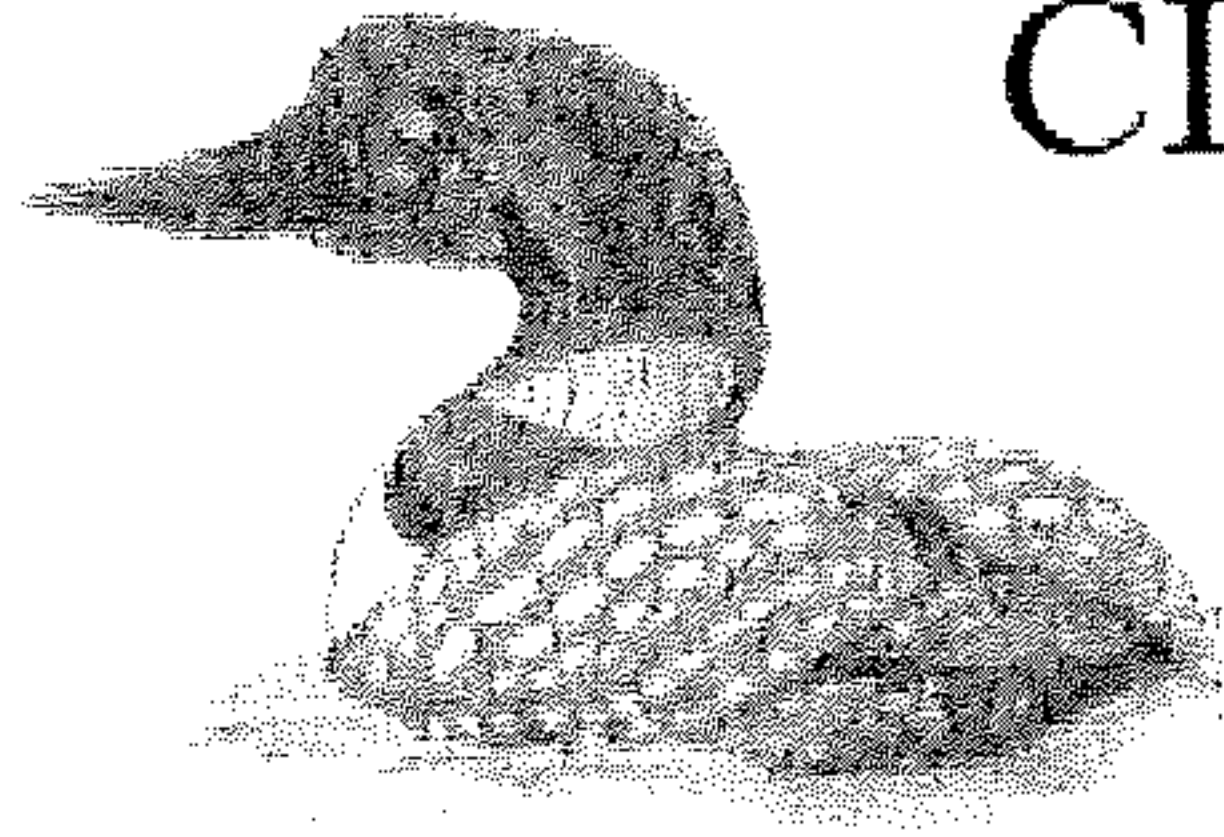




CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, JULY 27, 2026

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: May 26, 2026

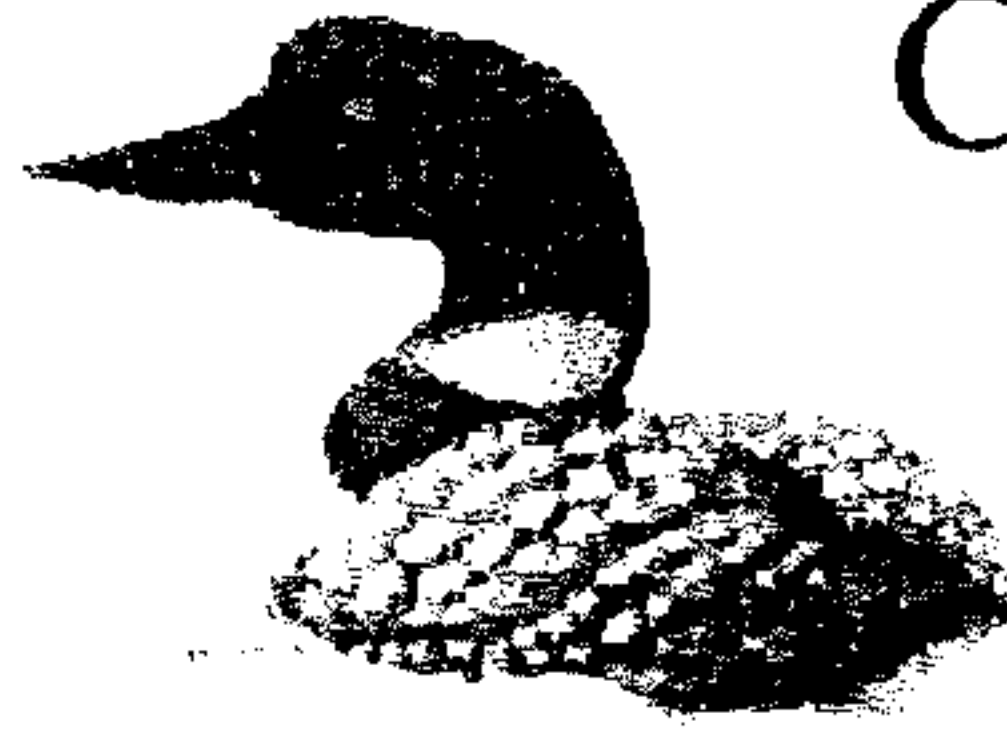
PUBLIC HEARING: - None

NEW BUSINESS:

1. Harlan Worsham of Solid Rock Construction, requesting Commercial Site Plan Approval to construct Solid Rock Construction at 14376 Johnson Street NE.

COMMISSION BUSINESS:

1. City Council Update



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
info@ci.ham-lake.mn.us

CITY OF HAM LAKE PLANNING COMMISSION MINUTES TUESDAY, MAY 26, 2026

The Ham Lake Planning Commission met for its regular meeting on Tuesday, May 26, 2026, in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Dave Ringler, Jeff Entsminger, Lorrie Albers, Michael Frid, and Erin Dixon

MEMBERS ABSENT: Commissioner Kyle Lejonvarn

OTHERS PRESENT: City Planner, Matt Holzworth and City Engineer, David Krugler

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Dixon, seconded by Ringler, to approve the minutes of the May 11, 2026, Planning Commission meeting as amended. All present in favor, motion carried.

PUBLIC HEARING:

1. Ronald and Connie Claflin, Thunderstuck, request to consider the following amendment to the mining overlay district map to include the following parcels:

- PID: 01-32-23-44-0001
- PID: 01-32-23-44-0007

Mr. Claflin was present and stated that he is requesting the two parcels be added to the mining overlay district which he then plans to excavate the existing private pond on the property into a larger pond that would extend into the property next door. (PID: 01-32-23-0007)

Chair Pogalz asked if Mr. Claflin plans on selling the proposed excavated material. Mr. Claflin stated that he was not the one doing the excavation, and that the contractor doing the work would likely sell the excavated material and explained in further detail the process that has been proposed.

Commissioner Entsminger asked Engineer Krugler if dewatering would occur. Engineer Krugler stated that it will be up to the contractor and a DNR permit, but that is not where the current application is in the city's process.

Chair Pogalz acknowledged the staff report from Engineer Krugler providing a recommendation for approval.

Engineer Krugler stated that the areas that are specifically mentioned in the report to be added to the mining overlay district have soils that are not compliant with a standard septic system, therefore it is eligible to be included in the Mining Overlay District.

Commissioner Ringler stated that he was assigned the inspection of the property and stated that it was a straightforward inspection and seemed to be suitable area.

Chair Pogalz opened the public hearing at 6:10 p.m. and asked for public comment.

Paddy Jones, 4135 Constance Boulevard NE, Ham Lake, MN, expressed concerns about the future of the wells and water pressure.

Chair Pogalz stated that the wells are relatively lower than the excavation and will likely not affect wells in the area. Mr. Claflin stated more in-depth conversations he had with the DNR that had been about the wells and water pressure and that there was no cause for concern.

Pattie Callahan, 17440 Lexington Avenue, Ham Lake, MN, expressed concern that the pond on her property may drain.

Engineer Krugler stated that during the construction and dewatering they may see a slight drop in the water levels, but it will regenerate when the dewatering is completed.

Chair Pogalz asked for further comment and with there being none, closed the public hearing at 6:21 p.m.

Motion by Ringler, seconded by Entsminger, to recommend approval of the request of Ronald and Connie Claflin to consider the following amendment to the mining overlay district map to include PID: 01-32-23-44-0001 and PID: 01-32-23-44-0007 meetings all City, State, and County requirements limited to the description provided in the survey of the two properties. All present in favor, motion carried. *This application will be placed on the City Council's Monday, June 1, 2026, agenda.*

2. Stoson LLC, request to consider the application for a Conditional Use Permit for Wetland Banking of three parcels on PID: 11-32-23-44-0003, PID 11-32-23-42-0003, and PID 11-32-23-41-0001.

Mr. Stoddard was present and gave a summary of the application request to the Commissioners and asked for any questions.

Chair Pogalz stated that he was on the property and noticed that there was excess soil and inquired about if there would be water visible on the property. Mr. Stoddard stated it will be used to fill ditches and that the site will be built to retain water better.

Commissioner Dixon asked Engineer Krugler regarding the maximum length of cul-de-sac as there will not be any future roadway as planned. Engineer Krugler stated that because the cul-de-sac length starts at an intersection, the current roadways are compliant and that Xebec Street would be removed north of the cul-de-sac and the temporary cul-de-sac will remain.

Engineer Krugler and Mr. Stoddard explained the Wetland Banking system process and how the future of the property would look more towards completion.

Chair Pogalz opened the public hearing at 6:49 p.m. and asked for public comment.

Paddy Jones, 4135 Constance Boulevard NE, Ham Lake, MN, expressed concerns about the ditch on his property, if a potential fence will be on the property, and the construction vehicles.

Chair Pogalz and Engineer Krugler addressed questions and concerns regarding the low potential impacts that may occur in the future regarding construction, vehicles, and a fence could be constructed on Mr. Johnsons property.

Jana Pargeter, 4227 165th Avenue NE, Ham Lake, MN expressed concerns on the impact of the proposed future nature trail, if there will be hunting allowed and where the access would be.

Chair Pogalz and Engineer Krugler stated that no work will be done in the city right-of-way and that Fox Run Park would be the closest spot for parking. Mr. Stoddard stated that he proposed to have no "No Trespassing" signs around the permitter.

Paddy Johnson, 4135 Constance Boulevard NE, Ham Lake, MN, asked about the Article 9 requirement and improved road frontage, and if future bathrooms along the trail will be provided.

Chair Pogalz explained that no bathrooms would be installed and it was determined that they would use a different road to the north for construction to alleviate that need and the applicants have opted to use the appropriate road with the proper weight restriction.

Jon Huffmaster, 3752 169th Lane NE, Ham Lake, MN, expressed concerns about parking and the additional wear and tear on the existing park infrastructure and roads.

Chair Pogalz stated that there has been no traffic study done at this time and it is typically done on an as need basis. Engineer Krugler stated that the roads are rated well within potential traffic that may be generated.

Commissioner Frid asked who would maintain the trail. Engineer Krugler stated that it will be up to the city's parks department. Mr. Stoddard stated that it will be a grass trail that is proposed.

Chair Pogalz asked for further comment and with there being none, closed the public hearing at 7:14 p.m.

Chair Pogalz inspected the property and reported that it is open land in various states that it is typically used for sod and could be a good idea for the community.

Motion by Pogalz, seconded by Entsminger, to recommend approval of the request to consider Stoson LLC request to consider the application for a Conditional Use Permit for Wetland Banking of three parcels on Durant St. NE at PID: 11-32-23-44-0003, PID 11-32-23-42-0003, and PID 11-32-23-41-0001 with the following conditions:

- 1. Coon Creek Watershed District Permit is in place**
- 2. National Pollutant Discharge Elimination System permits are in place**
- 3. Minnesota Board of Water and Soil Resources approval**
- 4. US Army Corps of Engineers approval**
- 5. The proposed trail easement is dedicated to the City**
- 6. All requirements recommended from the City Engineer**
- 7. Review of the Conditional Use Permit that the wetland bank complies with City Requirements**
- 8. Access for construction will come from Crosstown Boulevard NE or Constance Boulevard NE**
- 9. Meet all City, State and County requirements**

All present in favor, motion carried.

This application will be placed on the City Council's Monday, June 1, 2026 agenda.

NEW BUSINESS:

COMMISSION BUSINESS:

City Council Update

City Planner Holzworth stated that all items from the Planning Commissions previous meeting were approved by the City Council. A Planning Commissioner will not be attending the City Council's June 1, 2026, meeting.

ADJOURNMENT:

Motion by Dixon, seconded by Pogalz, to adjourn the Planning Commission meeting at 7:16 p.m. All present in favor, motion carried.

Matt Holzworth, City Planner



CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

(763) 434-9555 info@hamlakemn.gov

PLANNING REQUEST

Date of Application 07/22/2026

Date of Receipt 7/22/2026

Receipt # 0106743

Amount \$ 1000.00

Meeting Appearance Dates:

Planning Commission 07/27/26 City Council _____

Please check request(s):

☐ Metes & Bounds Conveyance \$500.00

☐ Sketch Plan \$700.00 per lot/unit

☐ Preliminary Plat Approval*

☐ Final Plat Approval

☐ Rezoning* \$400.00

☐ Multiple Dog License* \$400.00

☒ Commercial Building Permit \$1,000.00

☐ Certificate of Occupancy

☐ Home Occupation Permit \$200.00

☐ Special Home Occupation Permit \$400.00

☐ Conditional Use Permit* New or Amend.\$1,000.00

☐ Other _____

***NOTE: Advisory Signage is required for land use alterations and future road connections.
This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: SOLID ROCK CONSTRUCTION

Address/Location of property: 14376 JOHNSON ST NE, HAM LAKE, MN 55304

Legal Description of property: Lot 3, Block 1 Elwell Commercial Park

PIN # 29-32-23-31-0008 Current Zoning CD-1 Proposed Zoning _____

Notes: _____

Applicant's Name: HARLAN WORSHAM

Business Name: SOLID ROCK CONSTRUCTION

Address 14665 BUCHANAN ST NE, SUITE 4

City HAM LAKE State MN Zip Code 55304

Phone 763.270.5058

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature]

DATE 07/22/2026

- FOR STAFF USE ONLY -

Action By: Planning Commission _____

City Council _____

Property Taxes Current YES NO

Any Active/Deferred Assessments YES NO

**CITY OF HAM LAKE
ACKNOWLEDGMENT OF RESPONSIBILITY
TO REIMBURSE EXPENSES**

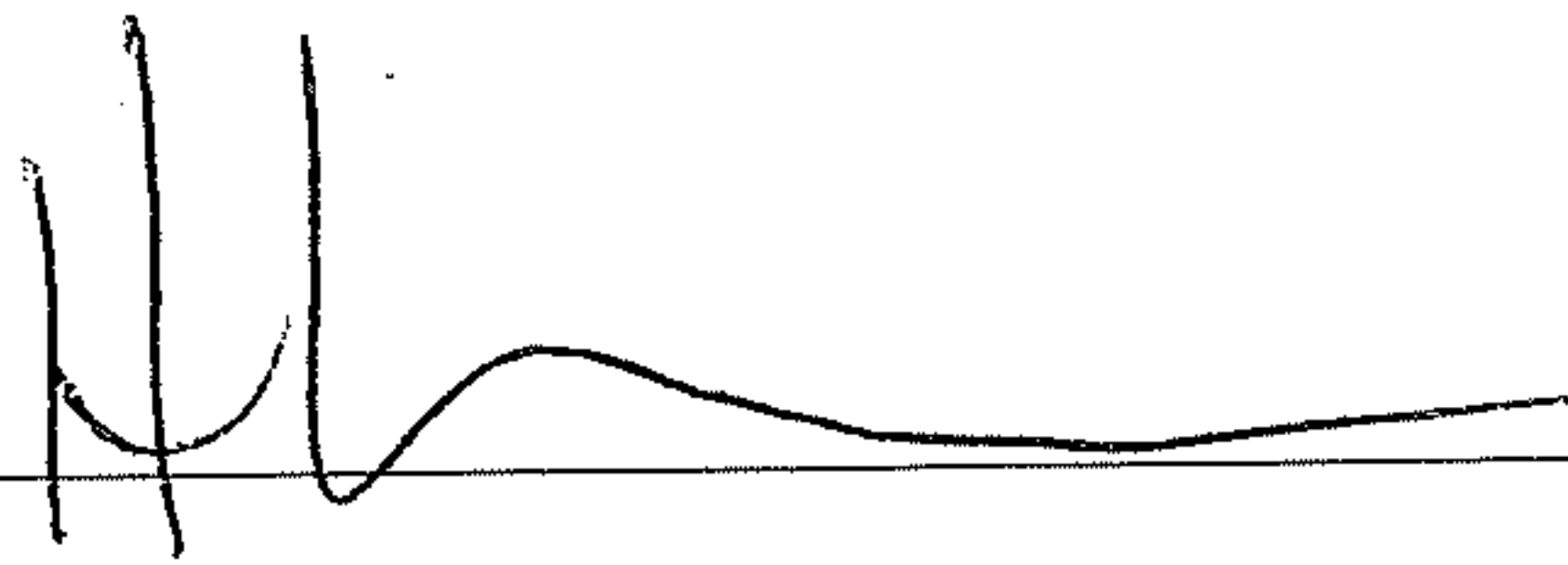
The undersigned, HARLAN WORSHAM, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

COMMERCIAL BUILDING PERMIT

Type of Application

acknowledges that the sum of \$ 1,000.00, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

Applicant Signature _____



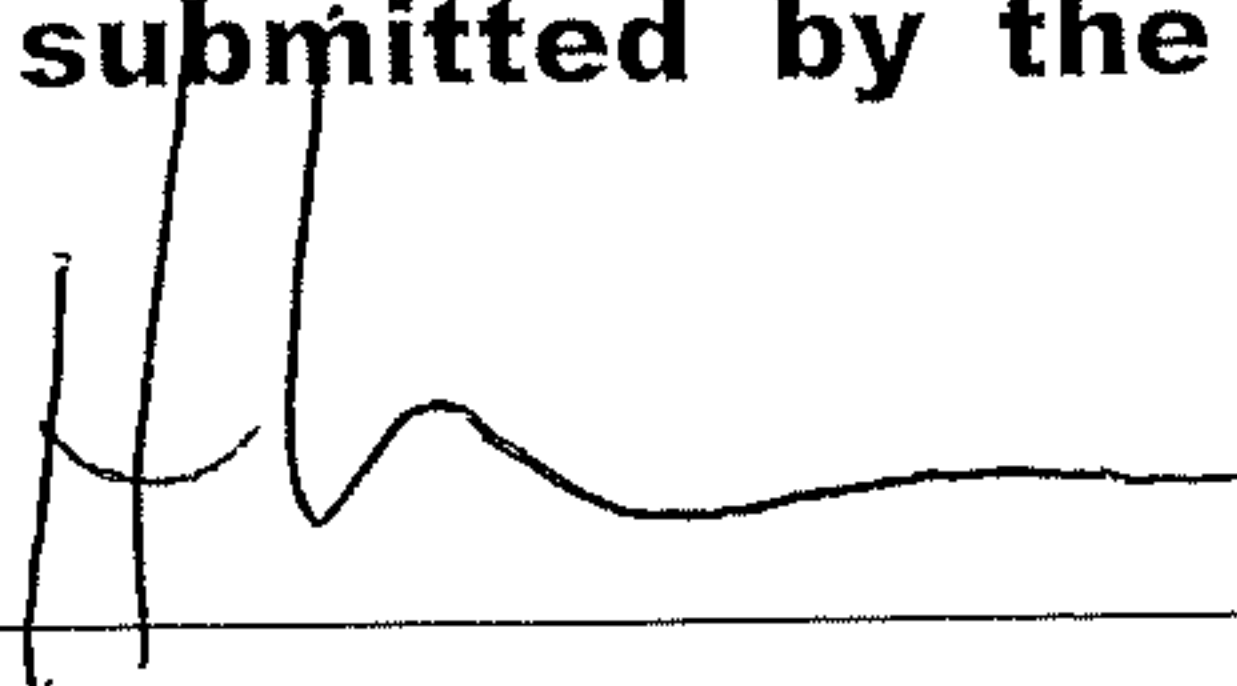
Dated 07/22/2026

The following statement must be signed if the applicant is not the property owner:

Harlan Worsham, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

I am aware of the application being submitted by the applicant and approve the request.

Property Owner Signature _____



Dated 7/22/26

**NOTICE TO ALL APPLICANTS FOR MUNICIPAL
PERMITS, LICENSES,
OR OTHER MUNICIPAL ACTION**

1. *If you are requesting municipal action on any request for any of the above, you will be required to furnish certain information about yourself, the project you are involved in, or other matters pertaining to the subject. Some of the information you are asked to provide is classified by state law as either private or confidential. Private data is information which generally cannot be given to the public but can be given to the subject of the data. Confidential data is information which generally cannot be given to either the public or the subject of the data.*
2. *The purpose of this information is to enable the City Staff, Commissions, Council or other government agencies to evaluate relevant factors in considering your request. You are not legally required to provide this information. If you do not provide the requested information, the City may not act upon your request.*
3. *The information you supply will be public and available to any entity requesting to inspect the information.*

**DATA PRACTICES ADVISORY
TENNESSEN WARNING
REQUIRED BY MINNESOTA STATUTES CHAPTER 13.04**

SIGNED BY _____

COMPANY/TITLE: _____

DATE: 07/22/2026

Memorandum

Date: July 21, 2026
To: Planning Commissioners
From: David A. Krugler, City Engineer 
Subject: Solid Rock Construction Office

Introduction:

The proposed 14,741 square-foot Solid Rock Construction Office building is located on Lot 3, Block 1, Elwell Commercial parcel, a 5.70-acre parcel zoned Commercial Development Tier 2 (CD-2). A 300-scale aerial photo, a 300-scale zoning map and a 400-scale half section map are attached.

Discussion:

The Title Sheet, Civil Site Plan, Grading, Drainage & Esc Plan, SWPPP, Utility Plan and Details, and Turning Movement Exhibit received July 9th, the Storm Sewer Sizing Calculation received July 14th, the Landscape Plan received July 15th address prior review comments.

The Landscape Plan proposes trees surrounding the proposed building. Per Article 11-1853(B) of the City Code, decorative trees shall be planted along the right-of-way lines of adjacent public roadways. Article 11-1860 allows for case-by-case evaluation of landscape requirements for commercial land approval and "...strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan". A determination needs to be made as to whether the proposed landscaping is adequate adjacent to the public roadway or if additional screening should be required.

The approved Elwell Commercial Park plans established a minimum low floor elevation of 894.0. The submitted plans now show a finished floor elevation of 892.5. Although this is below the originally established minimum, the proposed design satisfies applicable State Building Code requirements for minimum grading away from the building and provides the required separation from mottled soils.

The billboard located on Lot 2 of Block 1 of Elwell Commercial Park has not yet been removed as required by the Development Agreement with Lincoln Street Commercial Development LLC. Under the terms of that agreement, building permits were not to be issued until the billboard had been removed. However, the City Council previously adopted Resolution 26-10 allowing Kwik Trip (Lot 1, Block 1 of Elwell Commercial Park) to receive a building permit despite this

outstanding requirement. A policy determination should be made as to whether similar relief should be granted for the Solid Rock Construction Office project.

The Solid Rock Construction Office project was conditionally approved by the Coon Creek Watershed District (CCWD) Board of Managers at their July 13th meeting. The Notice of Application Status is attached. A CCWD permit is required before grading operations can commence. A Minnesota Pollution Control Agency National Pollutant Discharge Elimination System Construction Stormwater Permit is also required before grading operations can commence because the disturbed area is over one-acre.

Recommendation:

It is recommended that the Solid Rock Construction Office commercial site plan be recommended for approval, subject to the Commission's determination regarding the adequacy of the proposed landscaping adjacent to the public roadway and whether a building permit should be authorized prior to removal of the billboard.

HAM LAKE, MINNESOTA

①	EXISTING STORM MANHOLE
□	EXISTING CATCH BASIN
▲	EXISTING FLARED-END SECTION
WET	EXISTING DRAINAGED WETLAND EDGE
WETLAND	WETLAND BUFFER

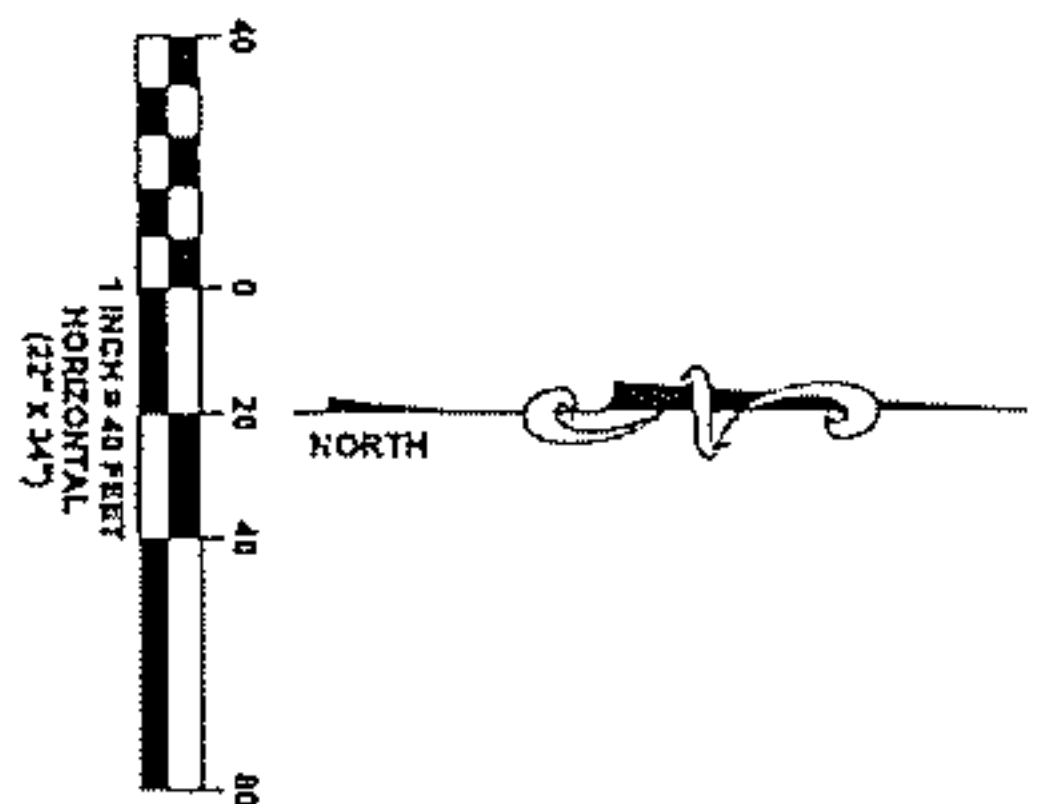
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|---|-----------------------------------|
|  | WITTING BUTTER SIGNAGE |
|  | EXISTING WELD |
|  | EXISTING TELEPHONE BOX |
|  | EXISTING TELEPHONE BOX |
|  | EXISTING SIGN |
|  | EXISTING STREET LIGHT |
|  | EXISTING UNDERGROUND ELECTRIC |
|  | EXISTING OVERHEAD WIRE |
|  | PROPOSED STORM SEWER PIPE |
|  | PROPOSED STORM MANHOLE |
|  | PROPOSED CATCH BASIN |
|  | PROPOSED PAVED-AND SECTION |
|  | PROPOSED RIP-UP |
|  | PROPOSED SLOOT ELEVATION (GUTTER) |
|  | PROPOSED WELL |

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR AT ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. LOCATIONS OF EXISTING UTILITIES LOCATIONS PRIOR TO THE EXCAVATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS.
5. UTILITIES NOT IDENTIFIABLE ON EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR ON GREEN WATERSIDE DISTRICT (GWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING JUNCTIONS SHALL BE COMPLETED PRIOR TO THE START OF CONSTRUCTION. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

1. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWER SHALL BE:
 - a. PVC SCHEDULE 40
 - b. 18" DIA. POLYETHYLENE GLASS REINFORCED PLASTIC (FRP) MANHOLE BUSTINGS UNTIL FABRIC WRAP IS APPLIED
3. DO NOT BACKFILL OR PLACED BASTINGS UNTIL FABRIC WRAP IS APPLIED
4. TRASH GUARDOS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER.
5. PROVIDE CLASS III RIP-RAP W/ FILTER FABRIC AT ALL PIPE OUTLETS.
6. THE LAST THREE SECTIONS OF CONCRETE PIPE, INCLUDING APRON, FOR CONCRETE PIPES LESS THAN 48" IN DIAMETER, SHALL BE FLARED-END SECTIONS.
7. THE LAST THREE SECTIONS OF FLARED-END SECTIONS OF THE FLARED-END SECTION, LAYING LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.

ASCH PIPE JOINTS MUST BE WRAPPED WITH FABRIC ON OTHER PROTECTION TO PREVENT SEDIMENT FROM ENTERING PIPE.

1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
2. ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAW-CUT AT FULL DEPTH.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
4. BACKFILLING OF CURB IS INCIDENTAL, TO CURB INSTALLATION.



ADDRESS: 57112

AVL 716 113604976

LEICHLIN ST 145

SOLID ROCK CONSTRUCTION
14065 BUCHANAN ST NE #4
HAM LAKE, MN 55304
BOBBY JOSEPH
763.348-1339
BOBBY@SRCMN.COM

FLOWE ENGINEERING, INC.
 6776 LAKE DRIVE
 LINO LAKES, MN 55014
 ADAM GINKEL, P.E.
 651-361-0234
 ADAM@FLOWE.COM

E.G. RUD & SONS LAND
SURVEYING, INC.
6776 LAKE DRIVE
LINO LAKES, MN 55014
JASON RUD
651-381-8225
JRUD@EGRUD.COM

AN MPC/NPDES CONSTRUCTION PERMIT IS REQUIRED PRIOR TO THE START OF CONSTRUCTION

ALL PERMITS, INCLUDING BUT NOT LIMITED TO PERMITS FROM CITY OF HAIL LAKE, MINOT, AND THE MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY, SHALL BE OBTAINED PRIOR TO ORDERING OF MATERIAL AND STARTING OF CONSTRUCTION. NO INSTALLATION OF UTILITIES SHALL BE PERMITTED UNTIL ALL APPLICABLE PERMITS ARE RECEIVED BY CONTRACTOR. INSTALLATION OF UTILITIES SHALL BE CONSTRUCTED TO MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY STANDARDS AND CITY STANDARDS AS IDENTIFIED IN THE PUBLIC WORKS/ENGINEERING STANDARDS.

C0	TITLE SHEET, NOTES & LEGEND
C1-1	CIVIL SITE PLAN
C1-2	LANDSCAPE PLAN
C2-1	GRADING, DRAINAGE & EROSION PREVENTION PLAN
C2-2	AIR QUALITY POLLUTION PREVENTION PLAN
C2-3	WATER POLLUTION PREVENTION PLAN
C3-1	STORMWATER POLLUTION PREVENTION PLAN
C4-1	UTILITY PLAN
C4-2	DETAILS
C4-3	DETAILS

SHEET

CO

SOLID ROCK CONSTRUCTION OFFICE

HAM LAKE, MN

TITLE SHEET, NOTES & LEGEND

PREPARED FOR: SOLID ROCK CONSTRUCTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.

Adam Onkel
Date: 07.09.2026 License No. 43553

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NO.	DATE	DESCR PTION

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AG

JOB NO.
76-2752

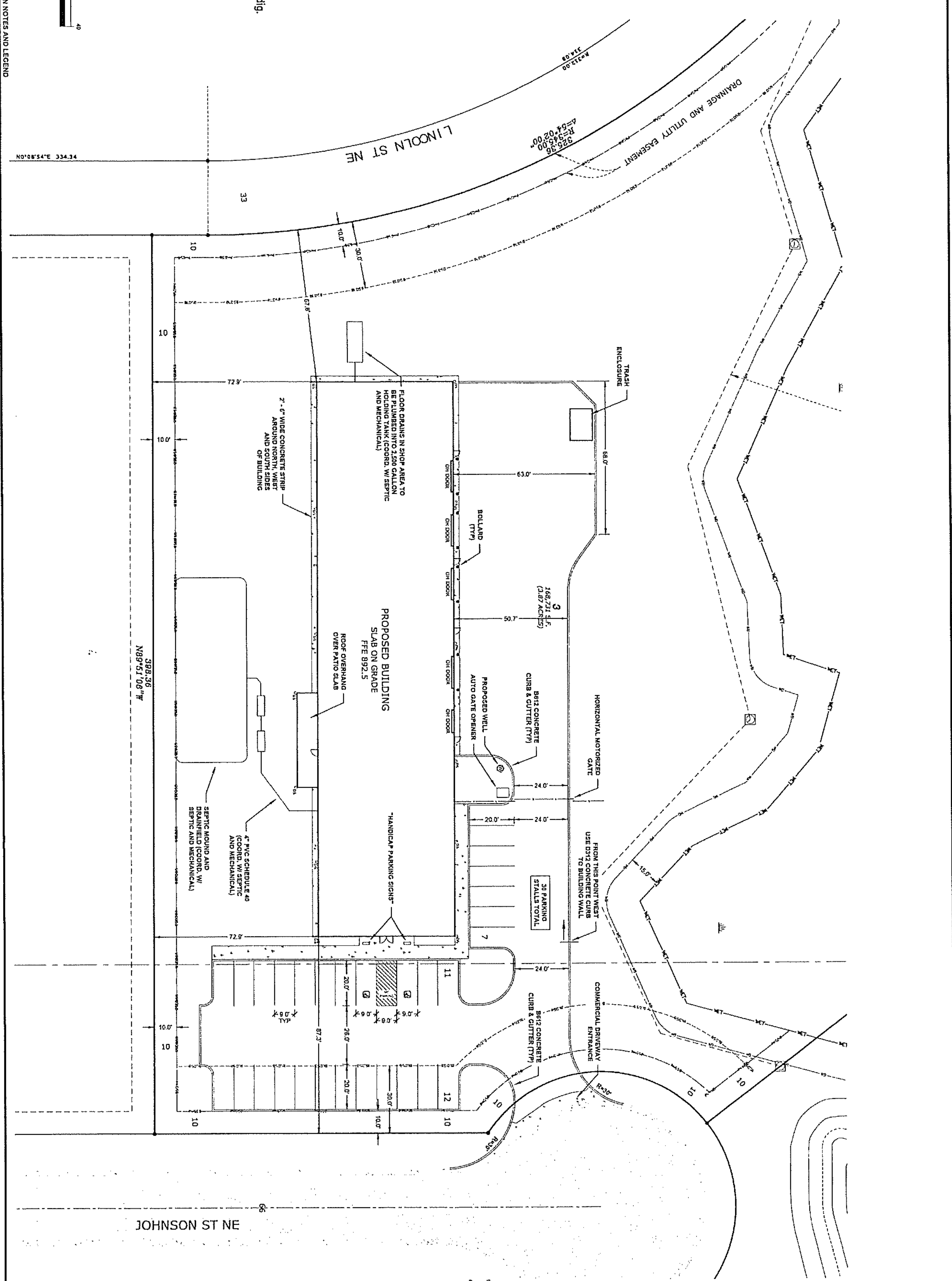
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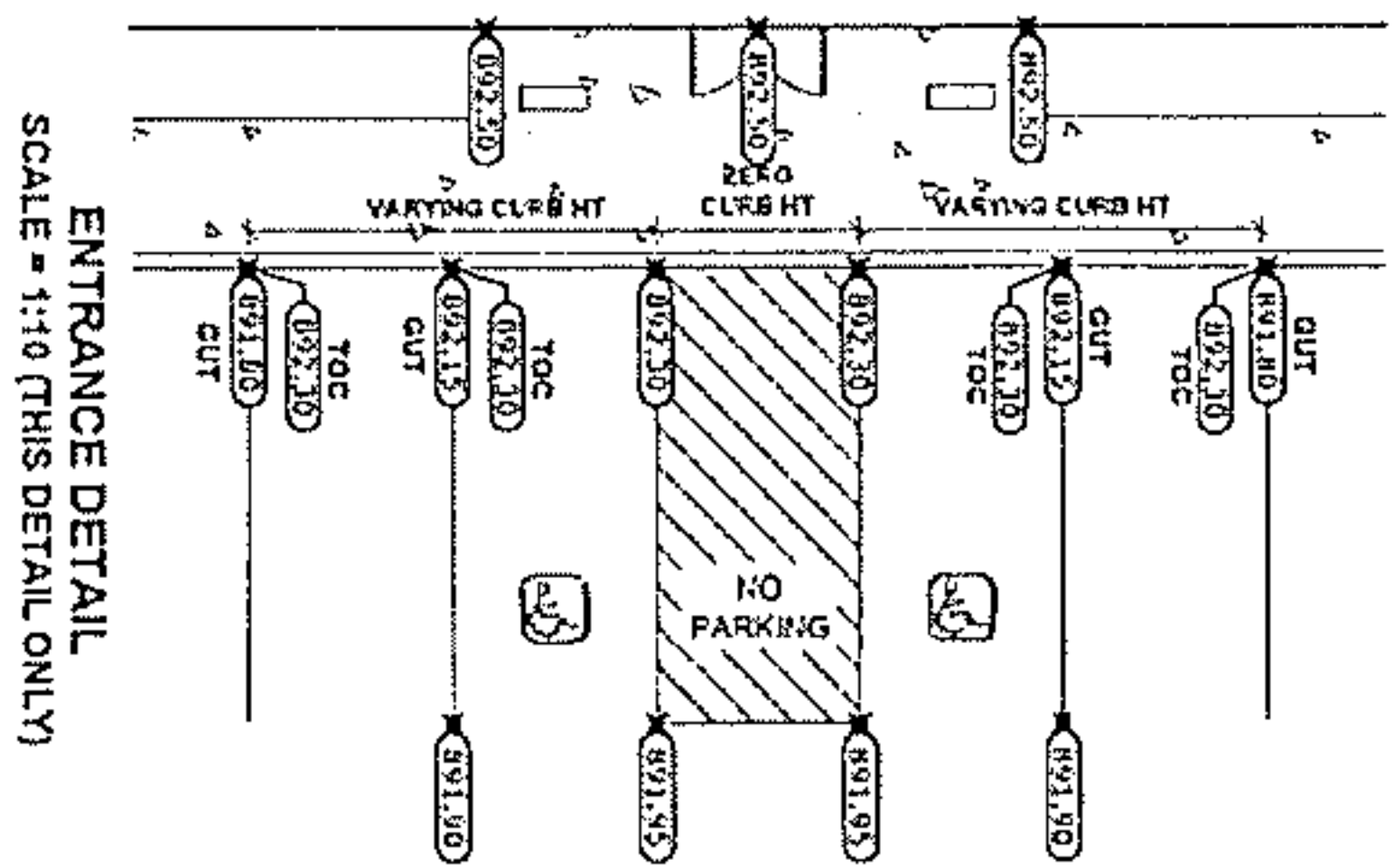


PLOWE
ENGINEERING, INC.
8776 LAKE DRIVE
SUITE 110
LINO LAKES, ILL 60014
PHONE: (551) 361-8210
FAX: (551) 361-8701

46 3957



SHEET C1.1	SOLID ROCK CONSTRUCTION OFFICE HAM LAKE, MN CIVIL SITE PLAN PREPARED FOR: SOLID ROCK CONSTRUCTION	I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.  ADAM KINKEL Date: 07.09.2026 License No. 43563	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>8</td><td></td></tr> <tr><td>7</td><td></td></tr> <tr><td>6</td><td></td></tr> <tr><td>5</td><td></td></tr> <tr><td>4</td><td></td></tr> <tr><td>3</td><td></td></tr> <tr><td>2</td><td></td></tr> <tr><td>1</td><td></td></tr> </table>	8		7		6		5		4		3		2		1		DRAWN BY: AG JOB NO.: 26-2262 CHECK BY: MJA DATE: 06/09/26	 PLOWE ENGINEERING, INC. 6776 LAKE DRIVE SUITE 110 UNO LAKES, MN 55314 PHONE: (651) 361-4210 FAX: (651) 361-4701
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		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%;">NO.</th> <th style="width: 10%;">DATE</th> <th style="width: 80%;">DESCRIPTION</th> </tr> <tr> <td>1</td> <td>07.09.26</td> <td>RFC REVIEW & 1</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	07.09.26	RFC REVIEW & 1													
NO.	DATE	DESCRIPTION																			
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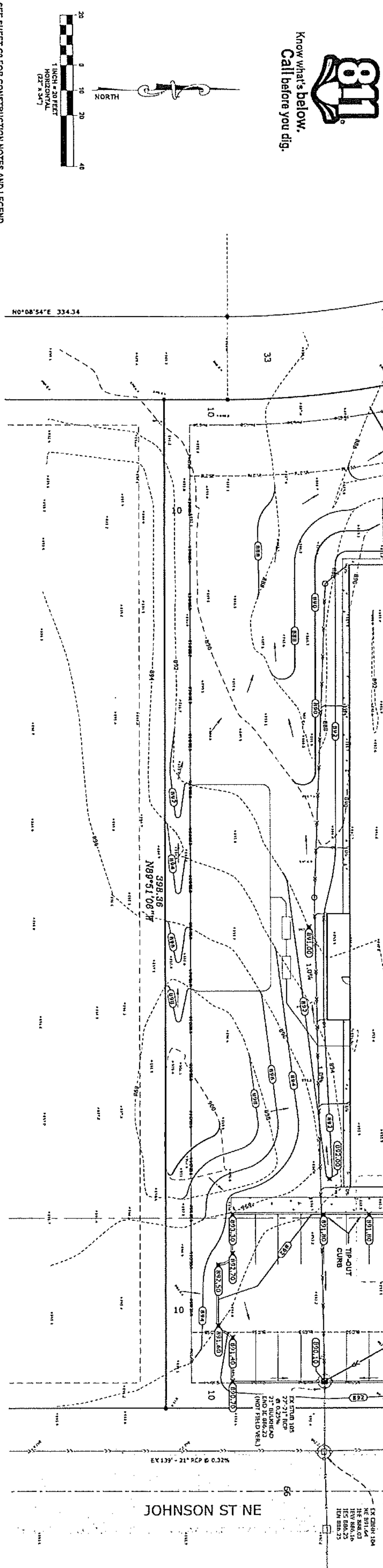
PER THE APPROVED STORMWATER MANAGEMENT PLAN FOR ELWELL COMMERCIAL PARK, THE ALLOWABLE IMPERVIOUS FOR LOT 3 IS 53,000 SQUARE FEET. THE PROPOSED IMPERVIOUS COVERAGE IS 40,340 SQUARE FEET.

- ADDITIONAL EROSION AND SEDIMENT CONTROL NOTES:
1. STABILIZE EXPOSED SOILS WITHIN 7 DAYS.
 2. SNEED SEDIMENT THAT HAS TRACKED ONTO ADJACENT ROADWAYS DAILY.

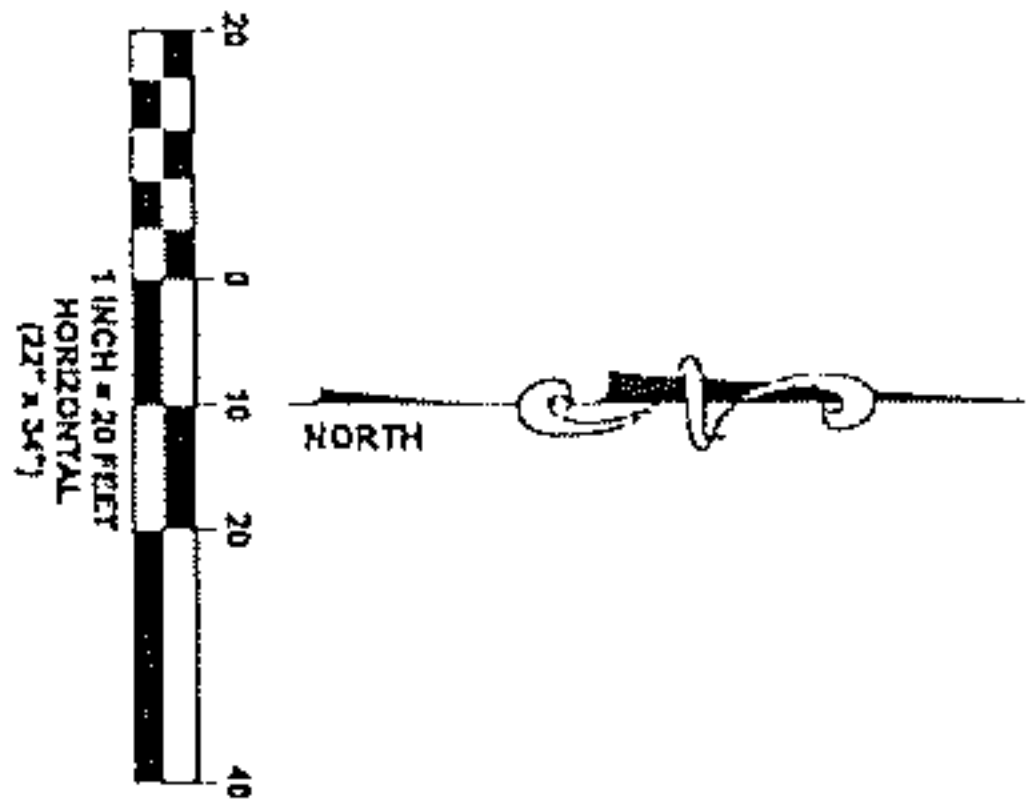
PROVIDE INLET SEDIMENT CONTROL FOR ALL NEW CATCH BASINS WITHIN 24 HOURS OF INSTALLATION. ALSO PROVIDE FOR EXISTING CATCH BASINS THAT WILL RECEIVE RUNOFF FROM DISTURBED AREAS (TYP)

PROVIDE REDUNDANT SEDIMENT CONTROL MEASURES (E.G. SECOND ROW OF SILT FENCE, BERM, OR OTHER ENGINEER APPROVED METHOD) TO PREVENT SEDIMENT FROM TRACKING OFF OF DELINEATION WITHLAND EDGE (TYP)

EXISTING POND NWL 884.5 HWL 884.2



SEE SHEET C0 FOR CONSTRUCTION NOTES AND LEGEND



SOLID ROCK CONSTRUCTION OFFICE
HAM LAKE, MN
GRADING, DRAINAGE & ESC PLAN
PREPARED FOR: SOLID ROCK CONSTRUCTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.

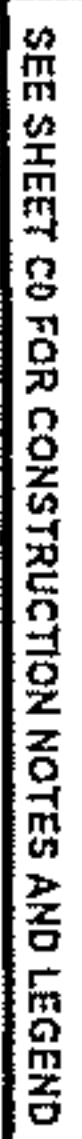
Adam J. Givens
ADAM GIVENS
Date: 07.14.2026 License No. 43563

NO	DATE	DESCRIPTION
1	07.14.26	ADDITIONAL SILT FENCE ADDED
2	07.09.26	RFC REVIEW #1

DRAWN BY: AG
JOB NO.: 28-2262
CHECK BY: MOA
DATE: 06.09.26

PLOWE ENGINEERING, INC.
8776 LAKE DRIVE
SUITE 110
ELWELL LAKE, MN 55524
PHONE: (555) 361-8210
FAX: (555) 361-9701

SHEET
C2.1

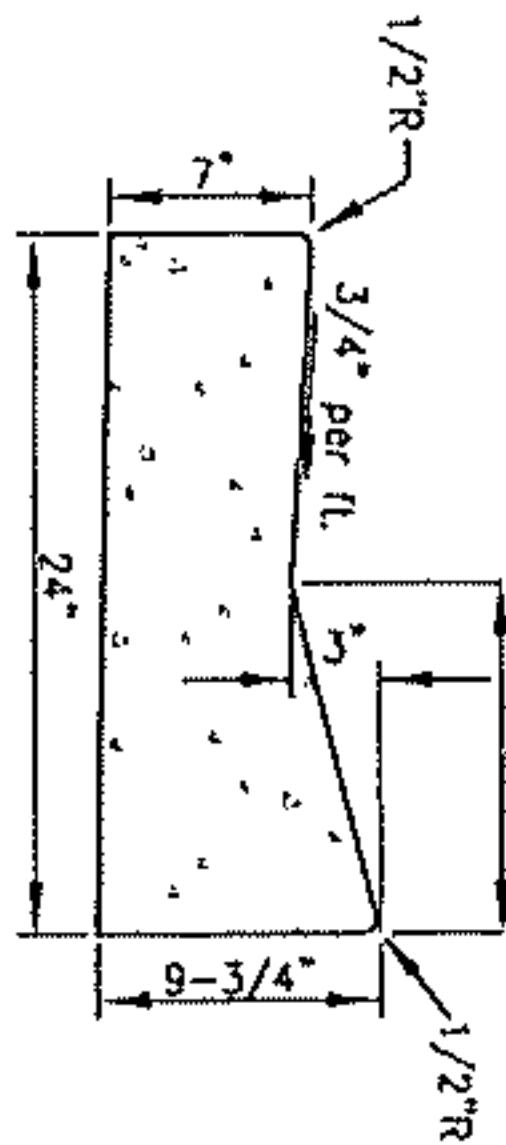


PREPARED FOR: SOLID ROCK CONSTRUCTION

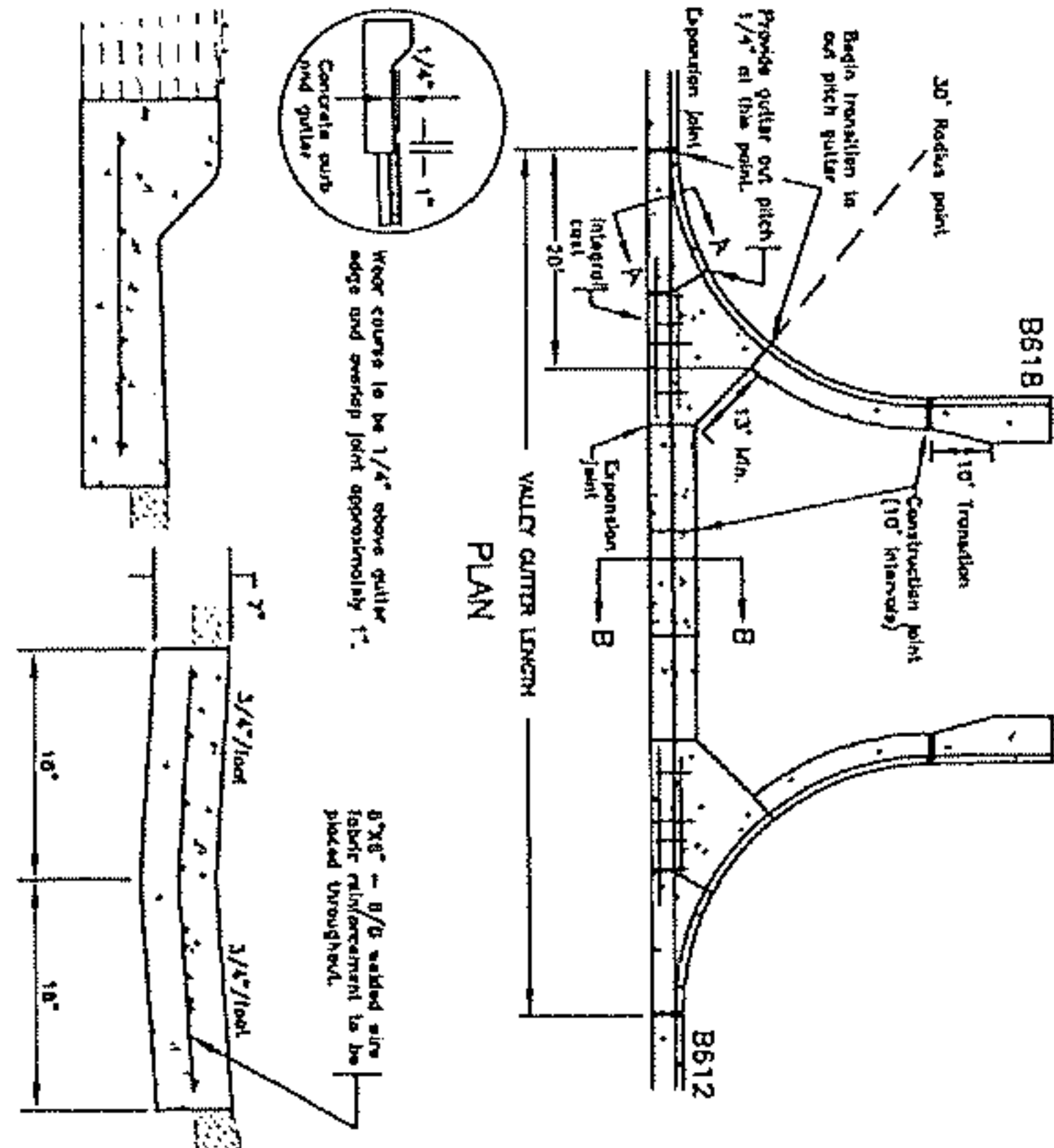

ADAM C. PIKEL
Date: 07.09.2025 License No. 43563

DRAWN BY: AG
JOB NO: 76-2262
CHECK BY: MOA
DATE: 06-09-76

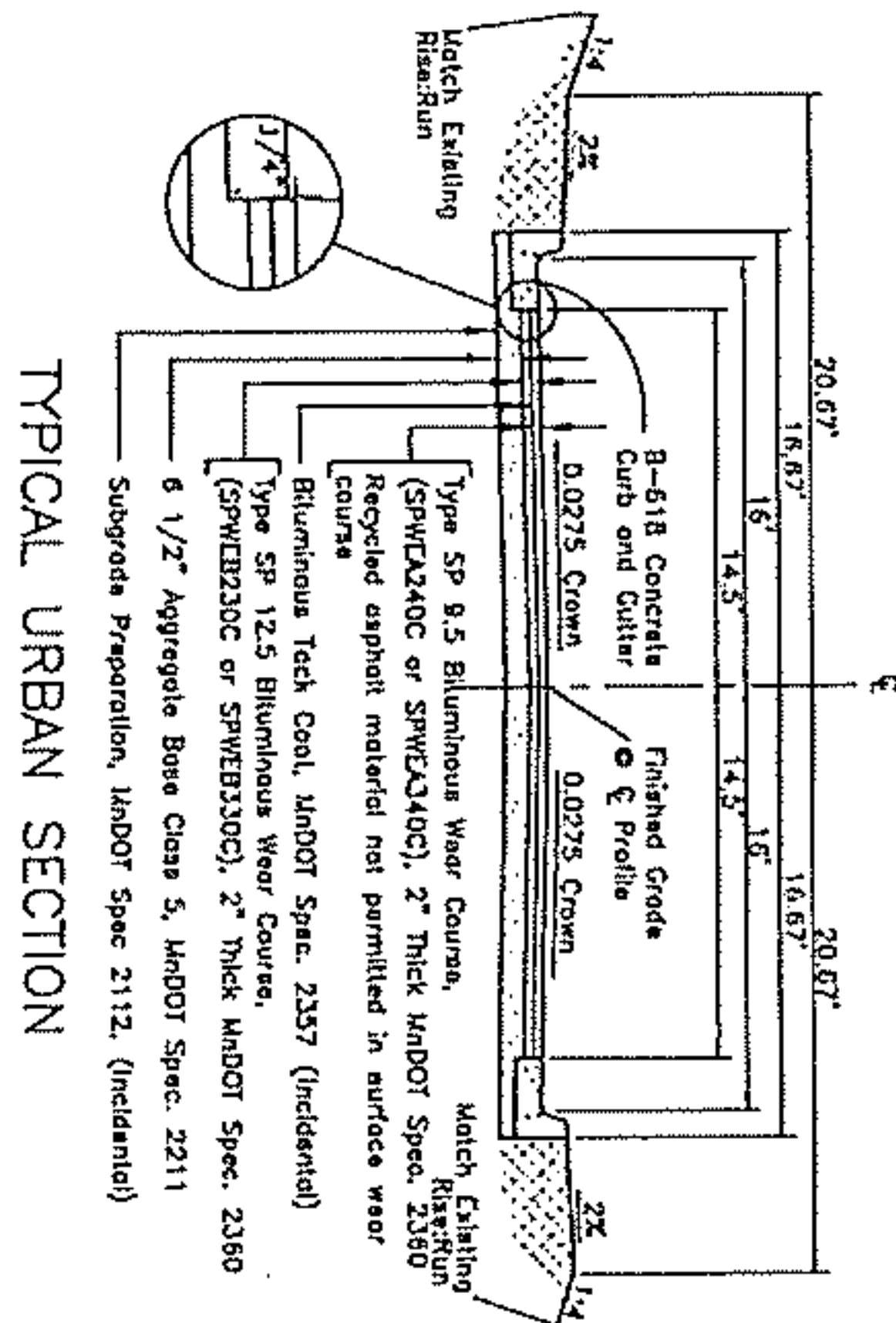




D312 MODIFIED
CONCRETE CURB AND GUTTER HL-355A
NOT TO SCALE

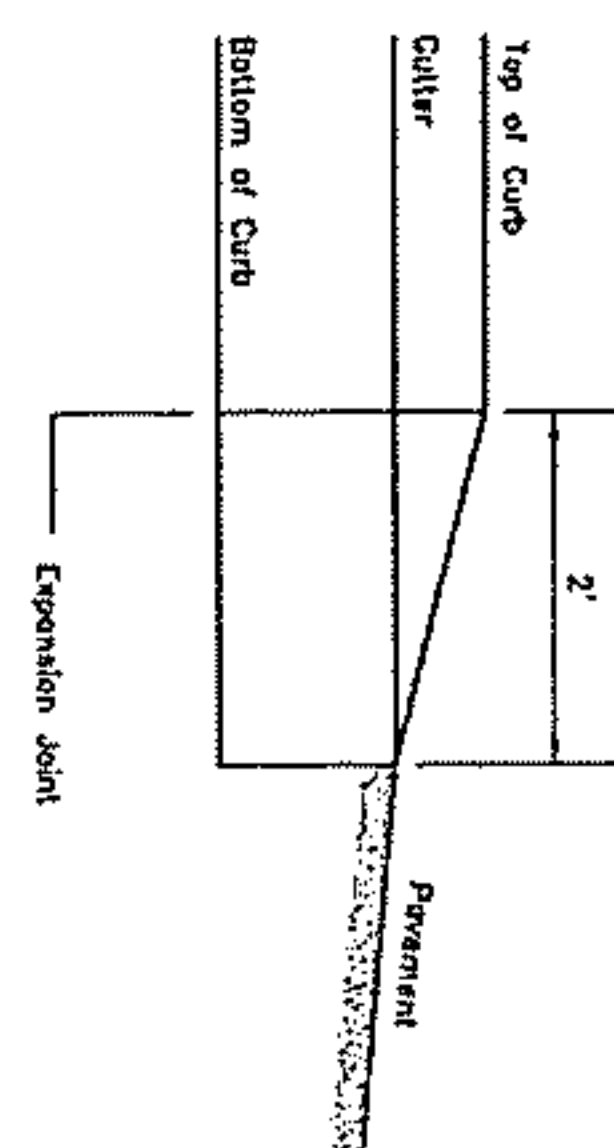


SECTION A-A
SECTION B-B
CONCRETE VALLEY GUTTER HL-355C
NOT TO SCALE

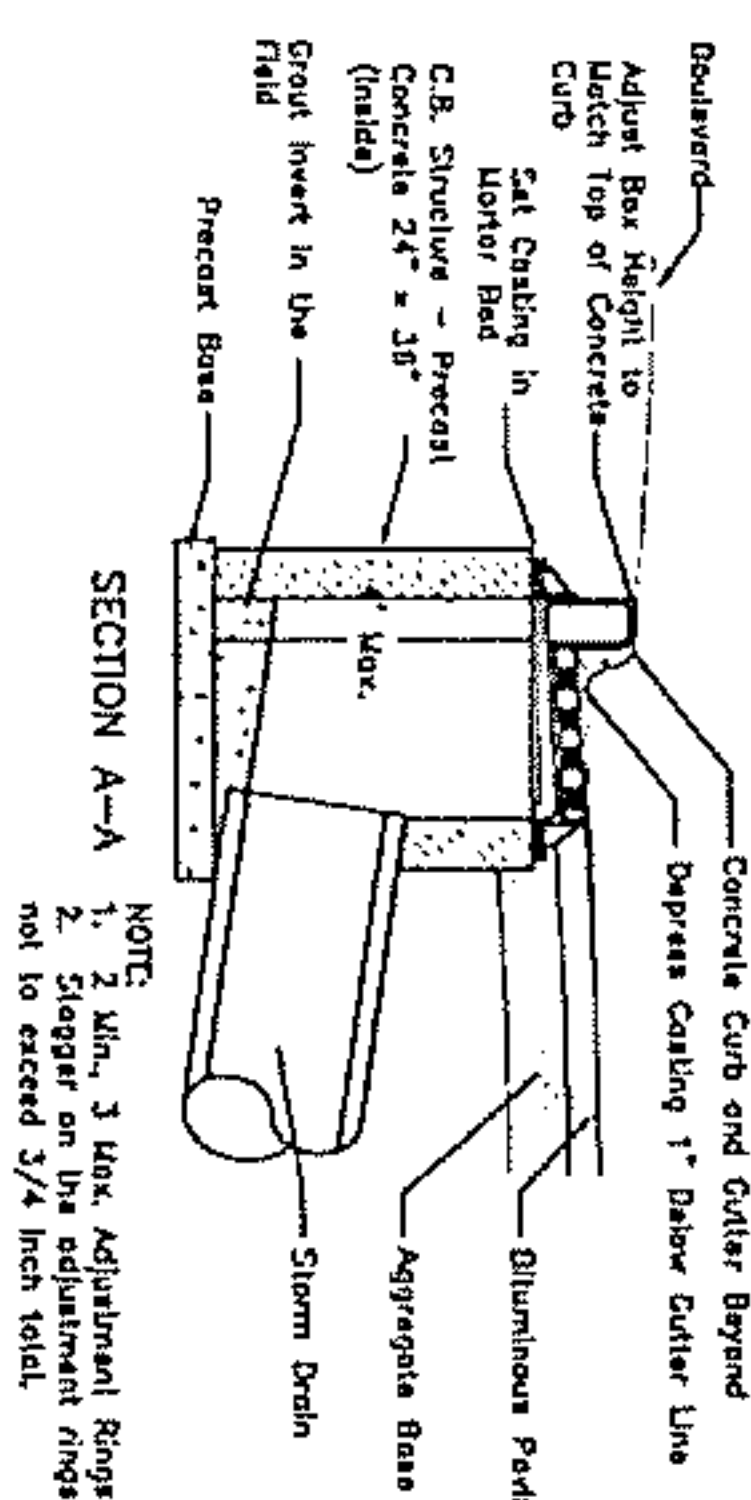
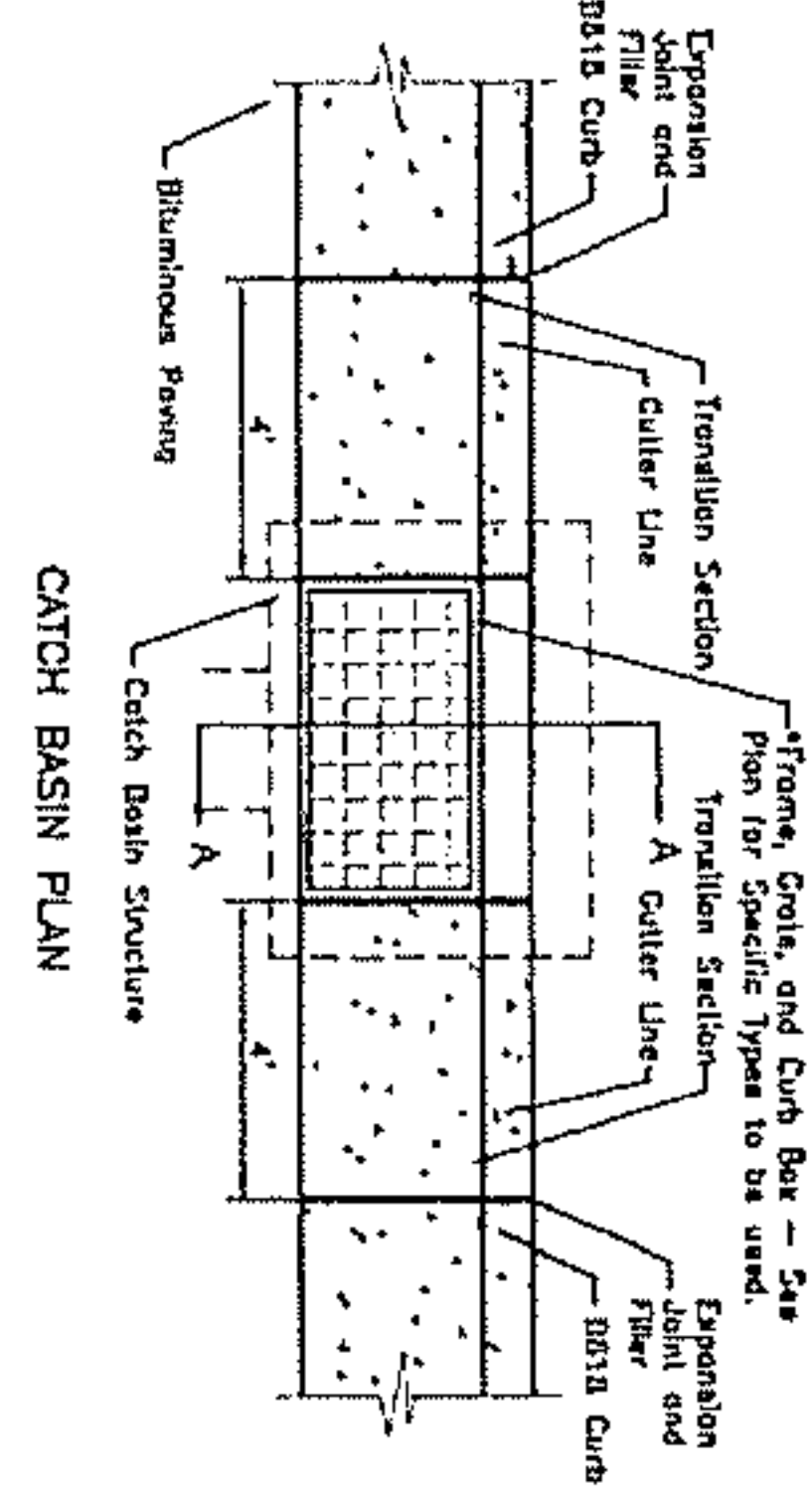


TYPICAL 9 TON COMMERCIAL STREET HL-366B1
NOT TO SCALE

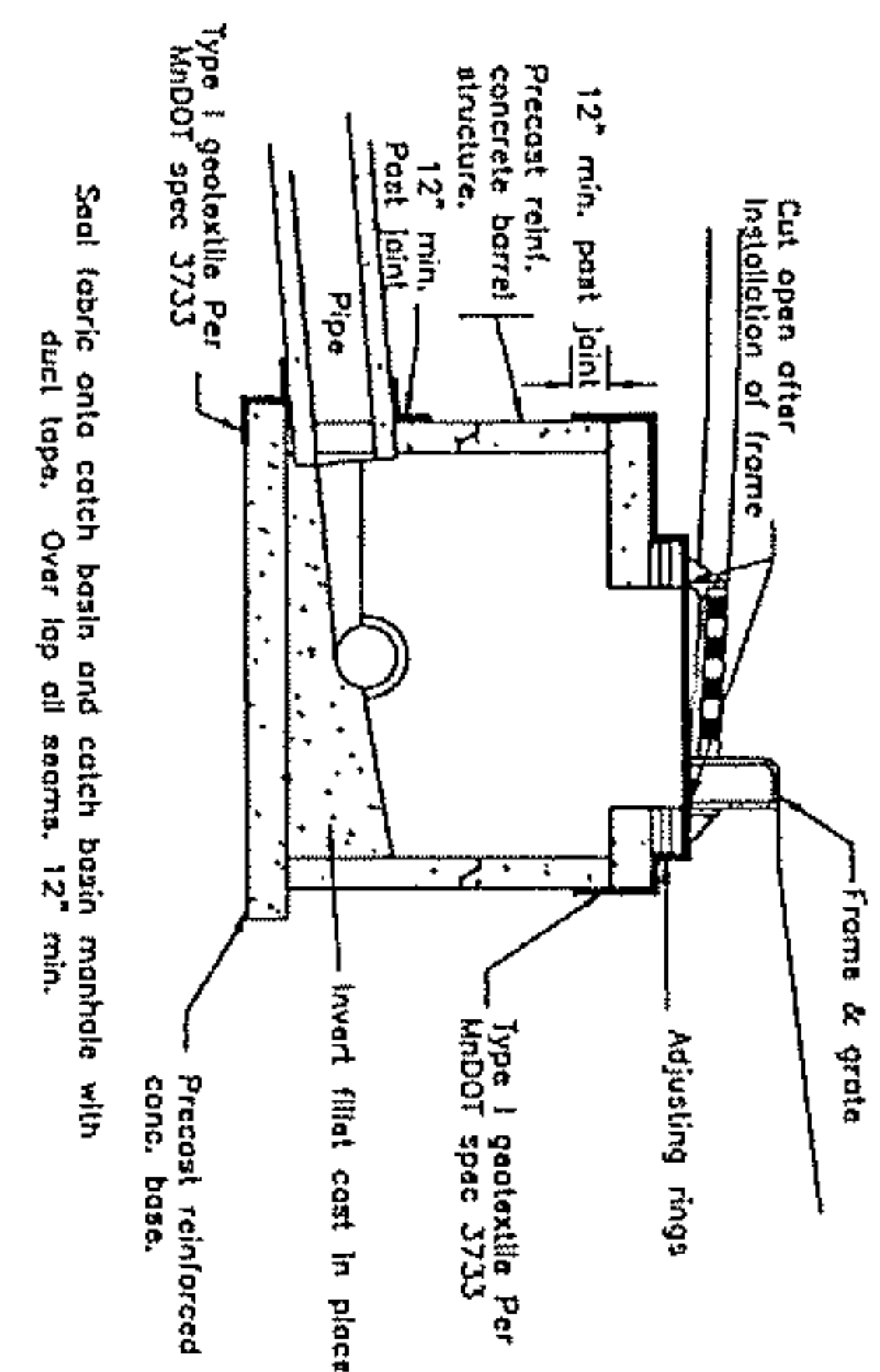
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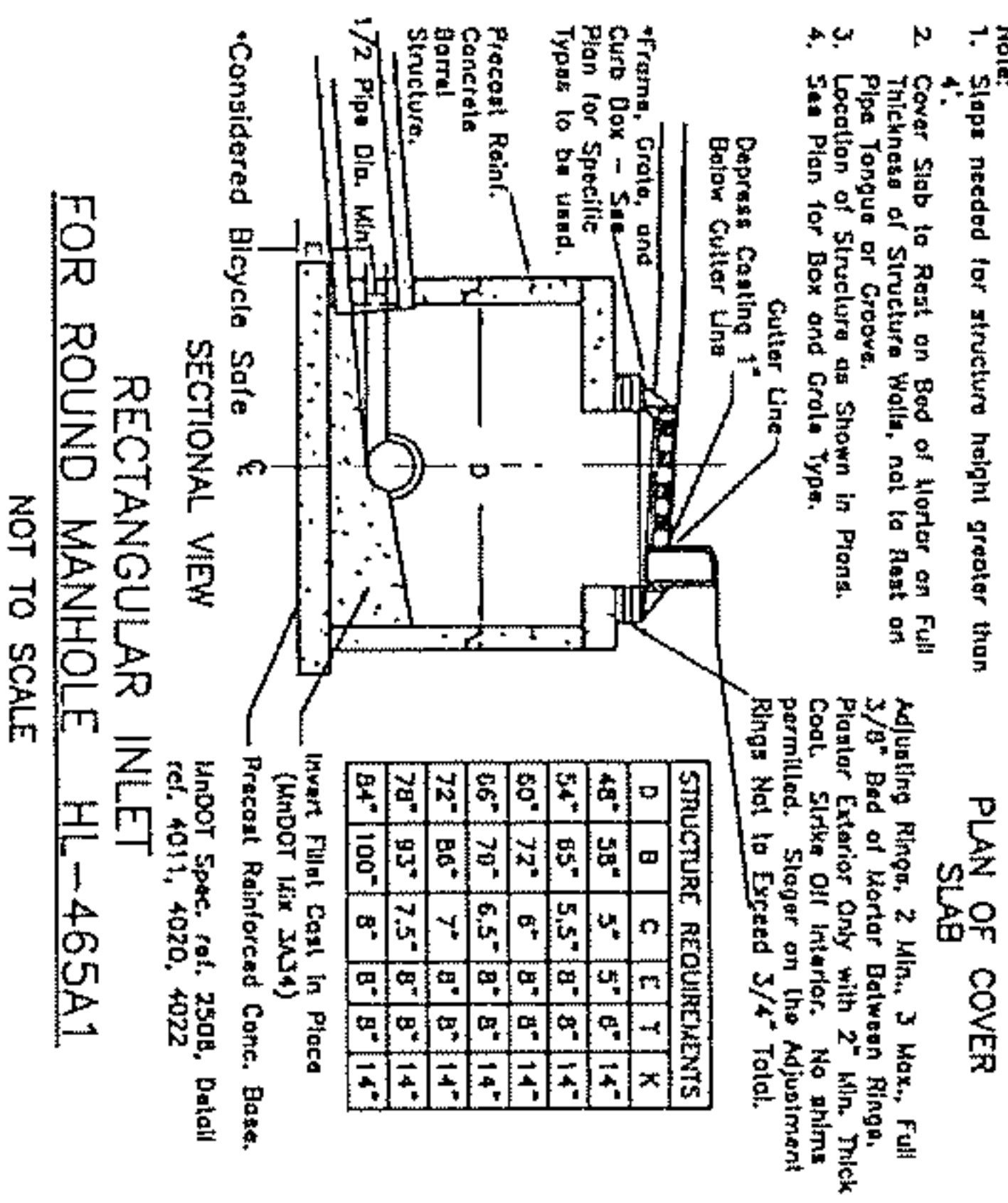
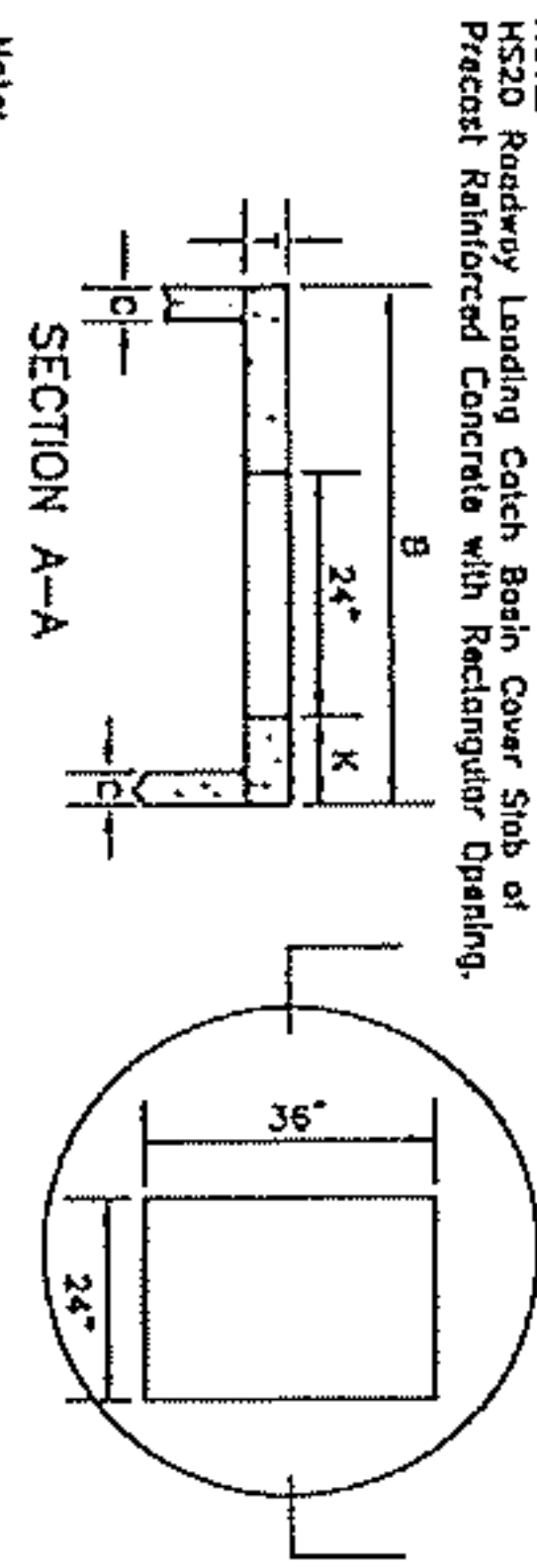
CURB END DETAIL HL-389A
NOT TO SCALE



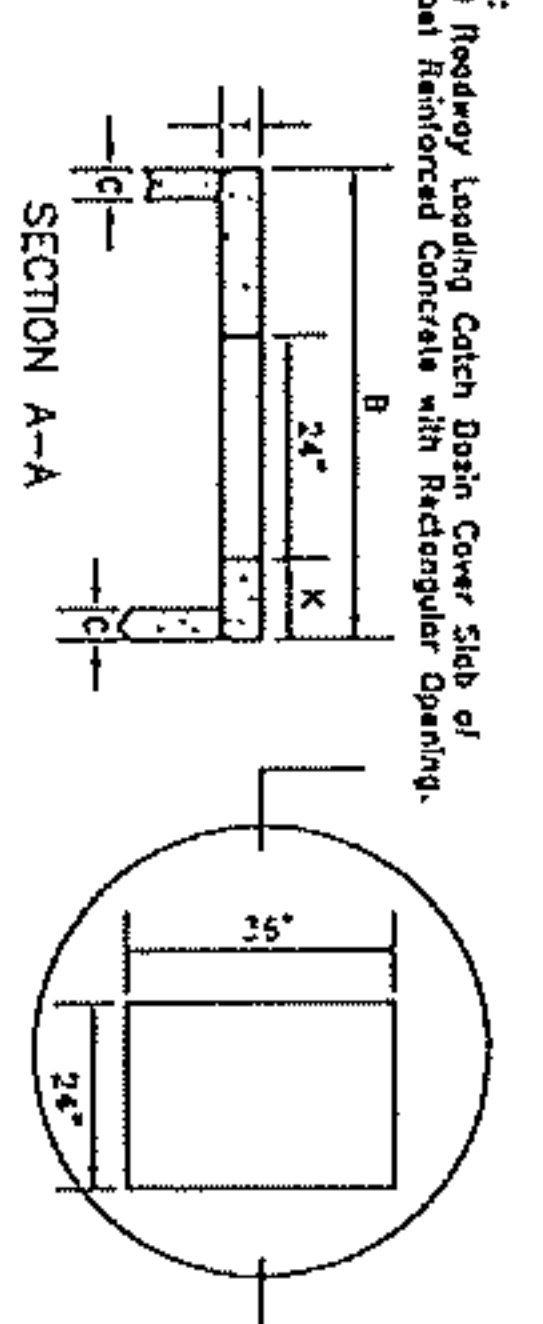
RECTANGULAR CATCH BASIN HL-459C
NOT TO SCALE



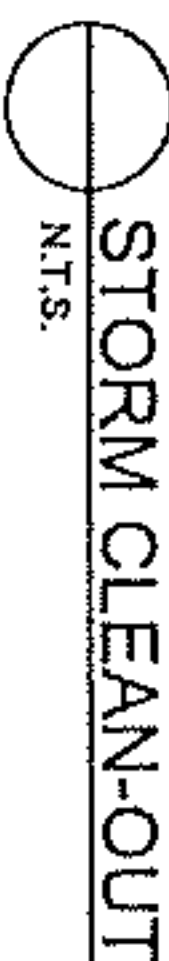
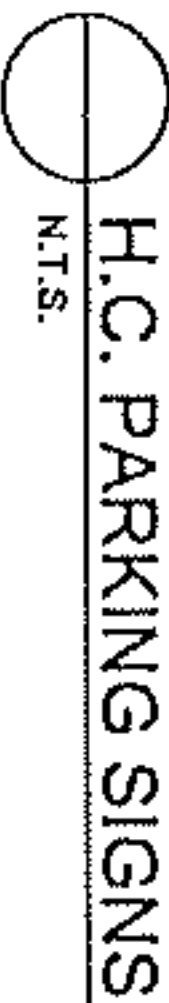
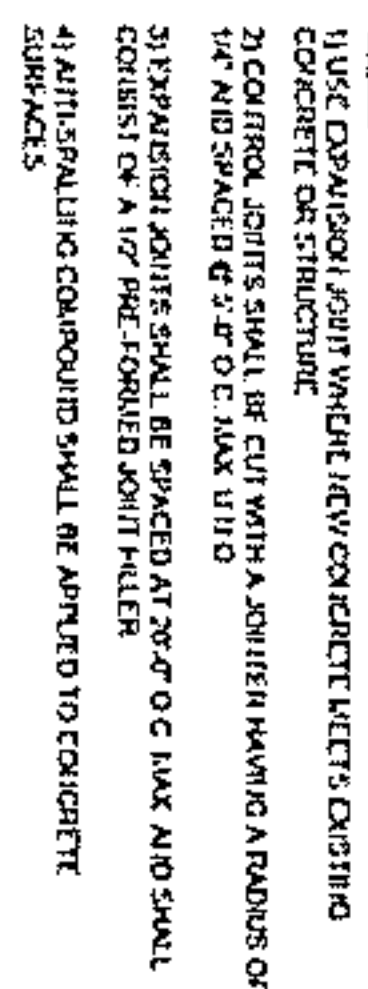
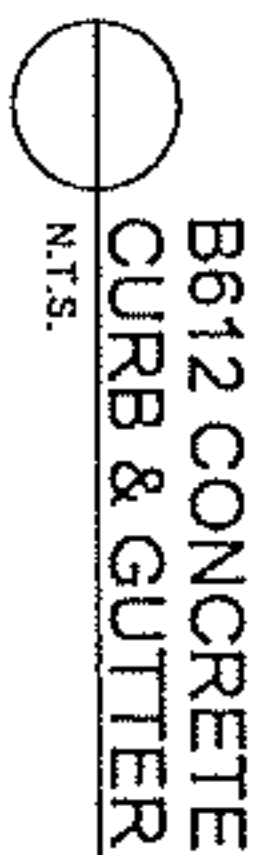
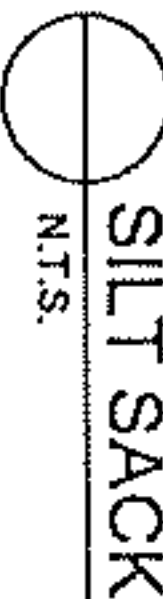
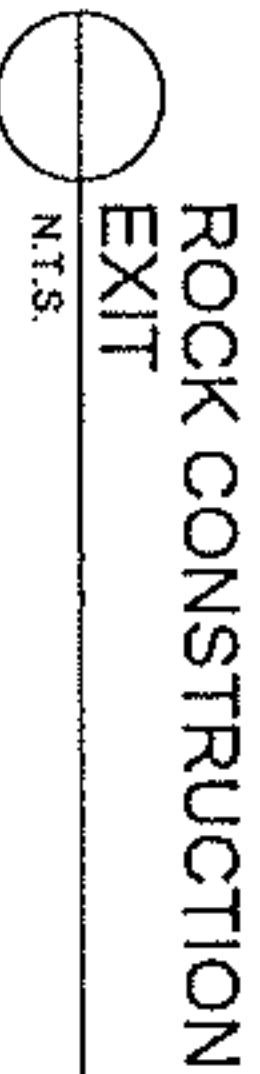
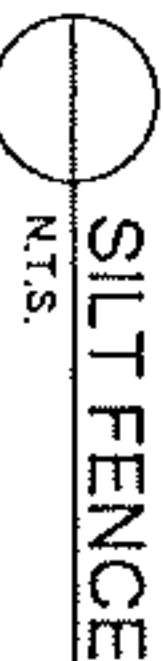
FABRIC AROUND CATCH BASIN HL-463A1
NOT TO SCALE

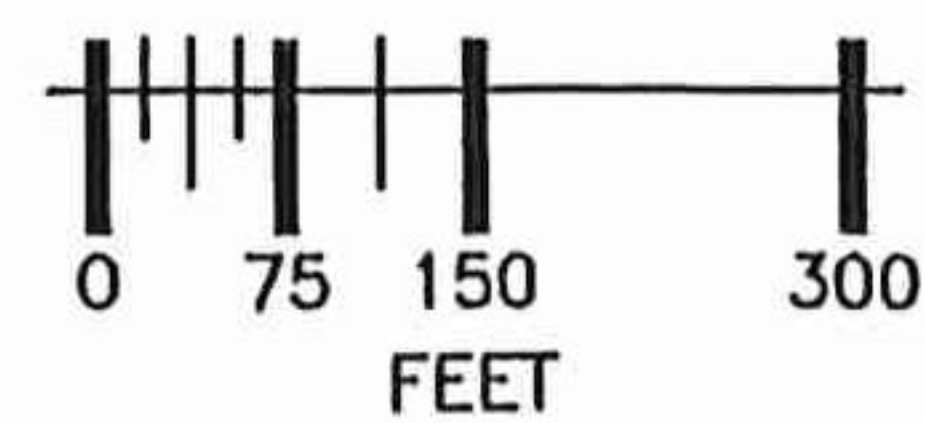
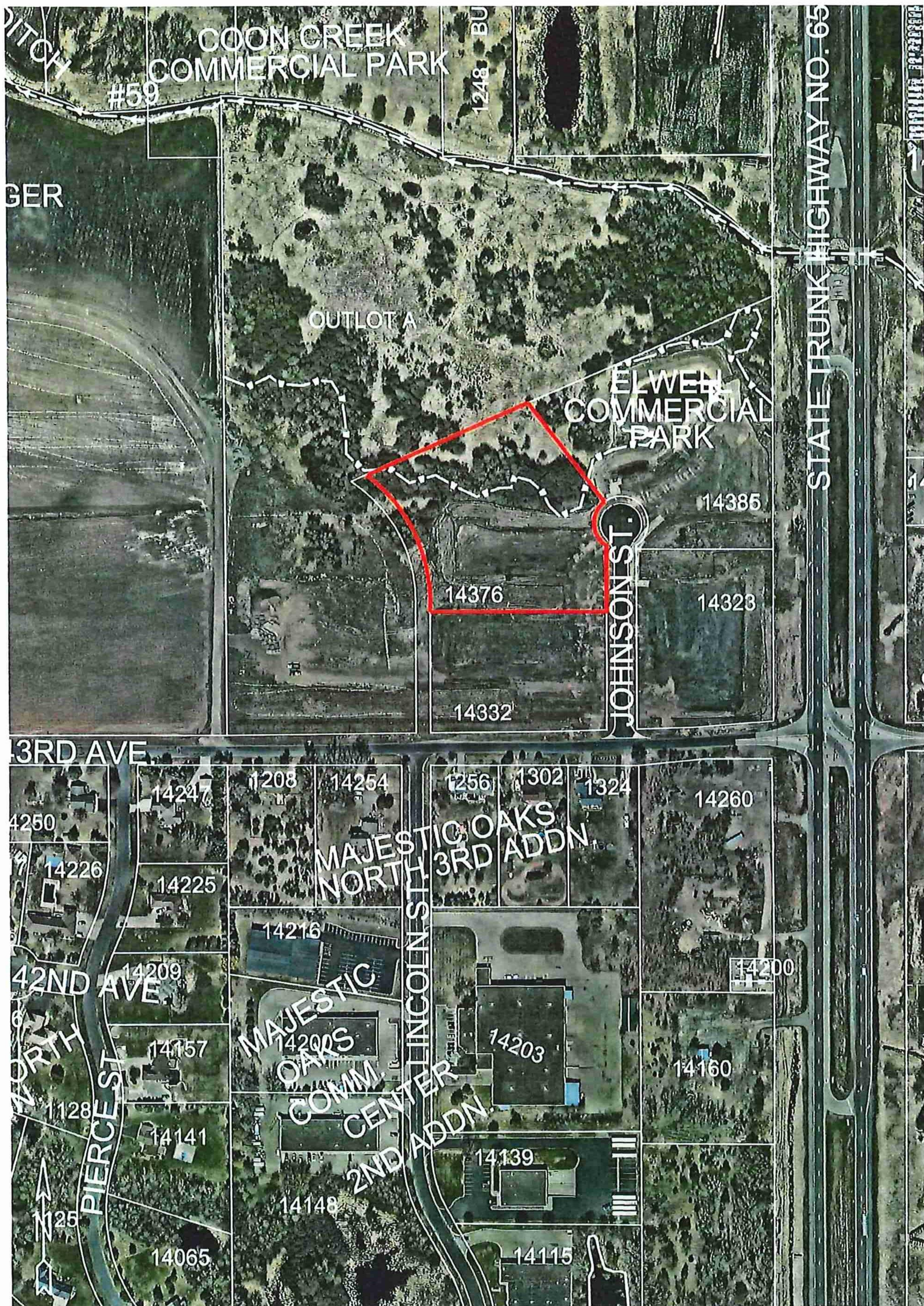


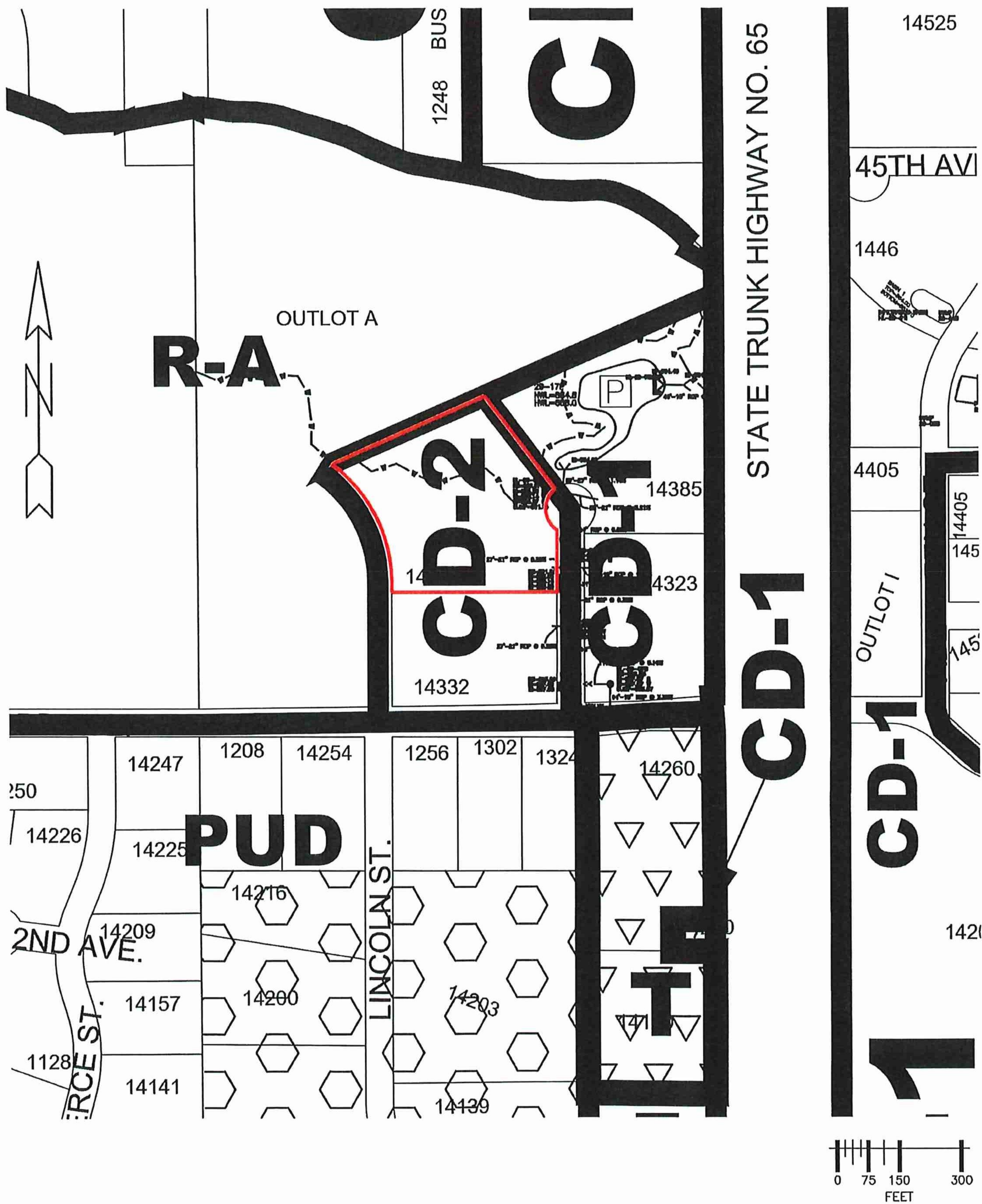
RECTANGULAR INLET
FOR ROUND MANHOLE HL-465A1
NOT TO SCALE



RECTANGULAR INLET
FOR ROUND MANHOLE HL-465A2
NOT TO SCALE







CITY OF HAM LAKE



QUARTER				QUARTER				INDEX			
22	21	12	11	22	21	12	11	22	21	12	11
23	24	13	14	23	24	13	14	23	24	13	14
32	31	42	41	32	31	42	41	32	31	42	41
33	34	43	44	33	34	43	44	33	34	43	44

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES, AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

- E. Other areas where other than natural wooded vegetation is to be used as ground cover, identifying the ground cover to be used;
- F. Locations, trunk size, height and species of all trees to be planted;
- G. Locations where existing natural wooded vegetation will remain undisturbed;
- H. All other landscaping features to be used.

11-1850 MINIMUM LANDSCAPING REQUIREMENTS

11-1851 Paved Surfaces All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall be surfaced with asphalt or concrete, to specifications established by the City's engineer.

11-1852 Ground Cover On any side of a lot which abuts a public road, the area from the road right-of-way to the nearest building side shall be entirely covered with ground cover consisting of pavement, decorative rock bordered with edging, lawn grass intended for regular mowing, mulch, bark, wood chips or other commonly used landscaping ground cover. Shingles, aggregate and clay mixtures such as Class V material, recycled concrete or asphalt, and other non-conventional ground covers shall not be permitted. Loose ground cover shall be installed to a depth of at least three inches. Any area which is covered by landscaping ground cover (not lawn or pavement) shall also include one decorative shrub for each ten square feet of ground cover.

Side yards and rear yards which do not contain existing natural wooded vegetation shall either be covered with ground cover in the manner stated above for front yards, or shall be planted so as to encourage the emergence of natural wooded vegetation, through the planting of tree species expected to reach a height of at least twenty five feet. Areas so prepared shall not be required to have mown lawn areas, but may be allowed to return to a natural state.

11-1853 Tree Plantings Trees which are planted outside of areas intended to return to a natural wooded state shall be of a variety indigenous to the local climate. Deciduous trees shall, when planted, have a trunk size of at least one and one half inches at a height of four feet from ground level. Conifers shall have a height of at least five feet. Tree locations are subject to review and approval of the City in the landscaping plan review process, and while no specific number of trees are required, the following general principles shall be observed;

- A. Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years;
- B. Decorative trees shall be planted along the right of way lines of adjacent public roadways;

- C. The use of conifers shall be encouraged and preferred.
- D. Whenever possible, an attempt will be made to preserve stands of existing vegetation, particularly treed or wooded areas.

11-1860 Case by Case Evaluation

Recognizing that the City contains a wide variety of commercial land, the landscape approval process shall be on a case by case basis. Where wetlands are present, or where large distances separate a commercial lot from adjacent lands, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.

11-1900 ILLICIT DISCHARGES AND CONNECTIONS TO STORM DRAINAGE SYSTEM

The purpose of this ordinance is to provide for the health, safety, and general welfare of the citizens of Ham Lake through the regulation of non-storm water discharges to the storm sewer drainage system to the maximum extent practicable as required by federal and state law. This ordinance establishes methods for controlling the introduction of pollutants into the Municipal Separate Storm Sewer System (MS4) in order to comply with requirements of the National Pollutant Discharge Elimination System (NPDES) permit process. The objectives of this ordinance are:

1. To regulate and minimize the contribution of pollutants to the municipal separate storm sewer system (MS4) by stormwater discharges by any user.
2. To prohibit Illicit Connections and Discharges to the municipal separate storm sewer system.
3. To establish legal authority to carry out all inspection, surveillance and monitoring procedures necessary to ensure compliance with this ordinance.

11-1900.10 DEFINITIONS

For the purposes of this Code, the following shall mean:

- a) **Authorized Enforcement Agency:** employees or designees of the Administrator of the City of Ham Lake designated to enforce this Ordinance.
- b) **Best Management Practices (BMPs):** schedules of activities, prohibitions of practices, general good house keeping practices, pollution prevention and educational practices, maintenance procedures and other management practices to prevent or reduce the

~of~ ELWELL COMMERCIAL PARK
~for~ LINCOLN STREET COMMERCIAL, LLC

FARGO, ND 58106
(701) 219-4828

 DENOTES SOIL BORING BY TWADEWELL SOIL TESTING

 DENOTES HYDROLOGIC OR FRICTIONAL BORING

 BY MANUAL GEOTECHNICAL SERVICES

 DENOTES EMERGENCY OR BLOWUP ELEVATION

 DENOTES EXISTING SPOIL ELEVATION

- [illegible]

[illegible]

MNDOT NAME: OZOB N
CSID STATION: #563
ELEVATION: 899.297 (14AVD88



NORTH

PROOF OF CALCULATIONS
AND SIGNATURE BEHOLD BY
THE ENGINEERING INC.

PLOWE
ENGINEERING, INC.
6726 LAKE DRIVE
SUNNYVALE, CA 94014

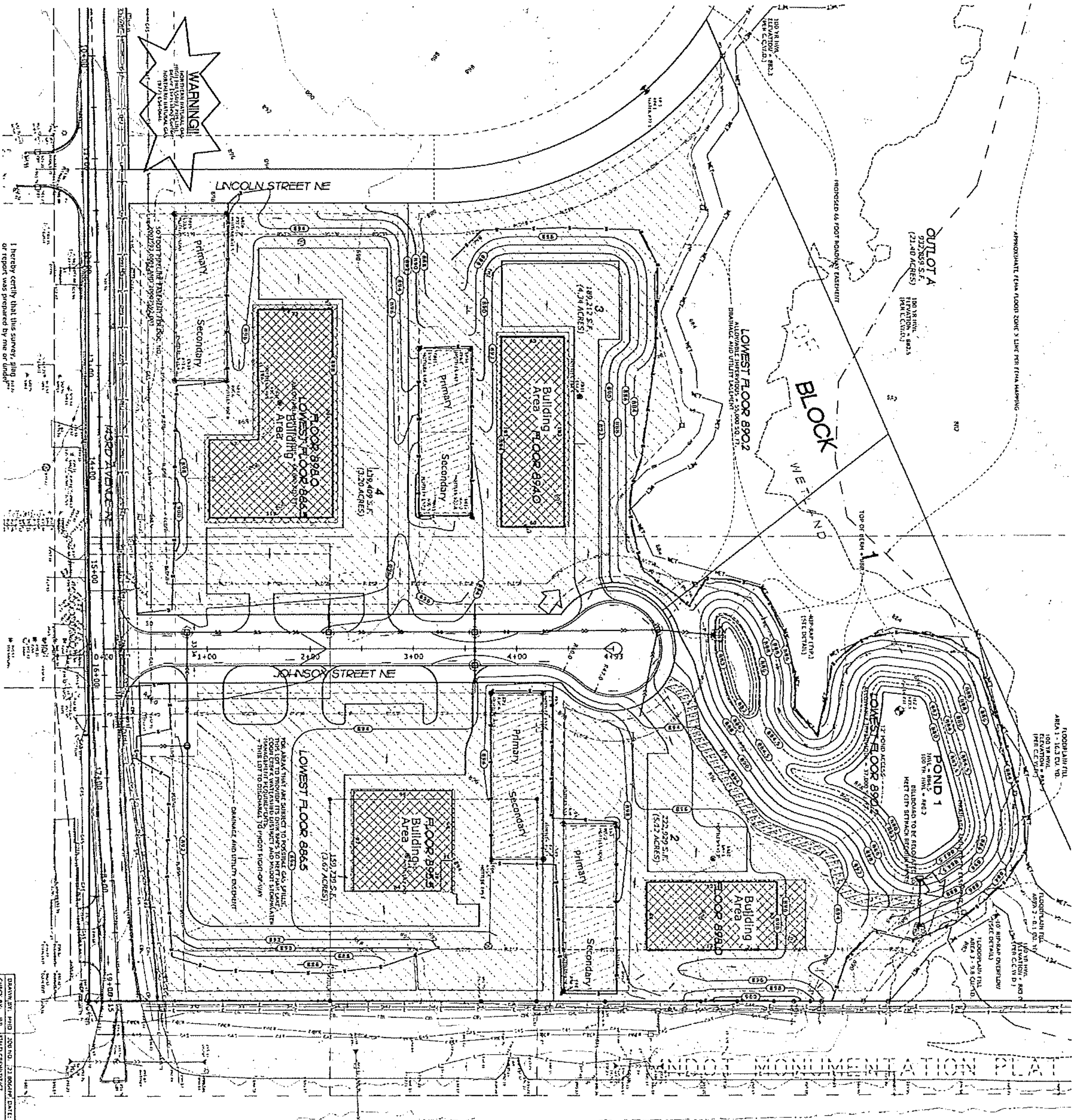
ART PLANNING
I HEREBY CERTIFY THAT THE FOLLOWING
MANAGEMENT AND PERFORMANCE REPORT FOR THIS
PROJECT WAS PREPARED BY THE ENGINEER, AND THAT
THE ENGINEER HAS BEEN AWARE OF THE DESIGN
PROFESSIONAL ENGINEER UNDER THE LAWS OF
THE STATE OF CALIFORNIA.

DATE: 03.29.2025 LIC. NO. 43932

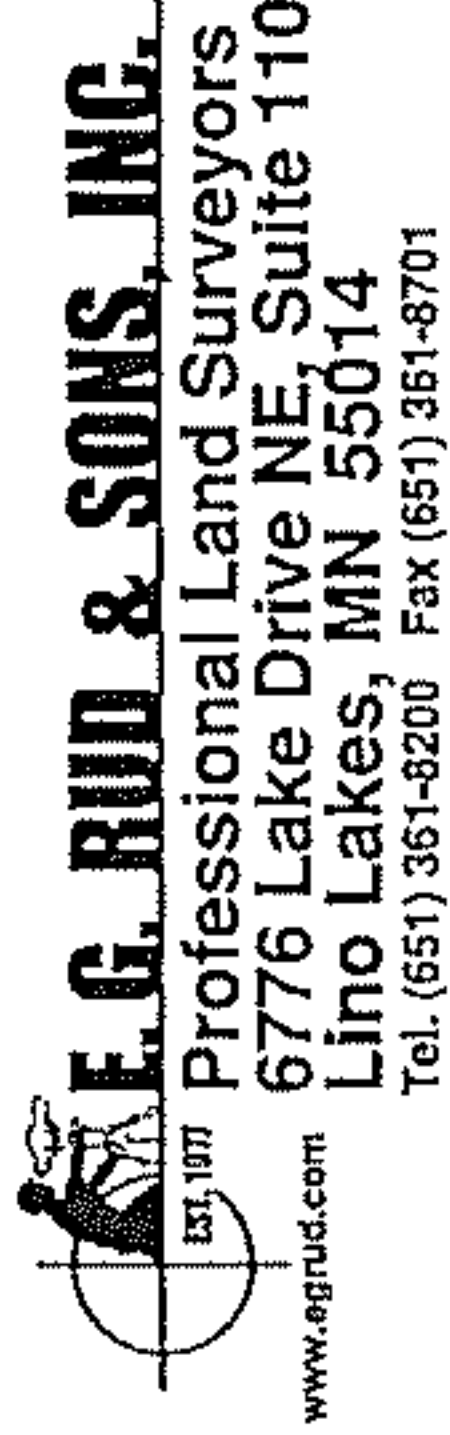
ADAM GINKEL

Adam Ginkel

**E.C. RUD & SONS, INC.**
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701
www.ecrud.com

[illegible]

ELWELL COMMERCIAL PARK
LINCOLN STREET COMMERCIAL, LLC
P.O. BOX 9076
FARGO, ND 58106
(701) 219-4828



Tel. (651) 361-8200 Fax (651) 361-8701

Date: 05/29/2025 License No. 41578

NOTES. (V) INDICATES STATIC GROWTH/NOVATEH PLEVATION

DRAWN BY: MHD	JOB NO: 21-0064PP	DATE: 09/10/24
CHECK BY: J.R.	FIELD CHIEF: DT/CT	
1	10/10/24	CITY / WATER-SHED COMMENTS: MHD
2	11/27/24	CITY COMMENTS: MHD
3	12/10/24	CITY COMMENTS: MHD
4	04/29/25	WORK / 143RD: MHD
5	05/19/25	FINAL PLAT: MHD
NO.	DATE	DESCRIPTION
BY		

CLICKY A

RESOLUTION NO. 26-10
A RESOLUTION TO GRANT A BUILDING PERMIT TO KWIK TRIP, INC. ON LOT 1,
BLOCK 1 IN THE ELWELL COMMERCIAL PARK AND TO REMOVE LOT 1,
BLOCK 1 OF ELWELL COMMERCIAL PARK FROM CERTAIN DEVELOPMENT
AGREEMENTS

WHEREAS, on December 9, 2025 the City of Ham Lake ("City") entered into that certain Development Agreement with Lincoln Street Commercial Development, LLC ("Developer") for the development of the Elwell Commercial Park ("Development Agreement"), a copy of which is attached as Exhibit A;

WHEREAS, on December 9, 2025 the City entered into that certain Short Form Development Agreement with Developer regarding the development of certain lots in the Elwell Commercial Park ("Short Development Agreement"), which was recorded on December 9, 2025 as Doc. No. 2455082.002 in the Anoka County Minnesota Recorder's Office, a copy of which is attached as Exhibit B;

WHEREAS, Section 3.18 of the Development Agreement requires that the Developer remove the billboard located on the Development that is in violation of City Code ("Billboard") by December 31, 2025;

WHEREAS, Section 3.18 of the Development Agreement requires the Developer to have turf establishment completed by July 1, 2026 (Note, the Development Agreement erroneously indicates July 1, 2025);

WHEREAS, Section 3.22 of the Development Agreement requires the Developer to convey all outlots that do not meet livability standards to be adjoined to adjacent parcels;

WHEREAS, Section 4.1 of the Development Agreement prohibits the Developer from conveying any part of the Development Property to any party until the Project has been accepted by the City;

WHEREAS, Section 3.21 of the Development Agreement indicates that the City may withhold building permits or certificates of occupancy if the Developer is in default of its obligations under the Development Agreement;

WHEREAS, as of February 2, 2026, the Developer has not removed the Billboard nor has it conveyed Outlot A to the adjacent property with PID 29-32-23-32-0005;

WHEREAS, Kwik Trip, Inc. ("Kwik Trip") desires to purchase Lot 1, Block 1 of Elwell Commercial Park, Anoka County, Minnesota ("Property") and has taken significant steps toward the construction of a Kwik Trip Convenience Store/Fueling Station ("Store") on the Property;

WHEREAS, Kwik Trip will not move forward with its plans to purchase the Property with the concern that the City will not issue a building permit to Kwik Trip or will take other negative action against Kwik Trip or the Property if the Developer is determined to be in default of the Development Agreement or Short Development Agreement for its failure to remove the Billboard or transfer Outlot A to PID 29-32-23-32-0005;

WHEREAS, the Billboard is not located on the Property that Kwik Trip intends to purchase;

WHEREAS, the Developer has an agreement with the owner of PID 29-32-23-32-0005 to convey Outlot A to the owner of PID 29-32-23-32-0005;

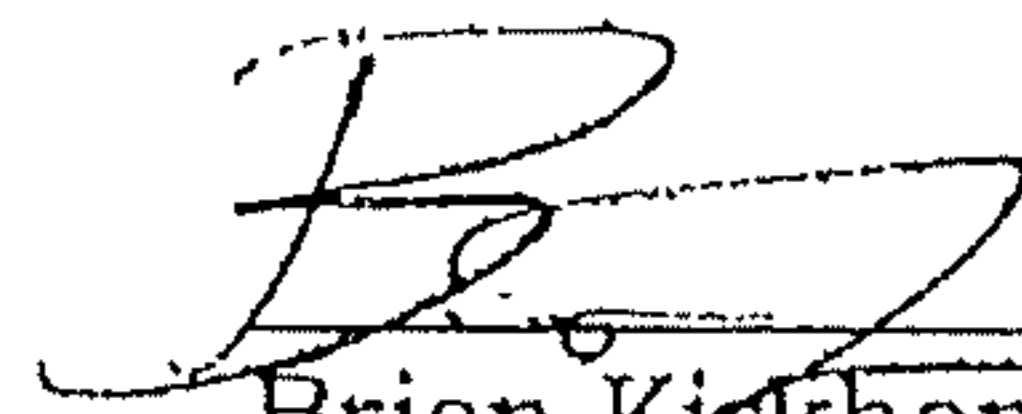
WHEREAS, the Developer is not in default regarding turf establishment;

WHEREAS, the City sees a substantial benefit to the citizens of Ham Lake in having a Store constructed by Kwik Trip on the Property, which outweigh the imposition of the requirements, obligations and limitations contained in the Development Agreement and the Short Development Agreement on the Property as it pertains to the removal of the Billboard and the transfer of Outlot A.

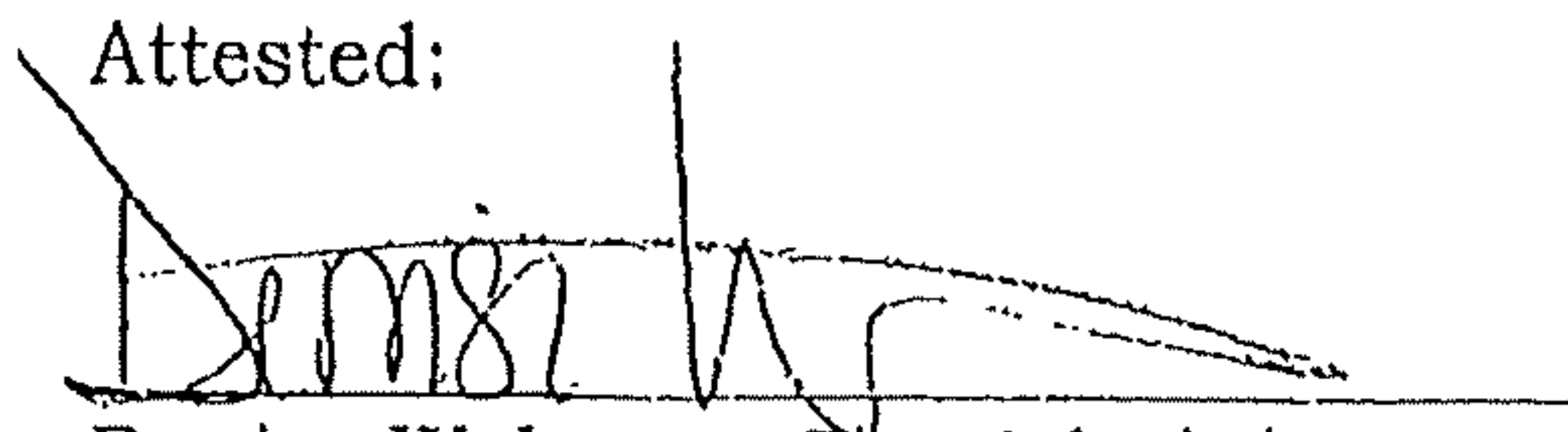
NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HAM LAKE, MINNESOTA AS FOLLOWS:

1. That the sale of Lot 1, Block 1 of Elwell Commercial Park by the Developer to Kwik Trip, Inc. is hereby approved.
2. That the City Building and Zoning Official issue a building permit to Kwik Trip if Kwik Trip meets all requirements of City, County and State laws as well as requirements of the City Engineer even if the Developer is in default of the terms of the Development Agreement or Short Development Agreement for failure to remove the Billboard, failure to transfer Outlot A to PID 29-32-23-32-0005, or failure to properly establish turf.
3. That all terms and conditions of the Development Agreement and Short Development Agreement remain in full force and effect, including, but not limited to, the City's ability to withhold the issuance of building permits on all other lots in Elwell Commercial Park if the Developer is in default of its obligations under the Development Agreement or Short Development Agreement.

Passed by the City Council of Ham Lake, Minnesota this 2nd day of February, 2026.


Brian Kirkham, Mayor

Attested:


Denise Webster, City Administrator

David Krugler

From: MS4Front <do_not_reply@ms4prod.ms4front.net>
Sent: Tuesday, July 14, 2026 10:18 AM
To: hw@srcmn.com
Cc: permitsubmittals@cooncreekwd.org; Dwebster@hamlakemn.gov; David Krugler; adam@plowe.com
Subject: CCWD Notice of Permit Application Status

Project: Solid Rock Construction Building

Permit Application Number: P-26-036

Applicant (Property Owner): Harlan Worsham

Purpose: New building with adjacent parking facilities; project falls within Elwell Commercial Park which has a regional pond

Location: 14376 Johnson St NE

At their meeting on 07/13/2026 the Board of Managers of the Coon Creek Watershed District conditionally approved the above referenced project with 2 conditions and 3 stipulations. **This is NOT a permit.**

Prior to permit issuance, the following conditions must be fulfilled.

Conditions:

1. Update plans to include the following: A note to stabilize exposed soils within 7 days, a note to sweep tracked sediment at the end of the day, provide perimeter controls down gradient of all exposed soils for entirety of site.
2. Submittal of a performance escrow in the amount of \$6,800.00.

After issuance, the permit will include the following stipulations that will need to be fulfilled before permit closeout:

Stipulations:

1. Follow Soil Amendment Plan (C3.1) that was provided for P24-048 Elwell Commercial Park permit for this site.
2. The applicant must apply for coverage under the Minnesota Pollution Control Agency's (MPCA's) Construction Stormwater Permit (Permit No: MNR100001).
3. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.

Please respond to each of the above items in writing when resubmitting revised materials to the District. Please use the link below when submitting all project documents.

[Access Permit # P-26-036 Here](#)

Please be advised that this is NOT a permit, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rules. If you have any questions, please call 763-755-0975.