL APPLICANTS FOR MUNICIPAL
PERMITS, LICENSES,
OR OTHER MUNICIPAL ACTION**

- 1. If you are requesting municipal action on any request for any of the above, you will be required to furnish certain information about yourself, the project you are involved in, or other matters pertaining to the subject. Some of the information you are asked to provide is classified by state law as either private or confidential. Private data is information which generally cannot be given to the public but can be given to the subject of the data. Confidential data is information which generally cannot be given to either the public or the subject of the data.***
- 2. The purpose of this information is to enable the City Staff, Commissions, Council or other government agencies to evaluate relevant factors in considering your request. You are not legally required to provide this information. If you do not provide the requested information, the City may not act upon your request.***
- 3. The information you supply will be public and available to any entity requesting to inspect the information.***

**DATA PRACTICES ADVISORY
TENNESSEN WARNING
REQUIRED BY MINNESOTA STATUTES CHAPTER 13.04**

SIGNED BY  _____

COMPANY/TITLE: Co-administrator MN Developments LLC

DATE: 10/23/25

CITY OF HAM LAKE ACKNOWLEDGMENT OF RESPONSIBILITY TO REIMBURSE EXPENSES

The undersigned, Jeffrey A Stalberger, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:
Residential 41 lot development

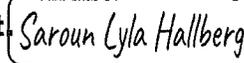
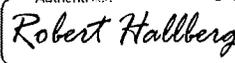
Type of Application

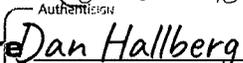
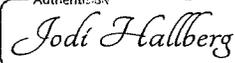
acknowledges that the sum of \$ _____, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

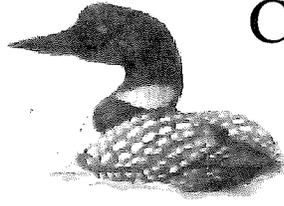
Applicant Signature  Dated 10/23/25

The following statement must be signed if the applicant is not the property owner:

multiple owners _____, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

I am aware of the application being submitted by the applicant and approve the request.  10/23/25  10/23/25  10/23/25

Property Owner Signature  10/23/25 Dated _____
 10/22/25  10/22/25  10/23/25
 10/23/25  10/23/25



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
info@ci.ham-lake.mn.us

NOTICE OF PUBLIC HEARING
CITY OF HAM LAKE
COUNTY OF ANOKA
STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, March 23, 2026 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Jeffrey A. Stalberger of MN Developments LLC, requesting preliminary plat approval and rezoning of the plat of South Shore Estates Second Addition from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) in Section 2, a parcel of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

That part of Government Lot 2, Section 2, Township 32, Range 23, Anoka County, Minnesota, also being Lot 14, AUDITOR'S SUBDIVISION NO. 121, according to the recorded plat thereof, described as follows:

Commencing at the South Quarter corner of said Section 2, also being the Southwest corner of said Lot 14, AUDITOR'S SUBDIVISION NO. 121; thence North 87 degrees 15 minutes 06 seconds East, assumed bearing, along the South line of said Government Lot 2, also being the South line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, a distance of 41.23 feet to the point of beginning of the parcel to be described; thence North 01 degree 10 minutes 04 seconds East a distance of 1406.71 feet; thence northerly a distance of 43.90 feet along a tangential curve concave to the west having a radius of 333.00 feet and a central angle of 7 degrees 33 minutes 13 seconds; thence North 06 degrees 23 minutes 09 seconds West, tangent to said curve, a distance of 303.64 feet to the southerly line of Lot 4, said AUDITOR'S SUBDIVISION NO. 121; thence North 77 degrees 22 minutes 12 seconds East, along said southerly line of Lot 4, AUDITOR'S SUBDIVISION NO. 121, a distance of 232.51 feet; thence North 87 degrees 54 minutes 02 seconds East, along the South line of Lots 1, 2, 3, 4, 5, and 6, Block 3, COMFORT RESORT, Anoka County, Minnesota, 300.00 feet to the Southwest corner of Lot 7, Block 3, said COMFORT RESORT; thence South 82 degrees 21 minutes 28 seconds East, along the southerly line of Lots 7, 8, and 9, Block 3, said COMFORT RESORT, 149.54 feet to the Southeast corner of said Lot 9, Block 3, COMFORT RESORT; thence North 17 degrees 06 minutes 42 seconds West, along the easterly line of said Lot 9, Block 3, COMFORT RESORT, a distance of 125.86 feet to the Northeast corner of said Lot 9, Block 3, COMFORT RESORT, also being the southerly

right-of-way line of Interlachen Drive as created and dedicated in said COMFORT RESORT; thence South 82 degrees 25 minutes 58 seconds East, along said southerly right-of-way-line of Interlachen Drive, 90.11 feet to the most easterly right-of-way line of said Interlachen Drive, also being the easterly right-of-way-line of a 33.00 foot wide Road, as created and dedicated in said plat of COMFORT RESORT; thence North 10 degrees 33 minutes 04 seconds West, along said most easterly right-of-way line of said Interlachen Drive and said easterly right-of-way line of a 33.00 foot wide Road, 490 feet, more or less, to the shoreline of Coon Lake; thence easterly along said shoreline of Coon Lake to the East line of said Government Lot 2, also being the East line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, also being the West line of the plat of TRAILS END SHORES, Anoka County, Minnesota, as established by District Court File No. C3-99-2057; thence South 00 degrees 33 minutes 41 seconds East, along said East line of said Government Lot 2, also being said West line of TRAILS END SHORES, 2336.61 feet to the South line of said Government Lot 2, also being the South line of said Lot 14, said AUDITOR'S SUBDIVISION NO. 121; thence South 87 degrees 15 minutes 06 seconds West, along said South line of Government Lot 2, also being the South line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, a distance of 1302.49 feet to the point of beginning.

AND

That part of Government Lot 2 and Government Lot 3, Section 2, Township 32, Range 23, Anoka County, Minnesota, also being Lots 13, and 14, AUDITOR'S SUBDIVISION NO. 121, according to the recorded plat thereof, described as follows:

Commencing at the South Quarter corner of said Section 2, also being the Southeast corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121; thence South 87 degrees 30 minutes 25 seconds West, assumed bearing, along the South line of said Government Lot 3, also being the South line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 24.91 feet to the point of beginning of the parcel to be described; thence continuing South 87 degrees 30 minutes 25 seconds West, along said south line, a distance of 723.69 feet to the Southwest corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121; thence North 03 degrees 26 minutes 35 seconds West, along the West line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 1423.64 feet to the Southwest corner of Lot 10, said AUDITOR'S SUBDIVISION NO. 121; thence North 89 degrees 44 minutes 41 seconds East, along the South line of Lots 10 and 11, said AUDITOR'S SUBDIVISION NO. 121, a distance of 130.00 feet; thence South 45 degrees 59 minutes 38 seconds East a distance of 142.60 feet; thence North 85 degrees 42 minutes 45 seconds East a distance of 188.00 feet; thence North 4 degrees 17 minutes 15 seconds West a distance of 229.95 feet; thence North 85 degrees 26 minutes 53 seconds East a distance of 420.49 feet; thence South 06 degrees 23 minutes 09 seconds East a distance of 122.63 feet; thence southerly a distance of 35.20 feet along a tangential curve concave to the west having a radius of 267.00 feet and a central angle of 7 degrees 33 minutes 13 seconds; thence South 01 degree 10 minutes 04 seconds West, tangent to said curve, a distance of 1411.11 feet to said point of beginning.

AND

The SE 1/4 of SE 1/4 less the North 660 feet of the East 923.5 feet thereof as measured along the North and East lines of the SE 1/4 of the SE 1/4 Section 2, Township 32, Range 23

AND

A private road easement over the North 30 feet of the East 923.5 feet as measured along the North line of the SE 1/4 of SE 1/4 Section 2, Township 32, Range 23.

AND

A private road easement over the West 60 feet of Westerly 890 feet of Government Lot 1, lying South of that part of said Government Lot in plat of Oakleaf Shores, Township 32, Range 23.

EXCEPT

That part of the East 1000.00 feet of the Southeast Quarter of the Southeast Quarter of Section 2, Township 32, Range 23, Anoka County, Minnesota as measured along the North line thereof, lying South of the North 660.00 feet thereof, as measure along the East line thereof, and lying North of the South 300.00 feet thereof, as measured along the East line thereof, Anoka County, Minnesota.

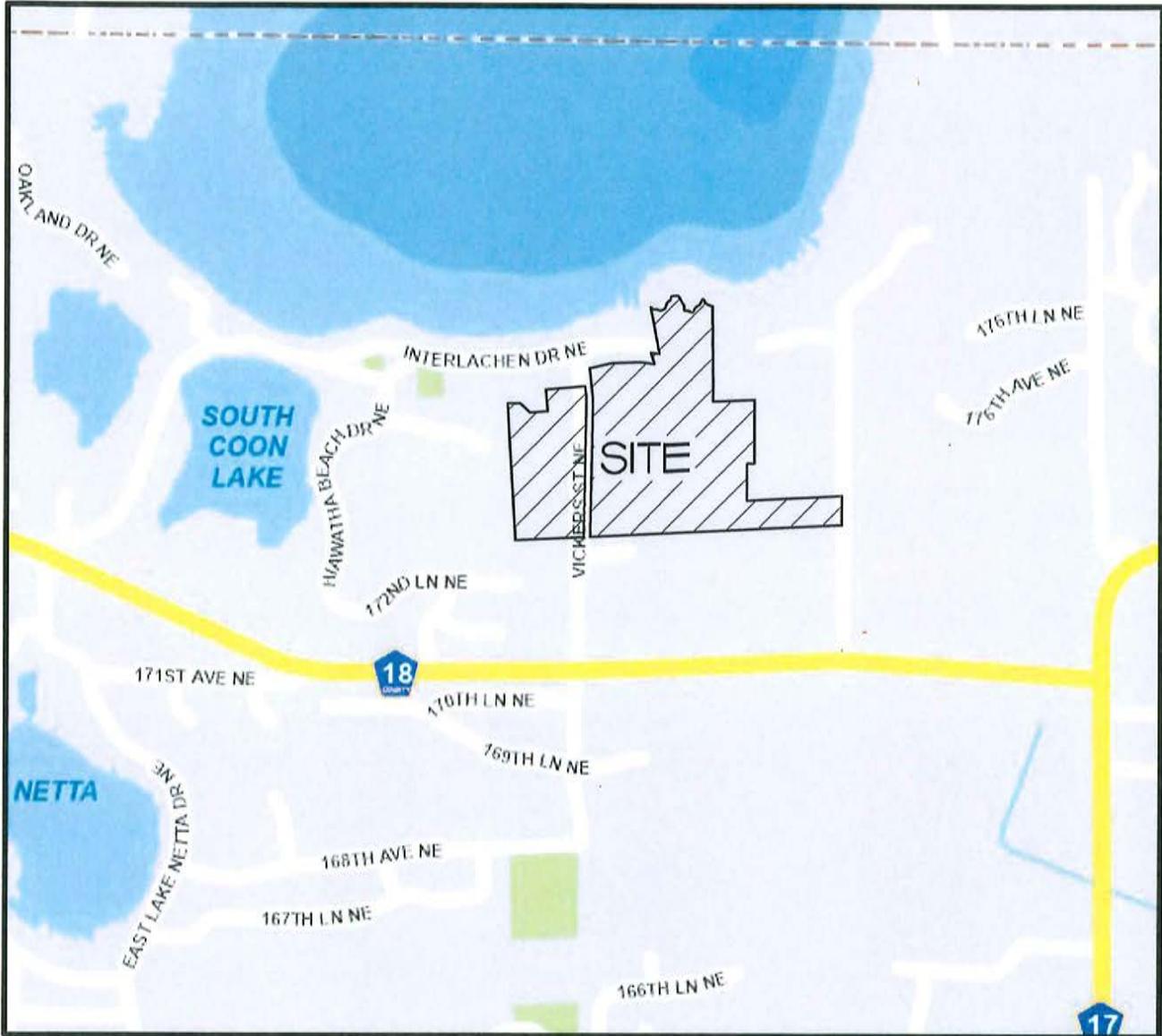
At such hearing both written and oral comments will be heard.

DATED: March 12, 2026

Dawnette Shimek
Deputy City Clerk
City of Ham Lake

VICINITY MAP

PART OF SEC. 2, TWP. 32, RNG. 23



South Shore Estates Second Addition
40 Single Family Residential Lots and 3 Outlots



ALBRIGHT, BRIAN
PIN: 02-32-23-44-0004
17380 DURANT ST NE
HAM LAKE, MN 55304

ARONSON, BRIAN
PIN: 02-32-23-31-0061
3703 INTERLACHEN DR NE
HAM LAKE, MN 55304

ARONSON, CAITLIN
PIN: 02-32-23-42-0010
3859 INTERLACHEN DR NE
HAM LAKE, MN 55304

BERG STEVEN L & BONNIE M
PIN: 11-32-23-12-0024
3841 CROSSTOWN BLVD NE
HAM LAKE, MN 55304

BRUHN-DING, BARBARA J
PIN: 02-32-23-41-0017
4055 INTERLACHEN DR NE
HAM LAKE, MN 55304

COLBURN RICHARD H
PIN: 02-32-23-42-0024
3838 INTERLACHEN DR NE
HAM LAKE, MN 55304

CULLEN DAVID C
PIN: 02-32-23-42-0012
3873 INTERLACHEN DR NE
HAM LAKE, MN 55304

DAWSON, THOMAS J
PIN: 11-32-23-12-0030
17241 VICKERS ST NE
HAM LAKE, MN 55304

DREWS DANIEL
PIN: 02-32-23-31-0056
3648 INTERLACHEN DR NE
HAM LAKE, MN 55304

ERICKSON, ANDREA
PIN: 11-32-23-12-0007
3855 172ND LN NE
HAM LAKE, MN 55304

FIRST FIDUCIARY CORPORATION,
TRUSTEE
PIN: 02-32-23-44-0005
4120 LEXINGTON WAY
EAGAN, MN 55123

GILBERT, JENNIFER
PIN: 02-32-23-41-0023
4015 INTERLACHEN DR NE
HAM LAKE, MN 55304

GRAVES, NICHOLAS GARRET
PIN: 02-32-23-42-0004
3833 INTERLACHEN DR NE
HAM LAKE, MN 55304

GREENER, TERRY N
PIN: 11-32-23-12-0002
17259 VICKERS ST NE
HAM LAKE, MN 55304

HALLBERG, DANIEL D
PIN: 02-32-23-42-0025
3753 INTERLACHEN DR NE
HAM LAKE, MN 55304

HENDERSON SANDRA N
PIN: 02-32-23-42-0027
3854 INTERLACHEN DR NE
HAM LAKE, MN 55304

HOFFMAN TRUSTEE, WARREN A
PIN: 01-32-23-33-0007
15740 LEXINGTON AVE NE
HAM LAKE, MN 55304

HOFFMANN COREY
PIN: 11-32-23-11-0011
17208 DURANT ST NE
HAM LAKE, MN 55304

HUEBSCHER, JAMI
PIN: 02-32-23-42-0028
3866 INTERLACHEN DR NE
HAM LAKE, MN 55304

HYLLE MARK A & CARLA J
PIN: 02-32-23-42-0006
3827 INTERLACHEN DR NE
HAM LAKE, MN 55304

JANET J DAUN LIVING TRUST
PIN: 02-32-23-34-0020
3631 WOODLAND DR NE
HAM LAKE, MN 55304

JOHANNES, RICHARD
PIN: 02-32-23-42-0009
3847 INTERLACHEN DR NE
HAM LAKE, MN 55304

JOHNSON, GAYLE M
PIN: 02-32-23-42-0023
3815 INTERLACHEN DR NE
HAM LAKE, MN 55304

KAROL RENAE
PIN: 02-32-23-31-0048
PO BOX 32025
MINNEAPOLIS, MN 55432

KOEHLER MICHAEL NEIL
PIN: 11-32-23-12-0005
17229 VICKERS ST NE
HAM LAKE, MN 55304

KRATZKE KARL
PIN: 11-32-23-21-0020
3719 172ND LN NE
HAM LAKE, MN 55304

KUNCHIER, JONATHAN MICHAEL
PIN: 11-32-23-12-0025
3929 CROSSTOWN BLVD NE
HAM LAKE, MN 55304

KUNSHIER WARREN E & CHERYL
PIN: 11-32-23-12-0023
3945 172ND LN NE
HAM LAKE, MN 55304

LEEBENS ROBERT J & LORALEE A
PIN: 02-32-23-42-0022
3823 INTERLACHEN DR NE
HAM LAKE, MN 55304

LUSTHOFF WAYNE W & SANDRA L
PIN: 02-32-23-31-0013
3643 INTERLACHEN DR NE
ANOKA, MN 55304

MILLER, TARA H
PIN: 02-32-23-42-0011
3863 INTERLACHEN DR NE
HAM LAKE, MN 55304

NEUBERGER, JENNA K
PIN: 11-32-23-21-0021
3729 172ND LN NE
HAM LAKE, MN 55304

OLESEN, TIMOTHY S
PIN: 02-32-23-44-0003
17440 DURANT ST NE
HAM LAKE, MN 55304

OLSEN, TERRI L
PIN: 11-32-23-21-0022
3641 172ND LN NE
HAM LAKE, MN 55304

PECK, LEIGHTON L
PIN: 11-32-23-11-0010
17242 DURANT ST NE
HAM LAKE, MN 55304

PETERSON RANDY & KATHLEEN
PIN: 02-32-23-31-0010
3623 INTERLACHEN DR
HAM LAKE, MN 55304

PETRY, STEVEN J
PIN: 02-32-23-31-0012
3633 INTERLACHEN DR NE
HAM LAKE, MN 55304

RABE, BRIAN
PIN: 02-32-23-31-0014
3653 INTERLACHEN DR NE
HAM LAKE, MN 55304

RHEA CO
PIN: 02-32-23-31-0053
12590 SCHARBER ST
ROGERS, MN 55374

ROONEY JAMES H & LINDA
PIN: 11-32-23-21-0002
17246 VICKERS ST NE
HAM LAKE, MN 55304

ROSENCRANTZ, SHERI L & TODD
PIN: 02-32-23-31-0054
3612 INTERLACHEN DR NE
HAM LAKE, MN 55304

RUUD, SHERRIE
PIN: 02-32-23-31-0050
3805 INTERLACHEN DR NE
HAM LAKE, MN 55304

SANFT CARLY
PIN: 11-32-23-12-0010
3905 172ND LN NE
HAM LAKE, MN 55304

SCHARBER TRUSTEE JENNIFER SUE
PIN: 02-32-23-31-0051
8585 YELLOWSTONE LN N
MAPLE GROVE, MN 55311

SCHMIDTZ, ALLEN J
PIN: 02-32-23-42-0001
3820 INTERLACHEN DR NE
HAM LAKE, MN 55304

SCHULTZ, PAUL
PIN: 02-32-23-41-0001
4110 INTERLACHEN DR NE
ANDOVER, MN 55304

SCHWARTZ, JUDY J
PIN: 11-32-23-21-0006
17220 VICKERS ST NE
HAM LAKE, MN 55304

SMITH DAVID L
PIN: 11-32-23-12-0029
3850 172ND LN NE
HAM LAKE, MN 55304

SMITH, JONAH S
PIN: 02-32-23-34-0021
3621 WOODLAND DR NE
HAM LAKE, MN 55304

SPINLER, PAUL W
PIN: 11-32-23-21-0024
3621 172ND LN NE
ANDOVER, MN 55304

STADLER SEAN
PIN: 02-32-23-31-0058
3637 INTERLACHEN DR NE
HAM LAKE, MN 55304

STEUCK, RICHARD G
PIN: 02-32-23-34-0019
3636 WOODLAND DR NE
HAM LAKE, MN 55304

STONE BRADLEY D & JENNIFER A
PIN: 02-32-23-41-0016
4033 INTERLACHEN DR NE
HAM LAKE, MN 55304

TAIT, LAURA
PIN: 11-32-23-21-0023
3631 172ND LN NE
HAM LAKE, MN 55304

THOMPSON, JERRY GENE
PIN: 11-32-23-11-0003
21229 TOLLHOUSE ROAD
CLOVIS, CA 93619

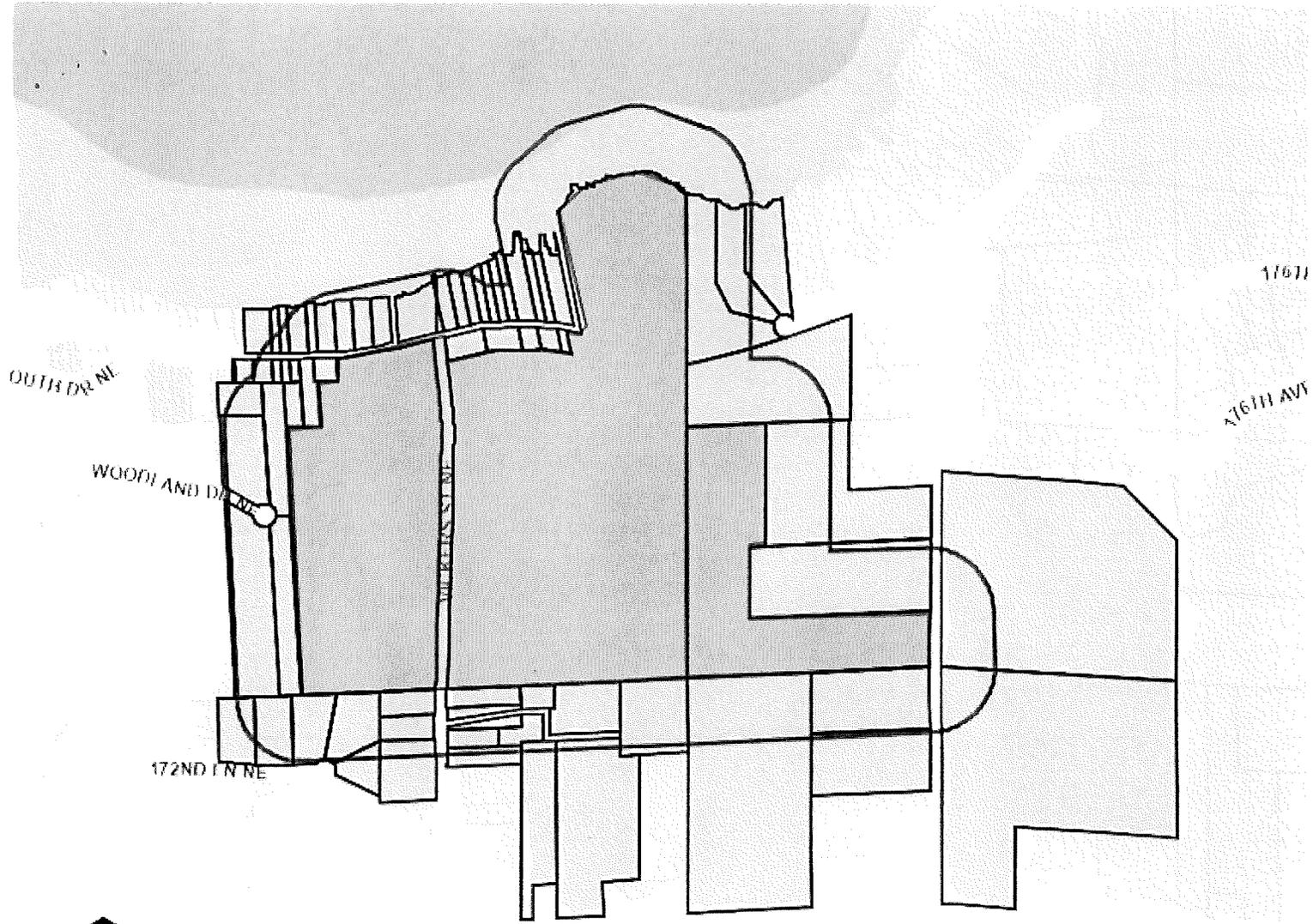
TJB LAND LLC
PIN: 02-32-23-42-0008
9100 BALTIMORE ST NE STE 102
BLAINE, MN 55449

WAWERS, CAROL
PIN: 11-32-23-21-0003
17256 VICKERS ST NE
HAM LAKE, MN 55304

ZWEIG, ZACHARY D
PIN: 02-32-23-31-0059
3658 INTERLACHEN DR NE
HAM LAKE, MN 55304

ALBRIGHT, BRIAN	PIN: 02-32-23-44-0004	17380 DURANT ST NE	HAM LAKE, MN 55304
ARONSON, BRIAN	PIN: 02-32-23-31-0061	3703 INTERLACHEN DR NE	HAM LAKE, MN 55304
ARONSON, CAITLIN	PIN: 02-32-23-42-0010	3859 INTERLACHEN DR NE	HAM LAKE, MN 55304
BERG STEVEN L & BONNIE M	PIN: 11-32-23-12-0024	3841 CROSSTOWN BLVD NE	HAM LAKE, MN 55304
BRUHN-DING, BARBARA J	PIN: 02-32-23-41-0017	4055 INTERLACHEN DR NE	HAM LAKE, MN 55304
COLBURN RICHARD H	PIN: 02-32-23-42-0024	3838 INTERLACHEN DR NE	HAM LAKE, MN 55304
CULLEN DAVID C	PIN: 02-32-23-42-0012	3873 INTERLACHEN DR NE	HAM LAKE, MN 55304
DAWSON, THOMAS J	PIN: 11-32-23-12-0030	17241 VICKERS ST NE	HAM LAKE, MN 55304
DREWS DANIEL	PIN: 02-32-23-31-0056	3648 INTERLACHEN DR NE	HAM LAKE, MN 55304
ERICKSON, ANDREA	PIN: 11-32-23-12-0007	3855 172ND LN NE	HAM LAKE, MN 55304
FIRST FIDUCIARY CORPORATION, TRUSTEE	PIN: 02-32-23-44-0005	4120 LEXINGTON WAY	EAGAN, MN 55123
GILBERT, JENNIFER	PIN: 02-32-23-41-0023	4015 INTERLACHEN DR NE	HAM LAKE, MN 55304
GRAVES, NICHOLAS GARRET	PIN: 02-32-23-42-0004	3833 INTERLACHEN DR NE	HAM LAKE, MN 55304
GREENER, TERRY N	PIN: 11-32-23-12-0002	17259 VICKERS ST NE	HAM LAKE, MN 55304
HALLBERG, DANIEL D	PIN: 02-32-23-42-0025	3753 INTERLACHEN DR NE	HAM LAKE, MN 55304
HENDERSON SANDRA N	PIN: 02-32-23-42-0027	3854 INTERLACHEN DR NE	HAM LAKE, MN 55304
HOFFMAN TRUSTEE, WARREN A	PIN: 01-32-23-33-0007	15740 LEXINGTON AVE NE	HAM LAKE, MN 55304
HOFFMANN COREY	PIN: 11-32-23-11-0011	17208 DURANT ST NE	HAM LAKE, MN 55304
HUEBSCHER, JAMI	PIN: 02-32-23-42-0028	3866 INTERLACHEN DR NE	HAM LAKE, MN 55304
HYLLE MARK A & CARLA J	PIN: 02-32-23-42-0006	3827 INTERLACHEN DR NE	HAM LAKE, MN 55304
JANET J DAUN LIVING TRUST	PIN: 02-32-23-34-0020	3631 WOODLAND DR NE	HAM LAKE, MN 55304
JOHANNES, RICHARD	PIN: 02-32-23-42-0009	3847 INTERLACHEN DR NE	HAM LAKE, MN 55304
JOHNSON, GAYLE M	PIN: 02-32-23-42-0023	3815 INTERLACHEN DR NE	HAM LAKE, MN 55304
KAROL RENAE	PIN: 02-32-23-31-0048	PO BOX 32025	MINNEAPOLIS, MN 55432
KOEHLER MICHAEL NEIL	PIN: 11-32-23-12-0005	17229 VICKERS ST NE	HAM LAKE, MN 55304
KRATZKE KARL	PIN: 11-32-23-21-0020	3719 172ND LN NE	HAM LAKE, MN 55304
KUNCHIER, JONATHAN MICHAEL	PIN: 11-32-23-12-0025	3929 CROSSTOWN BLVD NE	HAM LAKE, MN 55304
KUNSHIER WARREN E & CHERYL	PIN: 11-32-23-12-0023	3945 172ND LN NE	HAM LAKE, MN 55304
LEEbens ROBERT J & LORALEE A	PIN: 02-32-23-42-0022	3823 INTERLACHEN DR NE	HAM LAKE, MN 55304
LUSTHOFF WAYNE W & SANDRA L	PIN: 02-32-23-31-0013	3643 INTERLACHEN DR NE	HAM LAKE, MN 55304
MILLER, TARA H	PIN: 02-32-23-42-0011	3863 INTERLACHEN DR NE	ANOKA, MN 55304
NEUBERGER, JENNA K	PIN: 11-32-23-21-0021	3729 172ND LN NE	HAM LAKE, MN 55304
OLESEN, TIMOTHY S	PIN: 02-32-23-44-0003	17440 DURANT ST NE	HAM LAKE, MN 55304
OLSEN, TERRI L	PIN: 11-32-23-21-0022	3641 172ND LN NE	HAM LAKE, MN 55304
PECK, LEIGHTON L	PIN: 11-32-23-11-0010	17242 DURANT ST NE	HAM LAKE, MN 55304
PETERSON RANDY & KATHLEEN	PIN: 02-32-23-31-0010	3623 INTERLACHEN DR	HAM LAKE, MN 55304
PETRY, STEVEN J	PIN: 02-32-23-31-0012	3633 INTERLACHEN DR NE	HAM LAKE, MN 55304
RABE, BRIAN	PIN: 02-32-23-31-0014	3653 INTERLACHEN DR NE	HAM LAKE, MN 55304
RHEA CO	PIN: 02-32-23-31-0053	12590 SCHARBER ST	ROGERS, MN 55374

ROONEY JAMES H & LINDA	PIN: 11-32-23-21-0002	17246 VICKERS ST NE	HAM LAKE, MN 55304
ROSENCRANTZ, SHERI L & TODD	PIN: 02-32-23-31-0054	3612 INTERLACHEN DR NE	HAM LAKE, MN 55304
RUUD, SHERRIE	PIN: 02-32-23-31-0050	3805 INTERLACHEN DR NE	HAM LAKE, MN 55304
SANFT CARLY	PIN: 11-32-23-12-0010	3905 172ND LN NE	HAM LAKE, MN 55304
SCHARBER TRUSTEE JENNIFER SUE	PIN: 02-32-23-31-0051	8585 YELLOWSTONE LN N	MAPLE GROVE, MN 55311
SCHMIDTZ, ALLEN J	PIN: 02-32-23-42-0001	3820 INTERLACHEN DR NE	HAM LAKE, MN 55304
SCHULTZ, PAUL	PIN: 02-32-23-41-0001	4110 INTERLACHEN DR NE	ANDOVER, MN 55304
SCHWARTZ, JUDY J	PIN: 11-32-23-21-0006	17220 VICKERS ST NE	HAM LAKE, MN 55304
SMITH DAVID L	PIN: 11-32-23-12-0029	3850 172ND LN NE	HAM LAKE, MN 55304
SMITH, JONAH S	PIN: 02-32-23-34-0021	3621 WOODLAND DR NE	HAM LAKE, MN 55304
SPINLER, PAUL W	PIN: 11-32-23-21-0024	3621 172ND LN NE	ANDOVER, MN 55304
STADLER SEAN	PIN: 02-32-23-31-0058	3637 INTERLACHEN DR NE	HAM LAKE, MN 55304
STEUCK, RICHARD G	PIN: 02-32-23-34-0019	3636 WOODLAND DR NE	HAM LAKE, MN 55304
STONE BRADLEY D & JENNIFER A	PIN: 02-32-23-41-0016	4033 INTERLACHEN DR NE	HAM LAKE, MN 55304
TAIT, LAURA	PIN: 11-32-23-21-0023	3631 172ND LN NE	HAM LAKE, MN 55304
THOMPSON, JERRY GENE	PIN: 11-32-23-11-0003	21229 TOLLHOUSE ROAD	CLOVIS, CA 93619
TJB LAND LLC	PIN: 02-32-23-42-0008	9100 BALTIMORE ST NE STE 102	BLAINE, MN 55449
WAWERS, CAROL	PIN: 11-32-23-21-0003	17256 VICKERS ST NE	HAM LAKE, MN 55304
ZWEIG, ZACHARY D	PIN: 02-32-23-31-0059	3658 INTERLACHEN DR NE	HAM LAKE, MN 55304



OUTH DR NE

WOODY AND DR NE

172ND LN NE

CROSTOWN BLVD NE

176TH AVE



70TH LN NE

Memorandum

Date: March 17, 2026
To: Planning Commissioners
From: David A. Krugler, City Engineer 
Subject: South Shore Estates Second Addition

Introduction:

The Preliminary Plat, Grading, Erosion Control and Tree Protection Plan, Livability Plan, Livability Chart, Boardwalk and Dock Exhibit, Plan/Profile, Intersection Details, SWPPP, Soil Amendment Plan, Details, Stormwater Drainage Plan, and storm sewer sizing calculations were received on March 3rd for the proposed 40 lot residential development located on 105.51 acres of parcels South Shores Estates Lot 1 of Block 1, Lot 2 of Block 2, and 02-32-23-44-0005.

The Second Addition is a portion of the overall South Shore Estates plan that received Sketch Plan approval at the May 5, 2025 City Council meeting. The parcels are currently zoned Rural Single Family Residential (R-A) and are proposed to be rezoned to R-1. All of the prior review comments have been addressed. A 600-scale aerial photo, 400-scale half-section maps and a 600-scale zoning map are attached.

Discussion:

The northerly portion of the development fronts on Coon Lake, which is classified as a General Development Lake under the City's Shoreland Ordinance 92-35. The proposed structures and septic system areas meet the minimum setback requirements from the Ordinary High Water Level (OHWL).

The submitted Site Landscape Plan does not indicate any clearing of vegetation within the shore impact zone that would reduce vegetative screening from the lake. Based on the information provided, the existing vegetation along the shoreline will remain intact. Therefore, no additional shoreline screening or tree planting requirements are recommended, as the proposal complies with the vegetation preservation standards of Shoreland Ordinance 92-35.

Two outlots are shown in the eastern portion of the proposed development. The 6.83-acre Outlot A is to be combined with the adjacent 02-32-23-44-0004 or 11-32-23-11-0010 to the south. The 22,495 square foot Outlot B is to be combined with the adjacent 02-32-23-41-0001 or 02-32-23-44-0003 parcels. The Development Agreement will include the conveyance of the outlots to the adjacent properties prior to any building permits being issued.

The developer proposes to retain the existing 3,000 square foot accessory building on Lot 23 of Block 1 following demolition of the existing dwelling. Under Section 9-370.6 of City Code, accessory buildings are permitted only as an accessory to a principal residential use within R-1 zoning. Upon demolition of the existing dwelling, the structure will temporarily become non-

compliant until a new principal dwelling is constructed. The Development Agreement shall include provisions addressing this condition as follows:

1. The existing 3,000 square foot accessory building may remain on the lot following demolition of the existing dwelling for the limited purpose of accessory residential storage.
2. A building permit for a new principal dwelling shall be obtained after the demolition of the existing dwelling, and construction of the dwelling shall proceed consistent with City permitting requirements within a reasonable amount of time as determined by City staff but no longer than 36 months.
3. If a building permit for a new principal dwelling is not obtained within the specified timeframe, the accessory building shall be removed.
4. To guarantee compliance with this requirement, the developer shall provide a financial security (letter of credit, cash escrow, or other form acceptable to the City) in an amount sufficient to cover the cost of demolition and removal of the accessory building and site restoration, as determined by the City Engineer.
5. The financial security shall remain in place until a certificate of occupancy is issued for the new principal dwelling, at which time the accessory building will again be considered compliant as an accessory structure.

An Encroachment Agreement will be required for Lot 21 of Block 1 due to the septic lines crossing the drainage and utility easement. Additionally, a separate Encroachment Agreement will be required for the proposed shared dock access on Lot 23 of Block 1, which is located within a drainage and utility easement to allow Public Works access to the borrow pond outlet, the designated City maintenance access point. Parkland dedication of \$2,500 per lot is required per the original sketch plan approval for the site.

The Braun Intertec Revised Summary of Water Level Readings and Lowest Floor Slab Recommendations that was received February 13th adequately addressed prior review comments. The March 2nd Tradewell letter certifies that each of the proposed lots will support two standard septic systems in accordance with Minnesota Rules 7080.

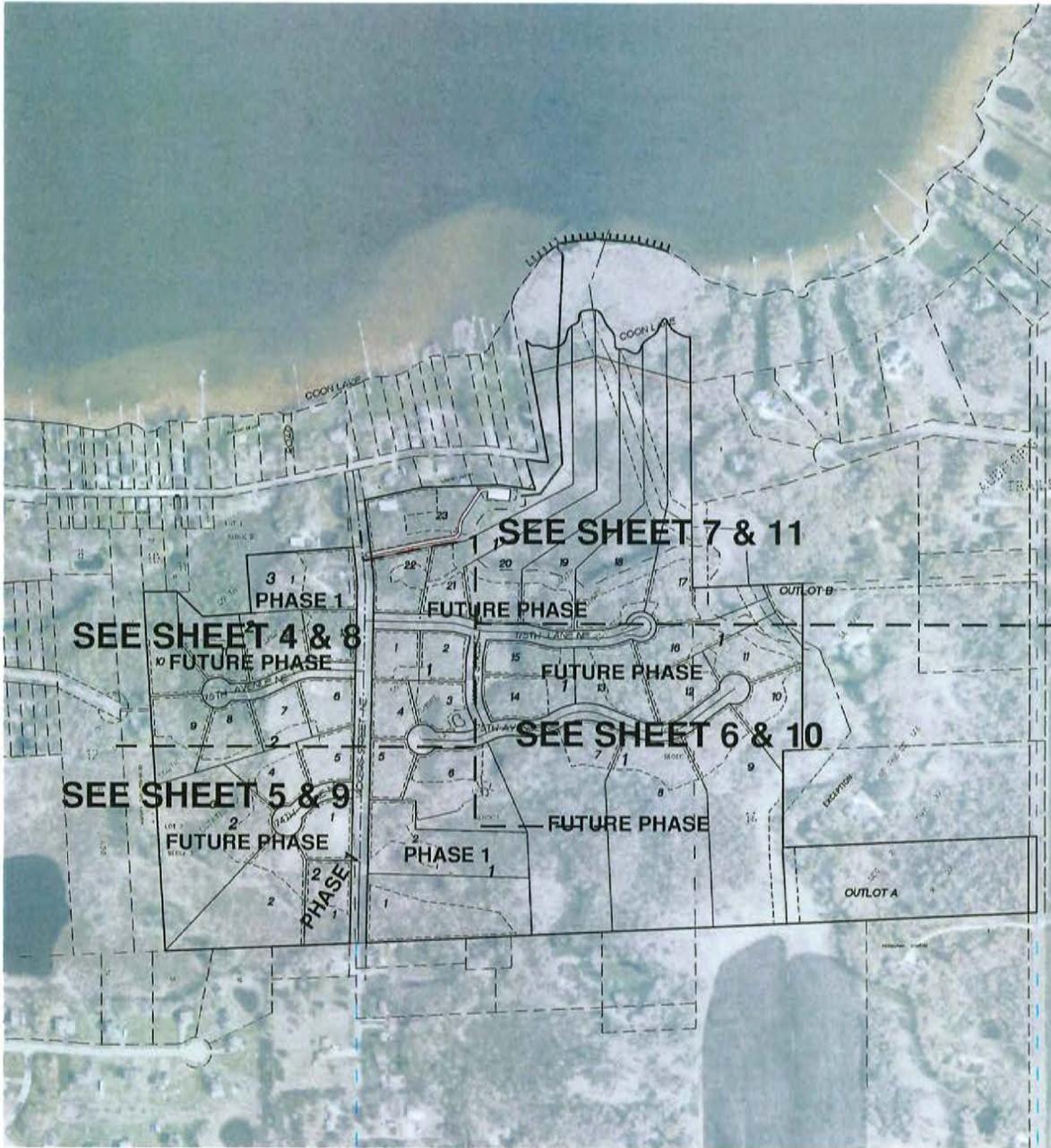
The north portion of the development is located within the Sunrise River Watershed Management Organization (SRWMO). The wetland buffers and easements provided meet the requirements of the SRWMO and Coon Creek Watershed District (CCWD) of the wetlands. The Plans show grading within wetland buffers. The SRWMO requires that any areas where vegetation is removed in the buffer area during construction must be reseeded with a native seed mix, and the applicant is responsible for maintenance or reseeded for 3 years through a legally enforceable agreement with the City. Enforcement will be incorporated in the Development Agreement for the grading proposed by the Developer and in the Short Form Development Agreement. The CCWD conditionally approved the development at the March 9th Board of Managers meeting.

Recommendations:

It is recommended that the Preliminary Plat of South Shore Estates Second Addition be recommended for approval to the City Council.

TITLE SHEET

~of~ SOUTH SHORE ESTATES SECOND ADDITION
 ~for~ MN DEVELOPMENTS, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471



SHEET INDEX

T1	TITLE SHEET
2-3	PRELIMINARY PLAT
4-7	GRADING PLAN
8-11	LIVABILITY PLAN
12-14	LIVABILITY CHART
15	BOARDWALK AND DOCK EXHIBIT

POLOWE
 ENGINEERING, INC.
 8718 LAKE DRIVE
 SUITE 112
 LINO LAKES, MN 55314
 PHONE: (651) 281-8210
 FAX: (651) 281-8701
 SITE PLANNING & ENGINEERING
 I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

 ADAM ORMEL
 DATE: 03.03.2028 LIC. NO. 43393

E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701
 www.egrud.com



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. BLOD
 Date: 02/03/2026 License No. 41578

REVISION	NO.	DATE	BY	REASON
1	02/03/26	02/03/26	JEB	ISSUE FOR PERMITS
2	02/03/26	02/03/26	JEB	REVISIONS
3	02/03/26	02/03/26	JEB	REVISIONS
4	02/03/26	02/03/26	JEB	REVISIONS
5	02/03/26	02/03/26	JEB	REVISIONS
6	02/03/26	02/03/26	JEB	REVISIONS

PRELIMINARY PLAT

~of~ SOUTH SHORE ESTATES SECOND ADDITION
 ~for~ MN DEVELOPMENTS, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

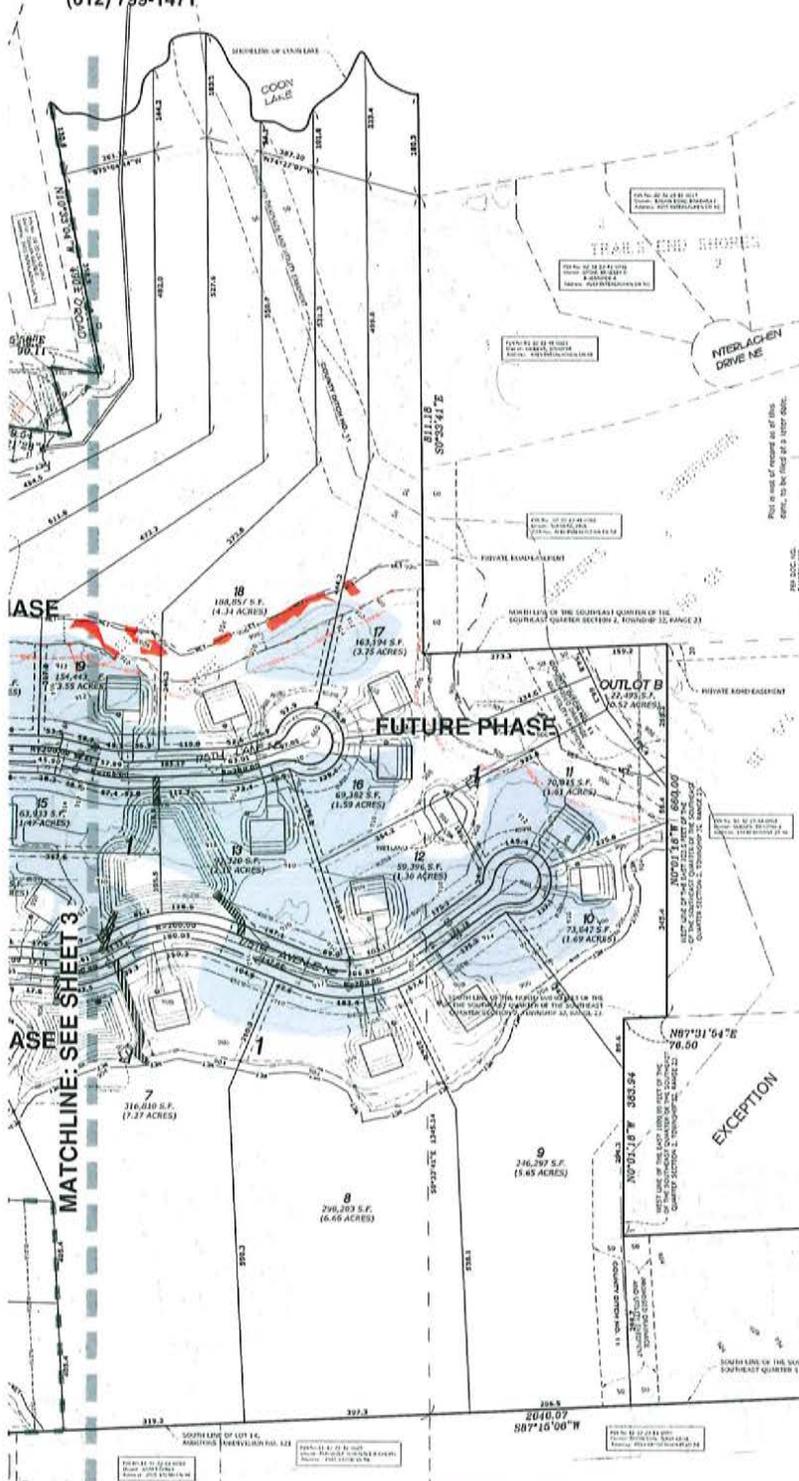
VICINITY MAP

PART OF SEC. 2, TWP. 32, RNG. 23



ANOKA COUNTY, MINNESOTA
 (NO SCALE)

NORTH



PROPERTY DESCRIPTION

Lot 1, Block 1 and Lot 2, Block 2, SOUTH SHORE ESTATES, Anoka County, Minnesota

AND

The SE 1/4 of SE 1/4 has the North 660 feet of the East 923.5 feet as measured along the North and East lines of the SE 1/4 of the SE 1/4 Section 2, Township 32, Range 23

AND

A private road measured over the North 33 feet of the East 923.5 feet as measured along the North line of the SE 1/4 of SE 1/4 Section 2, Township 32, Range 23.

AND

A private road measured over the West 49 feet of Wascally 930 feet of Government Lot 1, lying South of that part of said Government Lot or plot of Oakleaf Shores, Township 32, Range 23.

EXCEPT

That part of the East 1008.00 feet of the Southeast Quarter of the Southeast Quarter of Section 2, Township 32, Range 23, Anoka County, Minnesota as indicated along the North line thereof, lying South of the North 660.00 feet thereof, as measured along the East line thereof, and lying North of the South 202.00 feet thereof, as measured along the East line thereof, Anoka County, Minnesota.

SITE PHASING NOTES

THE DEVELOPER INTENDS TO APPLY FOR PRELIMINARY PLAT APPROVAL ON THE ENTIRE SITE, AND THEN APPLY FOR FINAL PLAT APPROVAL IN PHASES FOLLOWING PRELIMINARY PLAT APPROVAL. THE PRELIMINARY PLAT WILL COINCIDE WITH THE FINAL PLAT APPROVAL OF SOUTH SHORE ESTATES. THE PLAT OF SOUTH SHORE ESTATES IS A NECESSARY PLAT TO SUBDIVIDE THE PARCEL, SO THE DEVELOPER CAN PURCHASE THE UNDERLYING PARCELS.

DEVELOPMENT DATA

TOTAL SITE AREA = 105.514 ACRES
 OUTLOT AREA = 7.264 ACRES
 48 PROPOSED SINGLE FAMILY LOTS
 AVERAGE LOT SIZE = 2.45 ACRES
 HIBURN STREET FRONTAGE = 200 FEET
 HIBURN LOT SIZE = 1.00 ACRES (INCLUDING HALF OF STREET ROW)
 PROPOSED ZONING = R-1
 BUILDING SETBACKS FRONT = 30 FEET
 SIDE = 10 FEET
 REAR = 50 FEET
 COUNTY ROAD = 50 FEET

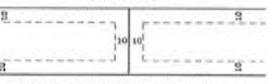
NOTES

- Developer is requesting a variance for a 50' building setback from Cook Lake Center, on Lot 11, and Lake 18-21, Block 1
- Bearings shown are on Anoka County datum.
- Parcel ID Numbers: 02-32-23-04-0010
02-32-23-04-0000
02-32-23-04-0005
- Site Address: 3740 INTERLACHEN DR NE 17529 WHEELERS ST NE UNINCORPORATED
- OWNERS: First Federalcy Corporation
Daniel D. Hillberg
Robert Hillberg
Christophe Hillberg
Jessica Cook
Good Old Memories, LLC

LEGEND

- DENOTES LINDAR CONTOURS (2' INTERVAL)
- DENOTES BUILDING SETBACK LINE
- DENOTES BUILDING SETBACK LINE TO COOK LAKE
- DENOTES WETLAND LINE DELINEATED BY KANHAUS ENVIRONMENTAL SERVICES INC.
- DENOTES WETLAND BUFFER LINE
- DENOTES RARE SPECIES VEGETATIVE BUFFER
- DENOTES PHASE LINE
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)
- DENOTES AREA 1* ABOVE HOTLED SOILS

TYPICAL EASEMENTS (NOT TO SCALE)



BEING 30 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS OTHERWISE SHOWN.

GRAPHIC SCALE



1 INCH = 100 FEET

NO.	DATE	DESCRIPTION	BY
1	10/20/25	DRAWN OR REVISED	EPD
2	11/24/25	CITY ENGINEER COMMENTS	EPD
3	11/24/25	CITY ENGINEER COMMENTS	EPD
4	12/11/25	CITY COMPLETION CERTIFICATE	EPD
5	01/06/26	CITY COMMENTS	EPD
7/1	DATE	DESCRIPTION	BY

E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-6701

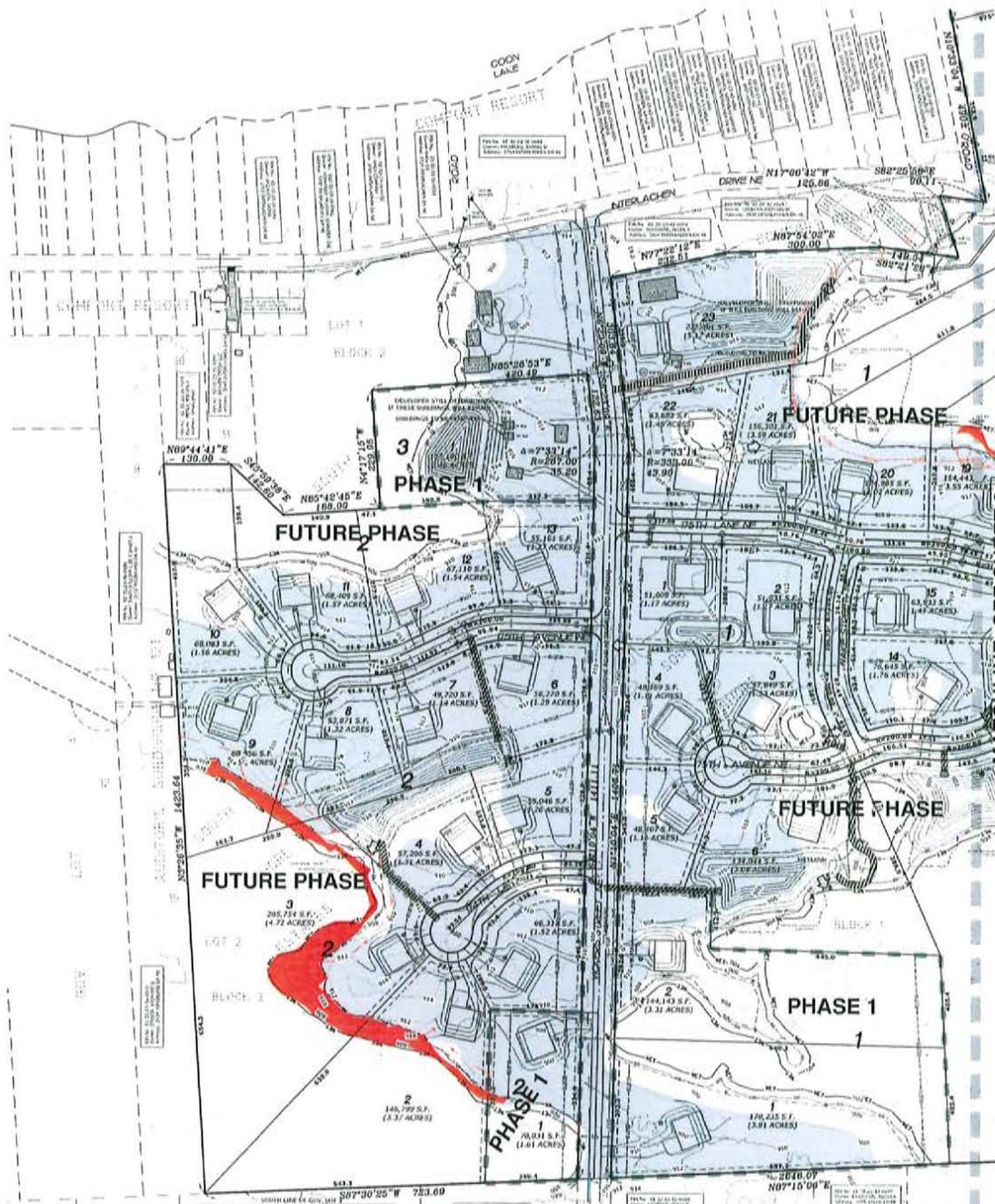
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON L. RUD
 Date: 03/03/2026 License No. 41578

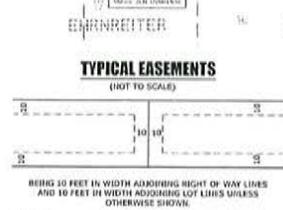
PRELIMINARY PLAT

~of~ SOUTH SHORE ESTATES SECOND ADDITION
 ~for~ MN DEVELOPMENTS, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

NORTH



MATCHLINE: SEE SHEET 2



SITE PHASING NOTES

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NOTES

- Developer is requesting a variance for a 50' building setback from Coon Lake Drive, lot 11, and Lot 10-21, Block 1.
- Bearings shown are in Anoka County datum.
- Parcel ID Numbers: 02-22-23-34-0018, 02-22-23-34-0003, 02-22-23-44-0005
- Site Address: 3740 INTERLACHEN DR NE 17029 VICIERS ST NE UNDEVELOPED

DEVELOPMENT DATA

TOTAL SITE AREA = 105.514 ACRES
 OUTLOT AREA = 7.354 ACRES
 40 PROPOSED SINGLE FAMILY LOTS
 AVERAGE LOT SIZE = 2.45 ACRES
 MINIMUM STREET FRONTAGE = 200 FEET
 MINIMUM LOT SIZE = 1.00 ACRES (INCLUDING HALF OF STREET ROW)
 PROPOSED ZONING = R-1
 BUILDING SETBACKS:
 FRONT = 30 FEET
 SIDE = 10 FEET
 REAR = 50 FEET
 COUNTY ROAD = 50 FEET

LEGEND

- DENOTES LIDAR CONTOURS (2' INTERVAL)
- DENOTES BUILDING SETBACK LINE
- DENOTES BUILDING SETBACK LINE TO COON LAKE
- DENOTES WETLAND LINE DELINEATED BY KROEMER REVERENDENTIAL SERVICES, INC.
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- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)
- DENOTES AREA 1' ABOVE HOTTLED SOILS

GRAPHIC SCALE
 1 INCH = 100 FEET

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. JUK
 Date: 02/13/2025 License No. 41578

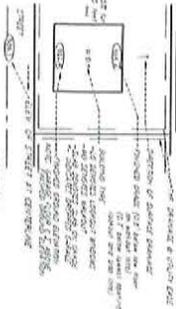
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OWNER BY	FILED	FOR NO.	DATE	CITY	RECORDS
1	JUK	2025	02/13	ANDOVER	110
2	JUK	2025	02/13	ANDOVER	110
3	JUK	2025	02/13	ANDOVER	110
4	JUK	2025	02/13	ANDOVER	110
5	JUK	2025	02/13	ANDOVER	110
6	JUK	2025	02/13	ANDOVER	110

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

-of- SOUTH SHORE ESTATES SECOND ADDITION
 -for- MN DEVELOPMENTS, LLC
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

TYPICAL LOT



LEGEND

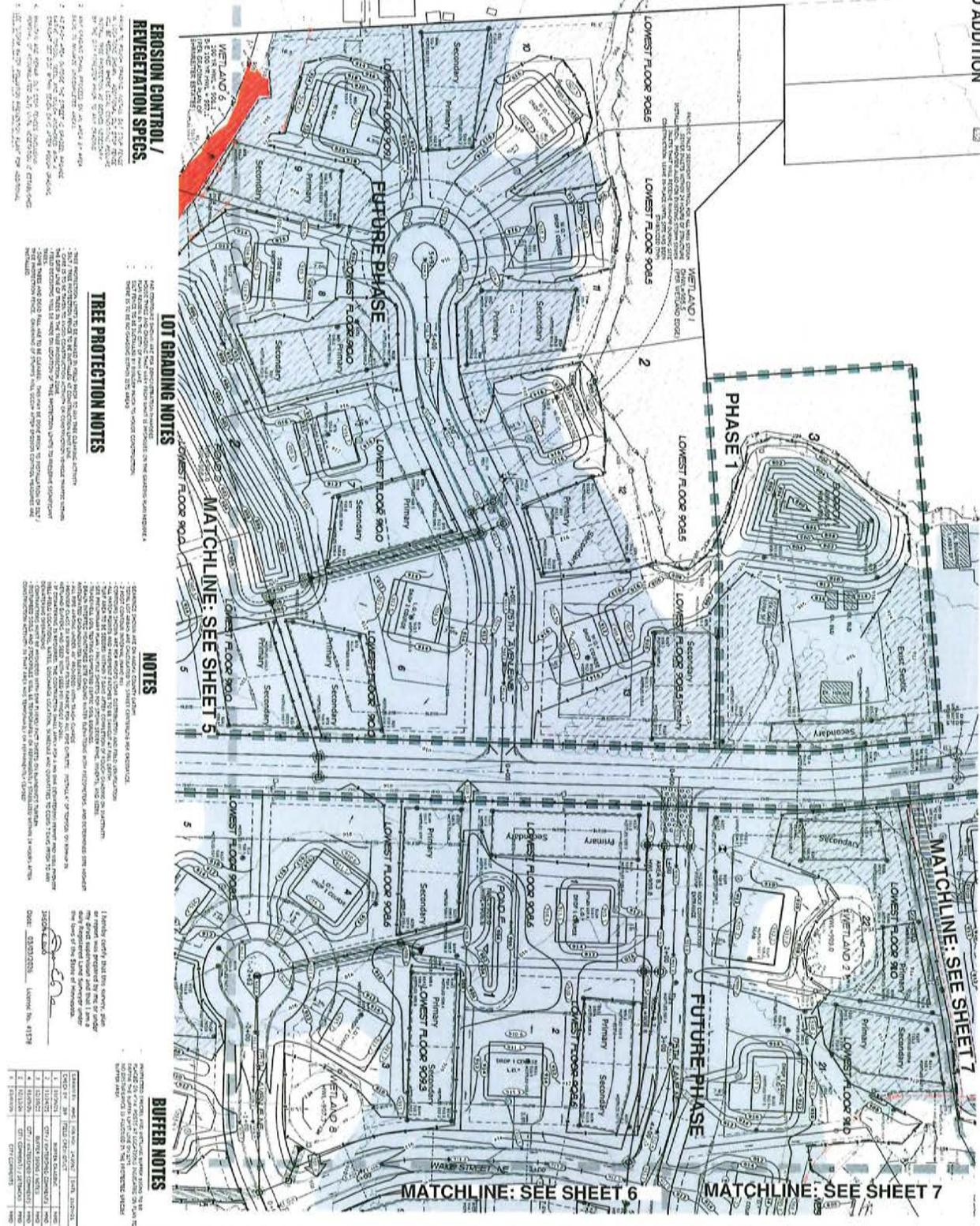
- 1. SLOPES SHALL BE MAINTAINED AS NEARLY AS POSSIBLE TO ORIGINAL GRADE.
- 2. SLOPES SHALL BE MAINTAINED AS NEARLY AS POSSIBLE TO ORIGINAL GRADE.
- 3. SLOPES SHALL BE MAINTAINED AS NEARLY AS POSSIBLE TO ORIGINAL GRADE.
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- 18. SLOPES SHALL BE MAINTAINED AS NEARLY AS POSSIBLE TO ORIGINAL GRADE.
- 19. SLOPES SHALL BE MAINTAINED AS NEARLY AS POSSIBLE TO ORIGINAL GRADE.
- 20. SLOPES SHALL BE MAINTAINED AS NEARLY AS POSSIBLE TO ORIGINAL GRADE.

PLOWE
 ENGINEERING, INC.
 1100 W. WASHINGTON AVE.
 SUITE 100
 LINO LAKES, MN 55014
 PHONE: (612) 251-1100
 FAX: (612) 251-1101
 WWW.PLOWEENGINEERING.COM

ADDITIONAL NOTES:
 1. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO OBVIOUS EROSION CONTROL MEASURES.
 2. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO OBVIOUS EROSION CONTROL MEASURES.
 3. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO OBVIOUS EROSION CONTROL MEASURES.
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 11. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO OBVIOUS EROSION CONTROL MEASURES.
 12. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO OBVIOUS EROSION CONTROL MEASURES.
 13. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO OBVIOUS EROSION CONTROL MEASURES.
 14. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO OBVIOUS EROSION CONTROL MEASURES.
 15. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO OBVIOUS EROSION CONTROL MEASURES.
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 18. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO OBVIOUS EROSION CONTROL MEASURES.
 19. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO OBVIOUS EROSION CONTROL MEASURES.
 20. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO OBVIOUS EROSION CONTROL MEASURES.



E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 TEL: (651) 581-4001 FAX: (651) 581-4771
 www.egrud.com



EROSION CONTROL / REVEGETATION SPECS.

1. EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
2. REVEGETATION SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
3. EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
4. REVEGETATION SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
5. EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
6. REVEGETATION SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
7. EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
8. REVEGETATION SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
9. EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
10. REVEGETATION SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.

TREE PROTECTION NOTES

1. ALL TREES TO BE PROTECTED SHALL BE IDENTIFIED AND MARKED WITH RED PAINT OR RED FLAG.
2. ALL TREES TO BE PROTECTED SHALL BE IDENTIFIED AND MARKED WITH RED PAINT OR RED FLAG.
3. ALL TREES TO BE PROTECTED SHALL BE IDENTIFIED AND MARKED WITH RED PAINT OR RED FLAG.
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9. ALL TREES TO BE PROTECTED SHALL BE IDENTIFIED AND MARKED WITH RED PAINT OR RED FLAG.
10. ALL TREES TO BE PROTECTED SHALL BE IDENTIFIED AND MARKED WITH RED PAINT OR RED FLAG.

NOTES

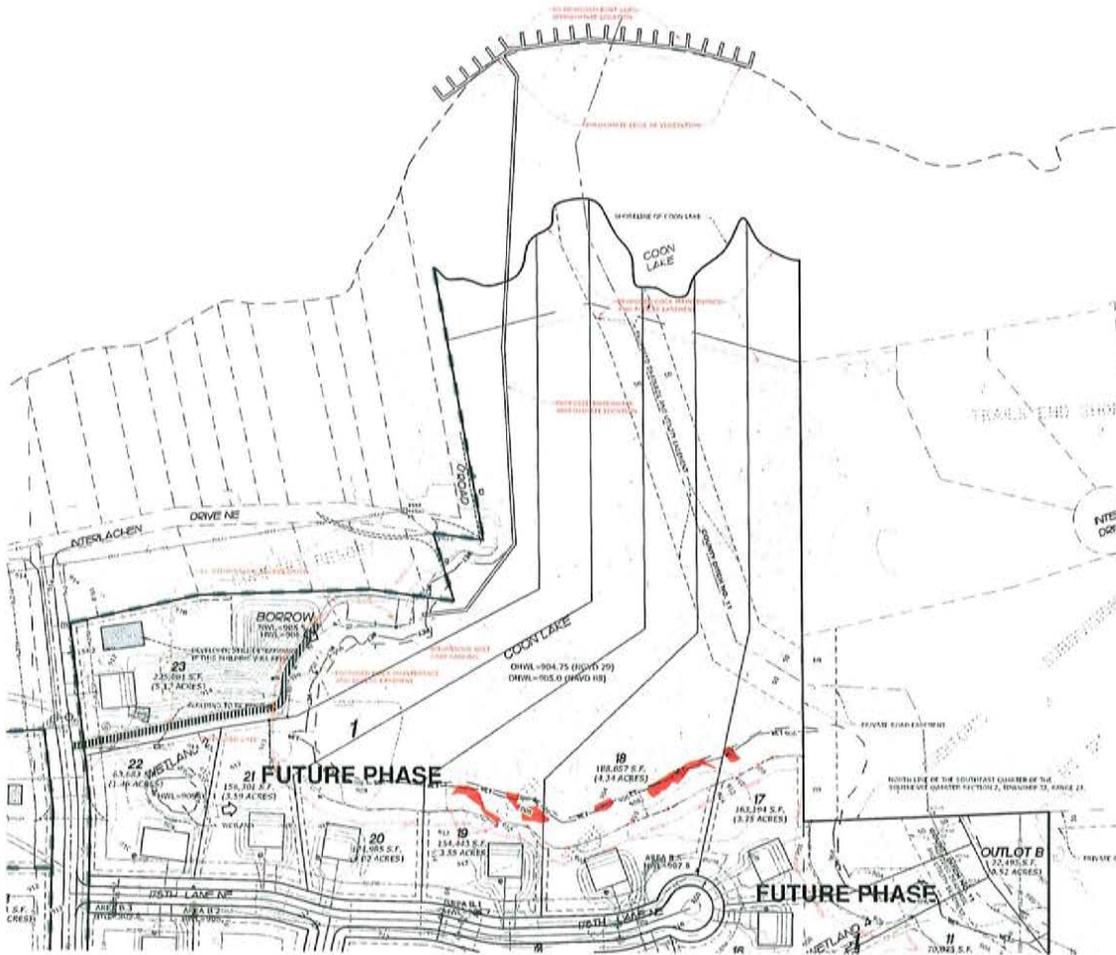
1. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO OBVIOUS EROSION CONTROL MEASURES.
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10. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO OBVIOUS EROSION CONTROL MEASURES.

BUFFER NOTES

NO.	DESCRIPTION	DATE
1	1. BUFFER NOTES	01/15/2011
2	2. BUFFER NOTES	01/15/2011
3	3. BUFFER NOTES	01/15/2011
4	4. BUFFER NOTES	01/15/2011
5	5. BUFFER NOTES	01/15/2011
6	6. BUFFER NOTES	01/15/2011
7	7. BUFFER NOTES	01/15/2011
8	8. BUFFER NOTES	01/15/2011
9	9. BUFFER NOTES	01/15/2011
10	10. BUFFER NOTES	01/15/2011

BOARDWALK AND DOCK EXHIBIT

~of~ SOUTH SHORE ESTATES SECOND ADDITION
 ~for~ MN DEVELOPMENTS, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471



TYPICAL EASEMENTS

(NOT TO SCALE)



BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES
 AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS
 OTHERWISE SHOWN

SITE PHASING NOTES

THE DEVELOPER INTENDS TO APPLY FOR PRELIMINARY FLAT APPROVAL ON THE ENTIRE SITE, AND THEN APPLY FOR FINAL FLAT APPROVAL IN PHASES FOLLOWING PRELIMINARY FLAT APPROVAL. THE PRELIMINARY FLAT WILL CORRELATE WITH THE FINAL FLAT APPROVAL OF SOUTH SHORE ESTATES. THE FLAT OF SOUTH SHORE ESTATES IS A NECESSARY FLAT TO SHOW/REVEAL THE PARCEL, SO THE DEVELOPER CAN PURCHASE THE ADJOINING PARCELS.

NOTES

- Bookings shown are on Anoka County status.
- Parcel ID Numbers: 02-33-23-34-0018
02-33-23-43-0003
02-33-23-44-0005
- Site Address: 3748 INTERLACHEN DR NE
17529 VICKERS ST NE
UNASSIGNED
- OWNERS: First Fabrikatory Corporation
Daniel B. Ellberg
Robert Holberg
Christopher Hallberg
Jessica Cook
Grand Oaks Remains, LLC

DEVELOPMENT DATA

TOTAL SITE AREA = 105.514 ACRES
 OUTLOT AREA = 0.358 ACRES
 48 PROPOSED SINGLE FAMILY LOTS
 AVERAGE LOT SIZE = 2.45 ACRES
 HIGHWAY STREET FRONTAGE = 210 FEET
 HIGHWAY LOT SIZE = 1.06 ACRES (INCLUDING HALF OF STREET ROW)
 PROPOSED ZONING = R-1
 RUBBERING SPACINGS:
 FRONT = 30 FEET
 SIDE = 10 FEET
 REAR = 30 FEET
 COUNTRY FRONT = 50 FEET

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. BLO

DATE: 03/03/2025 LICENSE NO. 41578

LEGEND

- DENOTES LIDAR CONTOURS (2' INTERVAL)
- DENOTES BUILDING SETBACK LINE
- DENOTES WETLAND LINE DELINEATED BY BIOSOLING ENVIRONMENTAL SERVICES INC.
- DENOTES WETLAND BUFFER LINE
- DENOTES PHASE LINE

GRAPHIC SCALE



1 INCH = 100 FEET

DATE	BY	FOR NO.	SCALE	DATE	BY
03/03/25	JEB	17529 VICKERS ST NE	1"=100'	03/03/25	JEB
03/03/25	JEB	17529 VICKERS ST NE	1"=100'	03/03/25	JEB
03/03/25	JEB	17529 VICKERS ST NE	1"=100'	03/03/25	JEB
03/03/25	JEB	17529 VICKERS ST NE	1"=100'	03/03/25	JEB
03/03/25	JEB	17529 VICKERS ST NE	1"=100'	03/03/25	JEB
03/03/25	JEB	17529 VICKERS ST NE	1"=100'	03/03/25	JEB
03/03/25	JEB	17529 VICKERS ST NE	1"=100'	03/03/25	JEB
03/03/25	JEB	17529 VICKERS ST NE	1"=100'	03/03/25	JEB
03/03/25	JEB	17529 VICKERS ST NE	1"=100'	03/03/25	JEB

E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

- ### GENERAL NOTES
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE.
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 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE.
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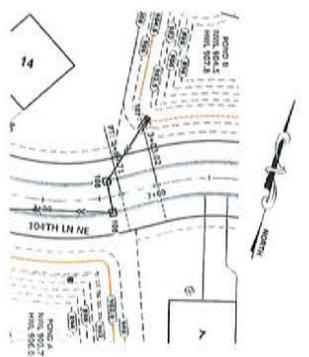
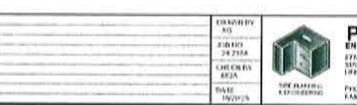
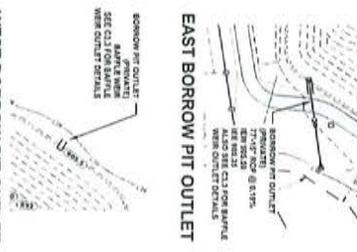
- ### STORM SEWER NOTES
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE.
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 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE.

- ### CURB & BITUMINOUS NOTES
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE.
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STRUCTURE SCHEDULE

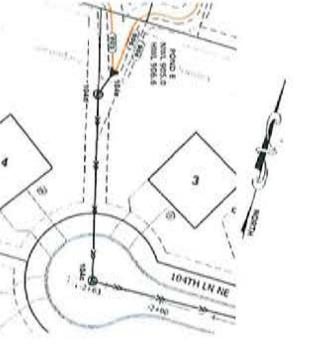
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202	36" DIA.	NEENAH B-3007-V	202	36" DIA.	NEENAH B-3007-V
203	36" DIA.	NEENAH B-3007-V	203	36" DIA.	NEENAH B-3007-V
204	36" DIA.	NEENAH B-3007-V	204	36" DIA.	NEENAH B-3007-V
205	36" DIA.	NEENAH B-3007-V	205	36" DIA.	NEENAH B-3007-V
206	36" DIA.	NEENAH B-3007-V	206	36" DIA.	NEENAH B-3007-V
207	36" DIA.	NEENAH B-3007-V	207	36" DIA.	NEENAH B-3007-V
208	36" DIA.	NEENAH B-3007-V	208	36" DIA.	NEENAH B-3007-V
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210	36" DIA.	NEENAH B-3007-V	210	36" DIA.	NEENAH B-3007-V
211	36" DIA.	NEENAH B-3007-V	211	36" DIA.	NEENAH B-3007-V
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219	36" DIA.	NEENAH B-3007-V	219	36" DIA.	NEENAH B-3007-V
220	36" DIA.	NEENAH B-3007-V	220	36" DIA.	NEENAH B-3007-V



107 - 105

Horz. Scale: 1"=50'
Vert. Scale: 1"=5'

925	925
920	920
915	915
910	910
905	905
900	900
895	895



104a - 104c

Horz. Scale: 1"=50'
Vert. Scale: 1"=5'

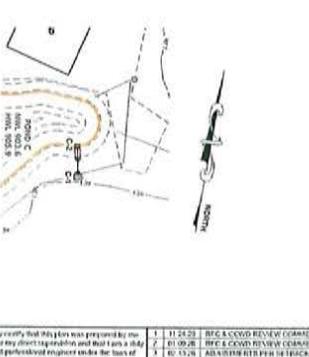
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915	915
910	910
905	905
900	900
895	895



Pond A Outlet

Horz. Scale: 1"=50'
Vert. Scale: 1"=5'

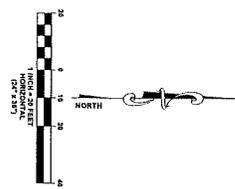
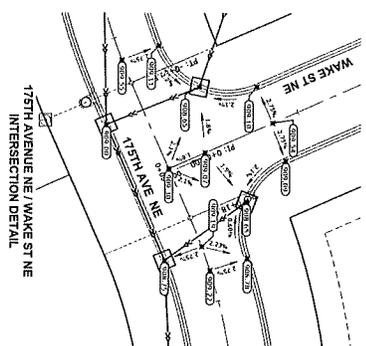
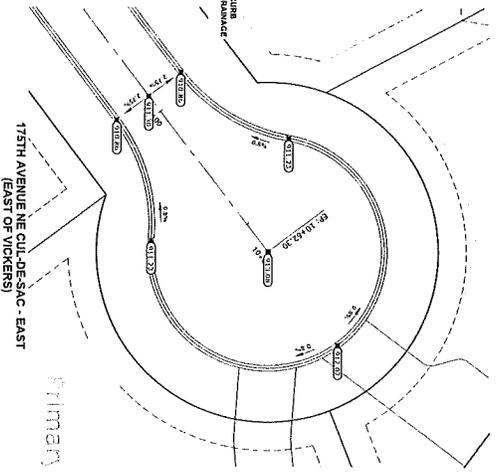
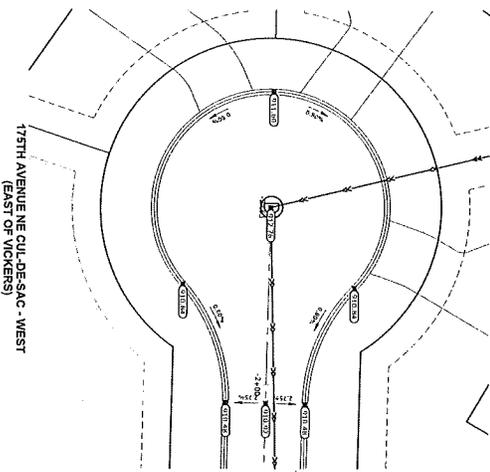
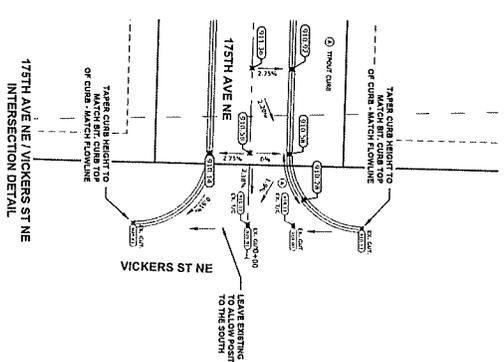
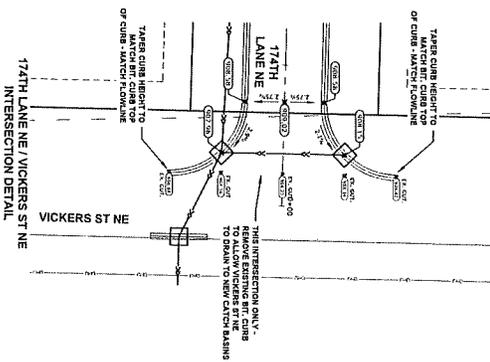
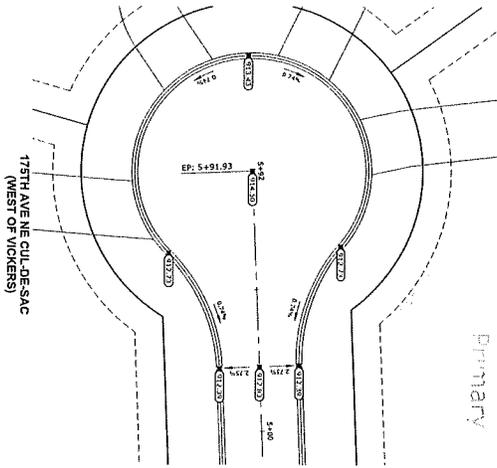
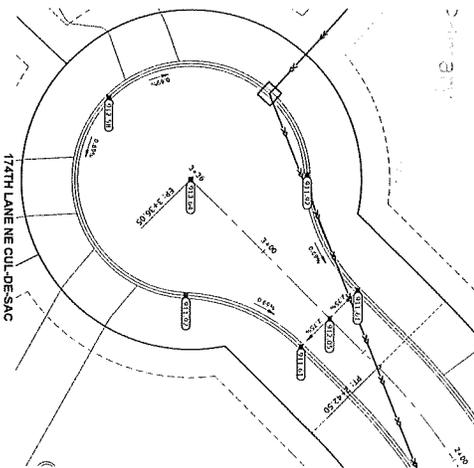
920	920
915	915
910	910
905	905
900	900
895	895
890	890



Pond C Outlet

Horz. Scale: 1"=50'
Vert. Scale: 1"=5'

920	920
915	915
910	910
905	905
900	900
895	895
890	890



SOUTH SHORE ESTATES SECOND ADDITION
HAM LAKE, MN
INTERSECTION DETAILS
PREPARED FOR: MN DEVELOPMENTS, LLC

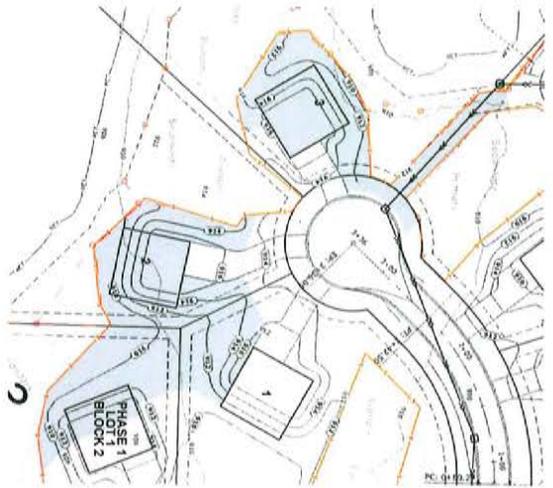
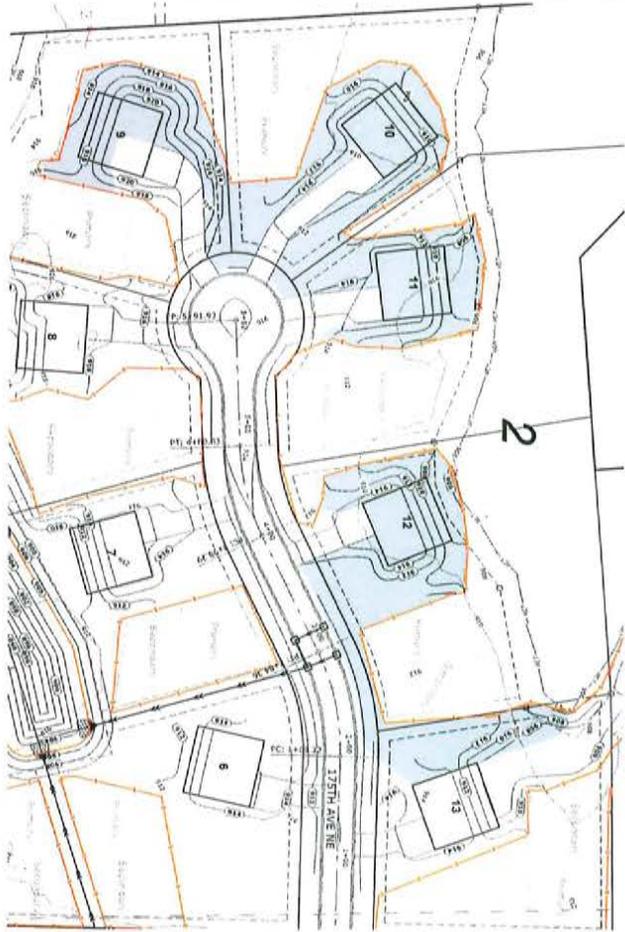
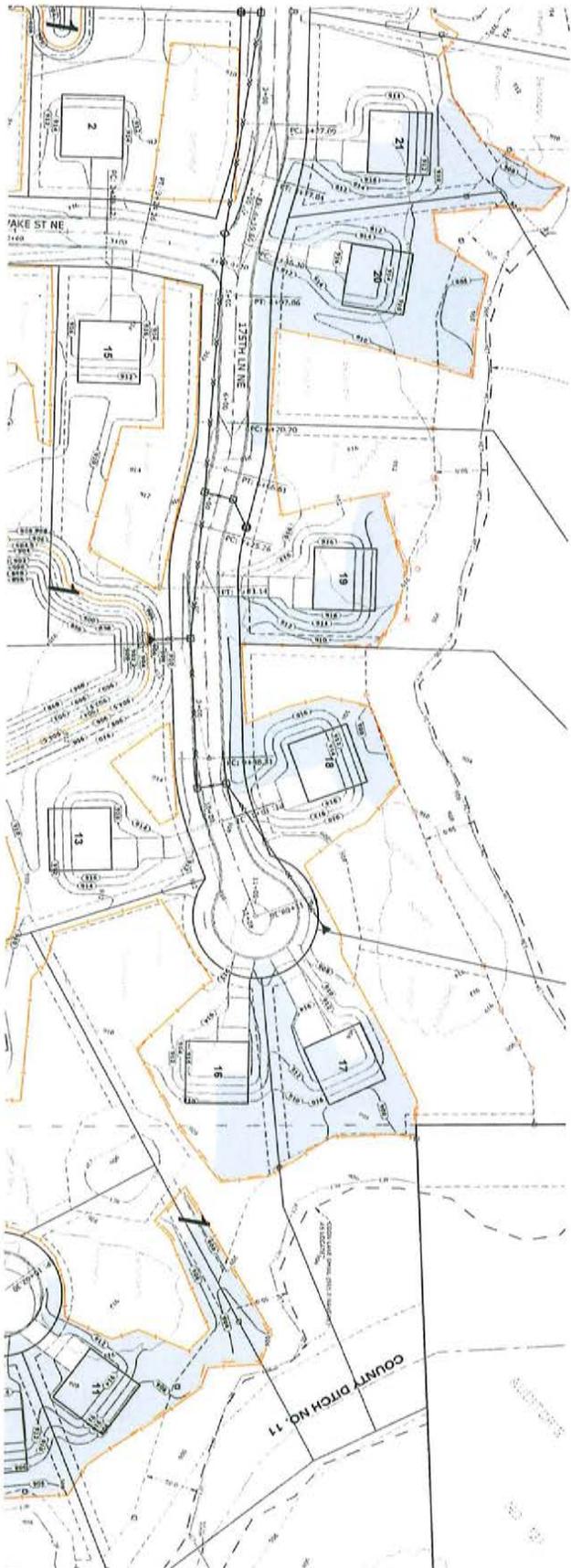
I hereby certify that this plan was prepared by me or under my direct supervision and that on a daily basis I am a duly licensed professional engineer under the laws of the State of Minnesota.
PRELIMINARY
ADAM GORVIE
Data: 03/03/2006 License No: 43003

1	11/24/25	RFD & CCWJ REVISED COMMENTS
2	01/26/26	REC & CORRECTIVE BY COMMENTS #2
3		
4		
5		
6		
7		
8		
9		
10	DATE	RFD/CCWJ/ADG

DRAWN BY: JAC
JOB NO: 74284
CHECKED BY: JAC
DATE: 10/20/25

PLOWE ENGINEERING, INC.
8701 AVE DRIVE
SUITE 100
LINO LAKE, MN 55554
PHONE: (651) 587-8210
FAX: (651) 581-8101

C1.6



2



- CMWD SOIL AMENDMENT GUIDELINES**
- OPTION D: AMEND EXISTING SOILS IN PLACE**
- APPLY A 2" LAYER OF COMPOST TO SOIL AREAS
 - NOTE: RETAIN RECORDS & RECEIPTS FOR COMPOST DELIVERED TO SITE FOR CMWD INSPECTIONS
 - ROTOTILL COMPOST INTO SOIL TO A MIN. DEPTH OF 8" BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL, PLOW, RIPPER OR SUBSOILER
- SOIL AMENDMENT AREAS**

SOUTH SHORE ESTATES SECOND ADDITION
 HAM LAKE, MN
SOILS AMENDMENT PLAN
 PREPARED FOR: MN DEVELOPMENTS, LLC

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.

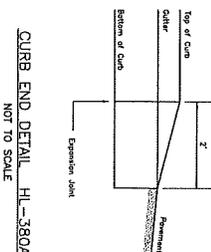
PRELIMINARY
 JOHN CARLSON
 PE 04812806 006100040 4394

NO.	DATE	DESCRIPTION
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3		
4		
5		
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8		
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10		

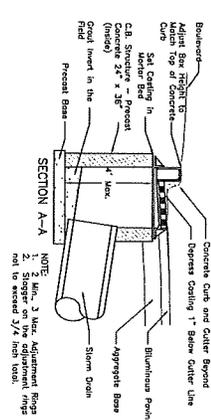
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 CHECKED BY: JAC
 DATE: 08/09/20
 SCALE: AS SHOWN
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 SHEET: C2.3 OF 10
 DRAWING NO.: 24-2104
 CLIENT: MN DEVELOPMENTS, LLC
 PROJECT: SOUTH SHORE ESTATES SECOND ADDITION
 SHEET: C2.3 OF 10

C2.3

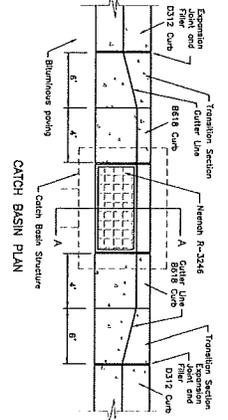




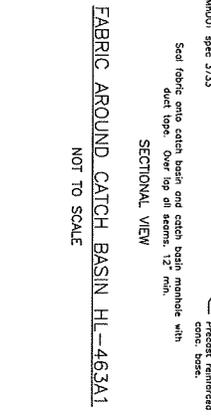
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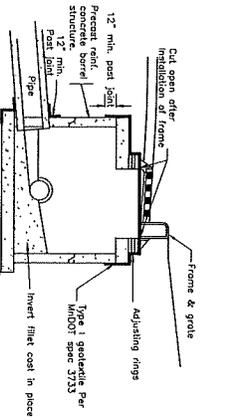
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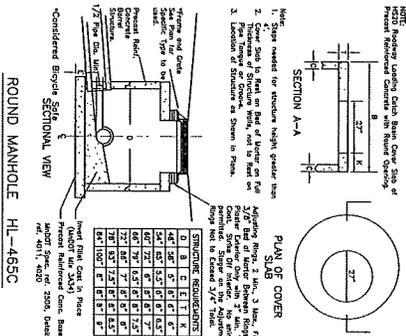
CATCH BASIN PLAN



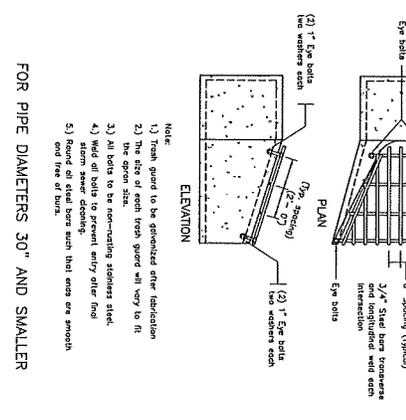
FABRIC AROUND CATCH BASIN HL-463A1
NOT TO SCALE



SECTIONAL VIEW



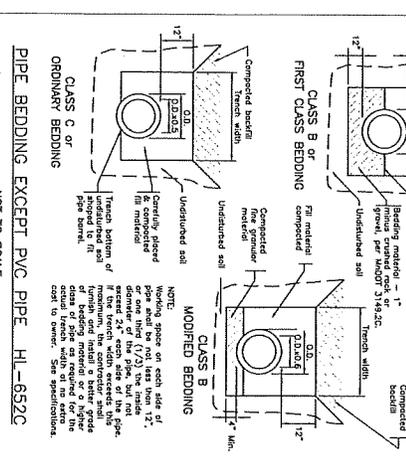
ROUND MANHOLE HL-465C
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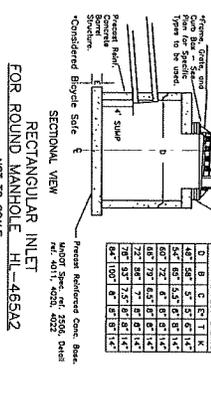
FOR PIPE DIAMETERS 30\"/>

TABLE OF DIMENSIONS

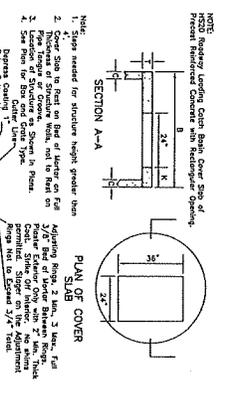
Pipe Dia. (in.)	Cover 1\"/>	
	Depth (in.)	Weight (lb.)
12	8	3.3
15	10	4.3
18	12	5.3
21	15	6.3
24	18	7.3
27	21	8.3
30	24	9.3
36	30	11.3
42	36	13.3
48	42	15.3
54	48	17.3
60	54	19.3
66	60	21.3
72	66	23.3
78	72	25.3
84	78	27.3
90	84	29.3



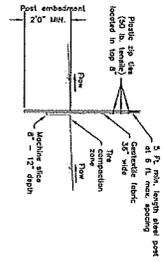
PIPE BEDDING EXCEPT PVC PIPE HL-652C
NOT TO SCALE



RECTANGULAR INLET FOR ROUND MANHOLE HL-465A2
NOT TO SCALE

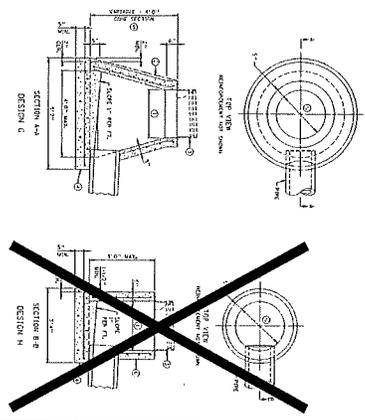


PLAN OF COVER

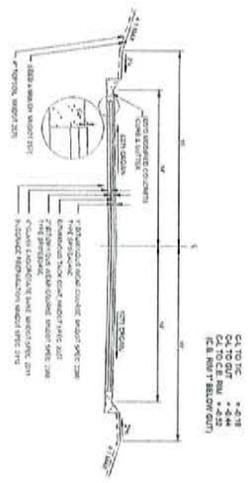


GENERAL SILT FENCE NOTES:
 Refer to sheet notes 2013 & 2088
 Silt fence shall be installed along the contour (on a level horizontal plane)
 Curve the end of the silt fence up-gradient so that it maintains its existing shape
 Maximum contouring shall be one foot
 No single footing and should exceed 200 ft
 Refer also to sheet 2013/2088

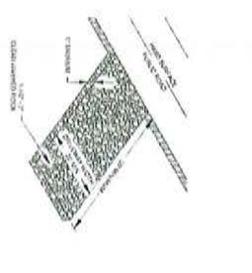
SILT FENCE - MACHINE SLICED HI-760A
 NOT TO SCALE



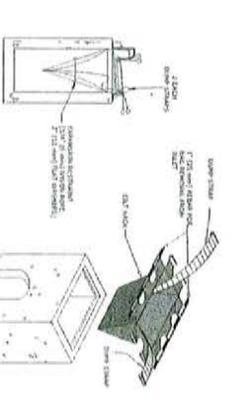
NOTES:
 1. MANHOLE SHALL BE 36" DIA. WITH 18" DIA. RINGS
 2. MANHOLE SHALL BE 18" DIA. WITH 9" DIA. RINGS
 3. MANHOLE SHALL BE 12" DIA. WITH 6" DIA. RINGS
 4. MANHOLE SHALL BE 8" DIA. WITH 4" DIA. RINGS
 5. MANHOLE SHALL BE 6" DIA. WITH 3" DIA. RINGS
 6. MANHOLE SHALL BE 4" DIA. WITH 2" DIA. RINGS
 7. MANHOLE SHALL BE 3" DIA. WITH 1" DIA. RINGS
 8. MANHOLE SHALL BE 2" DIA. WITH 1/2" DIA. RINGS
 9. MANHOLE SHALL BE 1" DIA. WITH 1/4" DIA. RINGS
 10. MANHOLE SHALL BE 1/2" DIA. WITH 1/8" DIA. RINGS
 11. MANHOLE SHALL BE 1/4" DIA. WITH 1/16" DIA. RINGS
 12. MANHOLE SHALL BE 1/8" DIA. WITH 1/32" DIA. RINGS
 13. MANHOLE SHALL BE 1/16" DIA. WITH 1/64" DIA. RINGS
 14. MANHOLE SHALL BE 1/32" DIA. WITH 1/128" DIA. RINGS
 15. MANHOLE SHALL BE 1/64" DIA. WITH 1/256" DIA. RINGS
 16. MANHOLE SHALL BE 1/128" DIA. WITH 1/512" DIA. RINGS
 17. MANHOLE SHALL BE 1/256" DIA. WITH 1/1024" DIA. RINGS
 18. MANHOLE SHALL BE 1/512" DIA. WITH 1/2048" DIA. RINGS
 19. MANHOLE SHALL BE 1/1024" DIA. WITH 1/4096" DIA. RINGS
 20. MANHOLE SHALL BE 1/2048" DIA. WITH 1/8192" DIA. RINGS
 21. MANHOLE SHALL BE 1/4096" DIA. WITH 1/16384" DIA. RINGS
 22. MANHOLE SHALL BE 1/8192" DIA. WITH 1/32768" DIA. RINGS
 23. MANHOLE SHALL BE 1/16384" DIA. WITH 1/65536" DIA. RINGS
 24. MANHOLE SHALL BE 1/32768" DIA. WITH 1/131072" DIA. RINGS
 25. MANHOLE SHALL BE 1/65536" DIA. WITH 1/262144" DIA. RINGS
 26. MANHOLE SHALL BE 1/131072" DIA. WITH 1/524288" DIA. RINGS
 27. MANHOLE SHALL BE 1/262144" DIA. WITH 1/1048576" DIA. RINGS
 28. MANHOLE SHALL BE 1/524288" DIA. WITH 1/2097152" DIA. RINGS
 29. MANHOLE SHALL BE 1/1048576" DIA. WITH 1/4194304" DIA. RINGS
 30. MANHOLE SHALL BE 1/2097152" DIA. WITH 1/8388608" DIA. RINGS
 31. MANHOLE SHALL BE 1/4194304" DIA. WITH 1/16777216" DIA. RINGS
 32. MANHOLE SHALL BE 1/8388608" DIA. WITH 1/33554432" DIA. RINGS
 33. MANHOLE SHALL BE 1/16777216" DIA. WITH 1/67108864" DIA. RINGS
 34. MANHOLE SHALL BE 1/33554432" DIA. WITH 1/134217728" DIA. RINGS
 35. MANHOLE SHALL BE 1/67108864" DIA. WITH 1/268435456" DIA. RINGS
 36. MANHOLE SHALL BE 1/134217728" DIA. WITH 1/536870912" DIA. RINGS
 37. MANHOLE SHALL BE 1/268435456" DIA. WITH 1/1073741824" DIA. RINGS
 38. MANHOLE SHALL BE 1/536870912" DIA. WITH 1/2147483648" DIA. RINGS
 39. MANHOLE SHALL BE 1/1073741824" DIA. WITH 1/4294967296" DIA. RINGS
 40. MANHOLE SHALL BE 1/2147483648" DIA. WITH 1/8589934592" DIA. RINGS
 41. MANHOLE SHALL BE 1/4294967296" DIA. WITH 1/17179869184" DIA. RINGS
 42. MANHOLE SHALL BE 1/8589934592" DIA. WITH 1/34359738368" DIA. RINGS
 43. MANHOLE SHALL BE 1/17179869184" DIA. WITH 1/68719476736" DIA. RINGS
 44. MANHOLE SHALL BE 1/34359738368" DIA. WITH 1/137438953472" DIA. RINGS
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 50. MANHOLE SHALL BE 1/2199023255552" DIA. WITH 1/8796093022208" DIA. RINGS
 51. MANHOLE SHALL BE 1/4398046511104" DIA. WITH 1/17592186044416" DIA. RINGS
 52. MANHOLE SHALL BE 1/8796093022208" DIA. WITH 1/35184372088832" DIA. RINGS
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 54. MANHOLE SHALL BE 1/35184372088832" DIA. WITH 1/140737488355328" DIA. RINGS
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 57. MANHOLE SHALL BE 1/281474976710656" DIA. WITH 1/1125899906842624" DIA. RINGS
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 62. MANHOLE SHALL BE 1/9007199254740992" DIA. WITH 1/36028797018963968" DIA. RINGS
 63. MANHOLE SHALL BE 1/18014398509481984" DIA. WITH 1/72057594037927936" DIA. RINGS
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 66. MANHOLE SHALL BE 1/144115188075855872" DIA. WITH 1/576460752303423488" DIA. RINGS
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 174. MANHOLE SHALL BE 1/46768052165



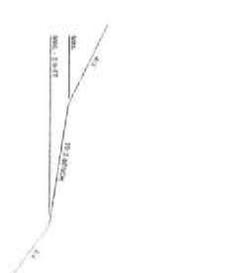
TYPICAL STREET SECTION (7-10)
N.T.S.



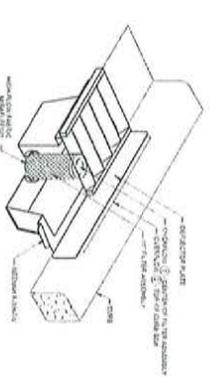
ROCK CONSTRUCTION EXIT
N.T.S.



SILT SACK
N.T.S.



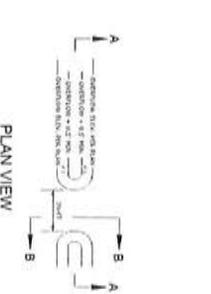
TYPICAL POND SECTION
N.T.S.



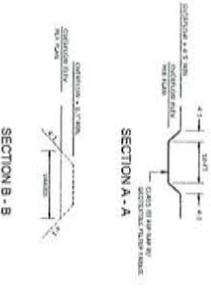
WIMCO INLET PROTECTION
N.T.S.



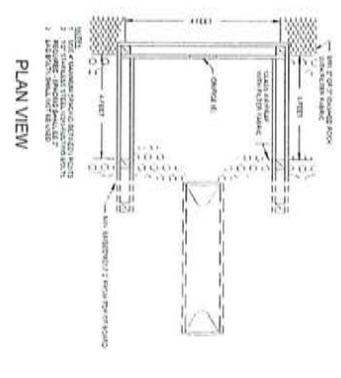
WETLAND BUFFER SIGNAGE
N.T.S.



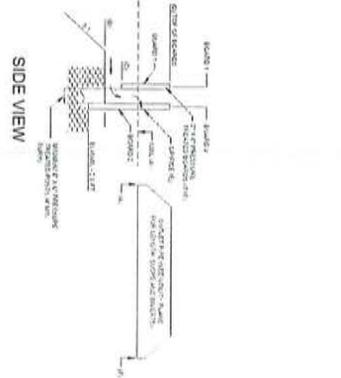
RIP-RAP OVERFLOWS
N.T.S.



BITUMINOUS CURB
N.T.S.



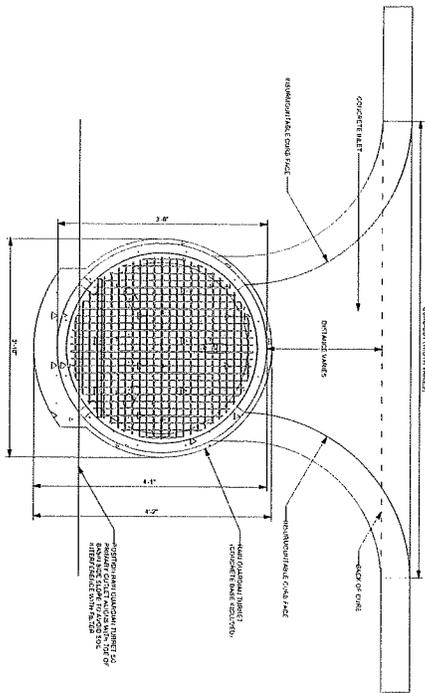
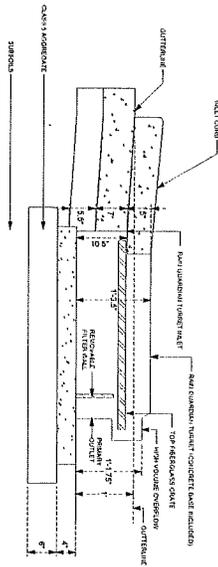
POND OUTLET BAFFLE WEIR
N.T.S.



SIDE VIEW
N.T.S.

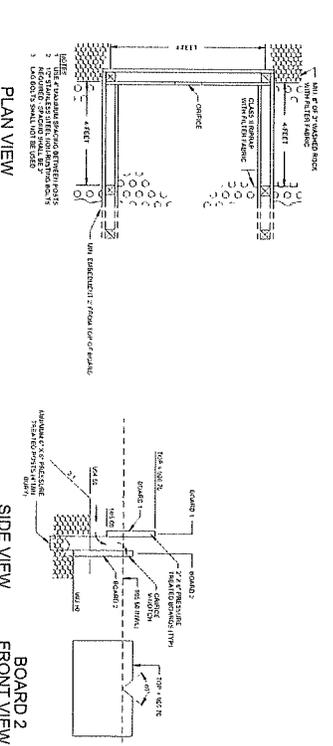
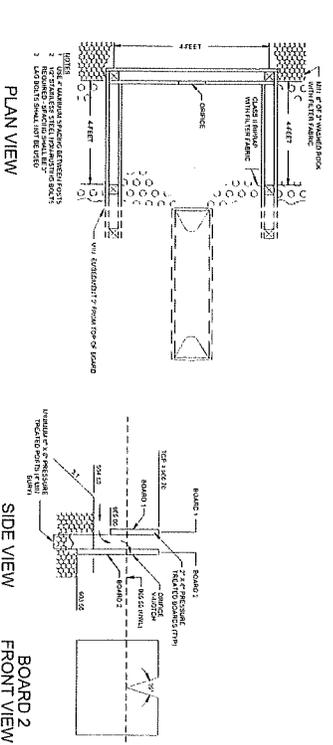
INVERT	POND NUMBER			
	A	B	C	D
TOP OF SQUARE	8	9	10	11
ORNBICE #1 TYPE	D	E	F	G
ORNBICE #1 INVERT	8.0	8.0	8.0	8.0
ORNBICE #1 DIAMETER	4.0	4.0	4.0	4.0
ORNBICE #2 TYPE	E	F	G	H
ORNBICE #2 INVERT	8.0	8.0	8.0	8.0
ORNBICE #2 DIAMETER	4.0	4.0	4.0	4.0
ORNBICE #2 OVERFLOW	8.5	8.5	8.5	8.5
ORNBICE #2 OVERFLOW	8.5	8.5	8.5	8.5
BOTTOM OF BOARD 1	C	D	E	F
BOTTOM OF BOARD 2	B	C	D	E
DOWNTREAME INVERT	F	G	H	I

* See notes for details



RAIN GUARDIAN - TURRET STYLE
N.T.S.

GOLF CART PATH SECTION
N.T.S.



BORROW AREA 1 (EAST OF VICKERS ST) BAFFLE WEIR
N.T.S.

BORROW AREA 2 (WEST OF VICKERS ST) BAFFLE WEIR
N.T.S.

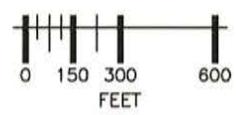
DESIGNED BY	AGE
DRAWN BY	AGE
CHECKED BY	AGE
DATE	10/22/25

PLOWE ENGINEERING, INC.
 8776 LAKE DRIVE
 SUITE 105
 LEXINGTON, MN 55050
 PHONE: (651) 561-8210
 FAX: (651) 561-8100

NO.	DATE	DESCRIPTION
1	11/25/25	PRELIMINARY REVIEW COMMENTS
2	01/01/26	PRELIMINARY REVIEW COMMENTS #2
3	03/03/26	GOLF CART PATH PAVEMENT SECTION ADDED
4		
5		
6		
7		
8		

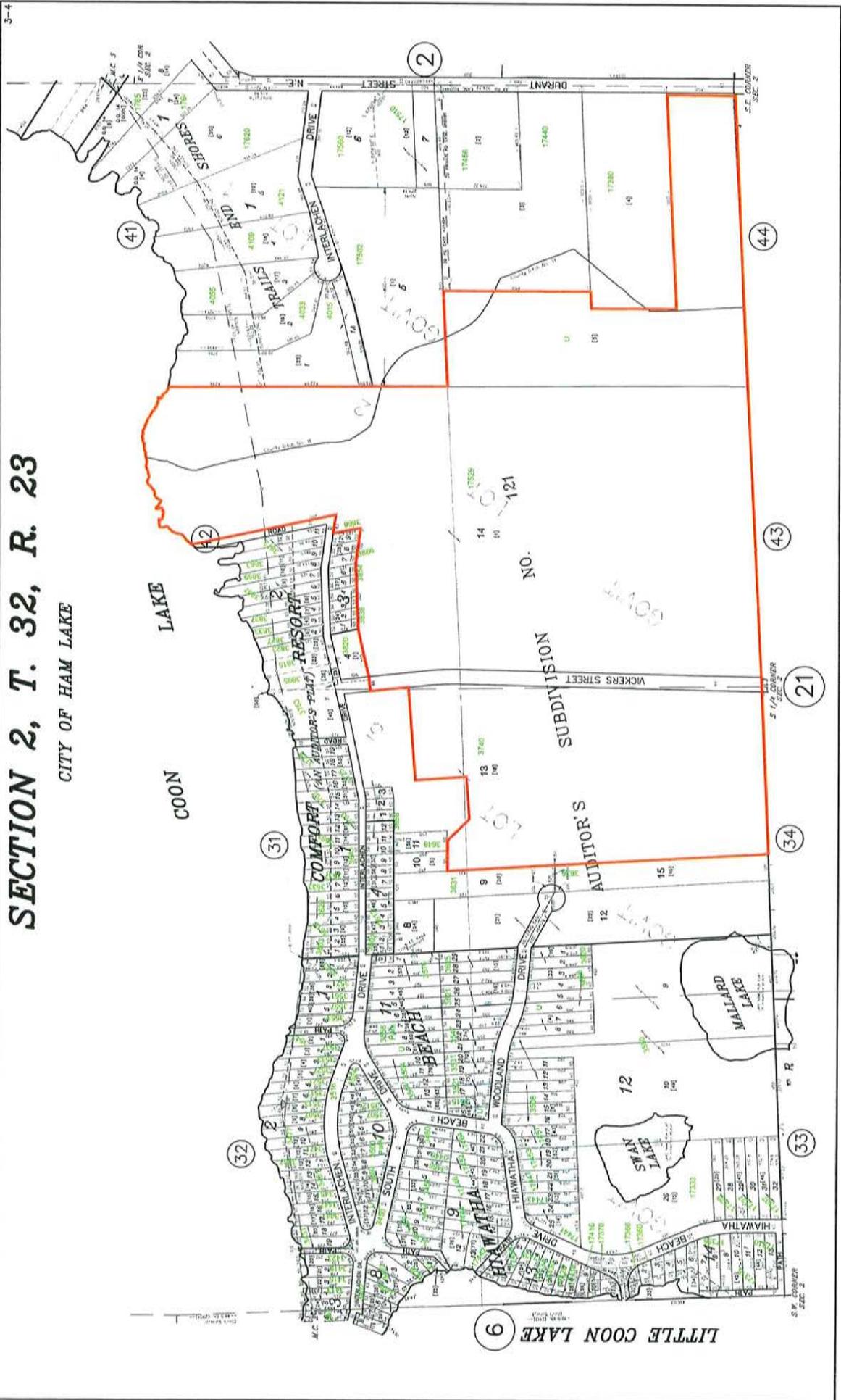
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.
PRELIMINARY
 SOUTH SHORE
 Date: 03/03/2026 License No. 4943

COON LAKE



SECTION 2, T. 32, R. 23

CITY OF HAM LAKE



THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY RECORDS AFFECTING THE AREA SHOWN. THIS MAP IS TO BE USED ONLY FOR REFERENCE AND THE ANOKA COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

PROPERTY IDENTIFICATION NUMBER

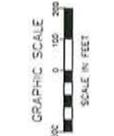
Section	Township	Range	Quarter	Specific
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS. []

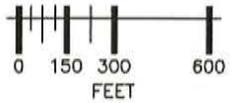
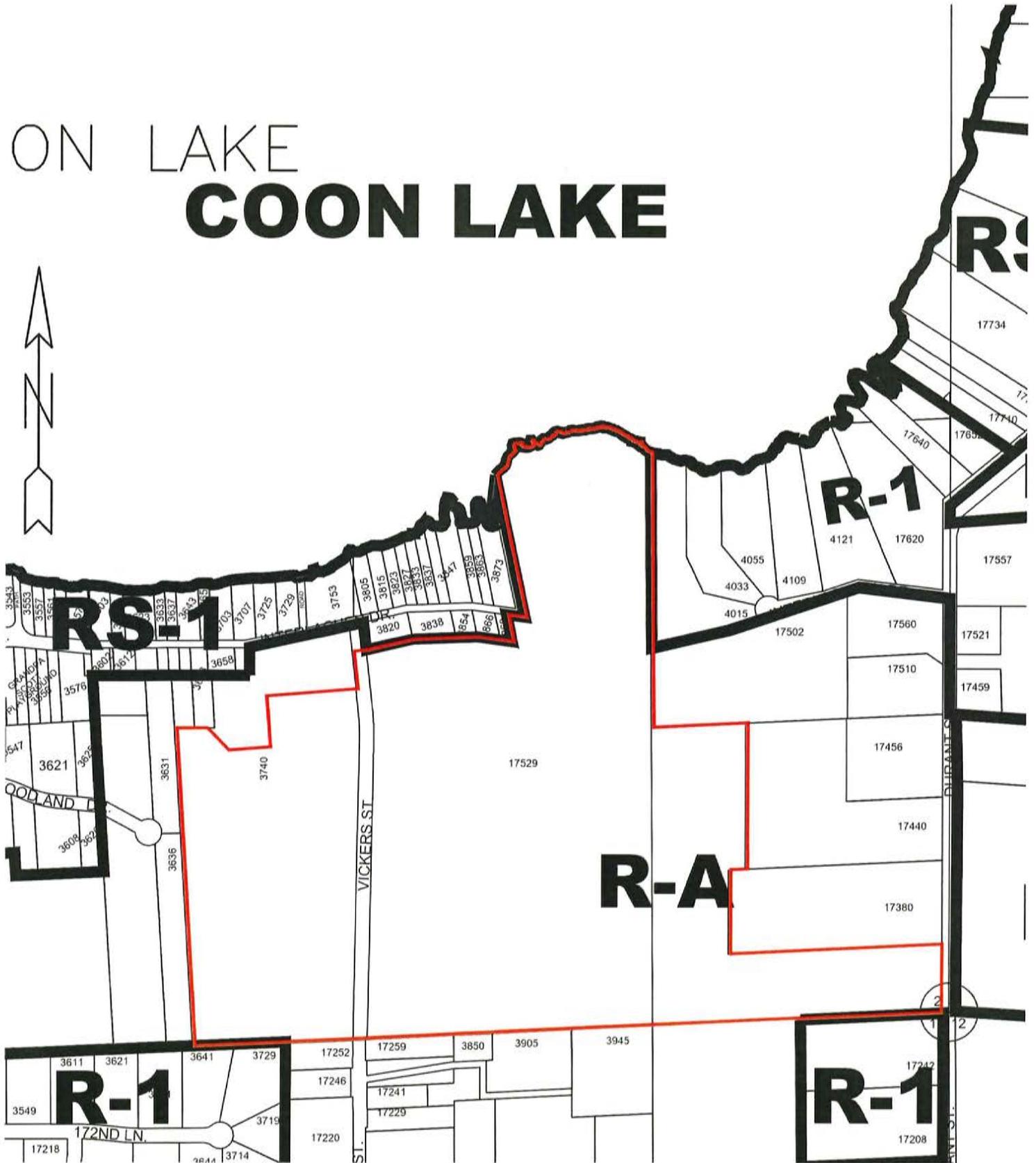
QUARTER QUARTER INDEX

NORTH HALF OF SECTION		SOUTH HALF OF SECTION	
22	21	12	11
23	24	13	14
32	31	42	41

ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200



ON LAKE COON LAKE



**Tradewell Soil Testing
18330 Dahlia Street NW
Cedar, MN 55011
(763) 286-9095**

March 2nd, 2026

RFC Engineering
13635 Johnson Street NE
Ham Lake, MN 55304

To whom it may concern:

As a licensed site evaluator who conducted the soil borings in South Shore Estates 2nd, for Minnesota Developments, LLC, I found the following: Each boring has at least 12” of natural, undisturbed soil with no redox features (mottled soil). In order to design and install a standard soil treatment system according to MN Chapter 7080 Code, at least 12” of natural soil with no signs of redox (mottling) is required. Therefore, each of the proposed lots will support 2 “standard” septic systems within the 7,500 square feet septic area as shown on the Grading Plan.

Sincerely,



Mark Tradewell
MPCA #307

David Krugler

From: MS4Front <do_not_reply@ms4prod.ms4front.net>
Sent: Tuesday, March 10, 2026 8:13 AM
To: danandys@icloud.com
Cc: permitsubmittals@cooncreekwd.org; David Krugler; Dwebster@hamlakemn.gov; adam@plowe.com; stally68@msn.com
Subject: CCWD Notice of Permit Application Status

Project: South Shore Estates Second Addition
Permit Application Number: P-25-038
Applicant (Property Owner): Daniel Hallberg
Purpose: Grading and stormwater management for 41 single-family lots
Location: 3740 Interlachen Dr NE

At their meeting on the Board of Managers of the Coon Creek Watershed District conditionally approved the above referenced project with 3 conditions and 3 stipulations. **This is NOT a permit.**

Prior to permit issuance, the following conditions must be fulfilled.

Conditions:

1. Provide redundant perimeter control around Wetland 8.
2. Submittal of a performance escrow in the amount of \$19,000.00.
3. Please update the Soil Amendment Plan on sheet C2.3 to show the full extents of the amended areas within subcatchment 5.

After issuance, the permit will include the following stipulations that will need to be fulfilled before permit closeout:

Stipulations:

1. Submittal of as-builts for the stormwater management practices and associated structures listed in Table 2 of the Application Review Report dated 3/4/2026, including volume, critical elevations and proof of installation for hydrodynamic separators.
2. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.
- 3.
4. The applicant must apply for coverage under the Minnesota Pollution Control Agency's (MPCA's) Construction Stormwater Permit (Permit No: MNR100001)

Please respond to each of the above items in writing when resubmitting revised materials to the District. Please use the link below when submitting all project documents.

[Access Permit # P-25-038 Here](#)

Please be advised that this is NOT a permit, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rules. If you have any questions, please call 763-755-0975.