



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, AUGUST 11, 2025

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: July 28, 2025

PUBLIC HEARING: None

NEW BUSINESS:

1. Marta Nandlall of Nishan Auction and Sales LLC, requesting a Certificate of Occupancy to operate a used car dealership at 15035 Aberdeen Street NE.
2. John Markquart of Markquart Ham Lake, LLC, requesting Commercial Site Plan approval to reconstruct and expand the hard surface parking area at 14525 Highway 65 NE.

COMMISSION BUSINESS:

1. City Council Update

CITY OF HAM LAKE
PLANNING COMMISSION MINUTES
MONDAY, JULY 28, 2025

The Ham Lake Planning Commission met for its regular meeting on Monday, July 28, 2025, in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Dave Ringler, Jeff Entsminger, David Ross, and Erin Dixon

MEMBERS ABSENT: Commissioners Kyle Lejonvarn and Jonathan Fisher

OTHERS PRESENT: City Engineer Dave Krugler and Building and Zoning Clerk Jennifer Bohr

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Ross, seconded by Entsminger, to approve the minutes of the July 14, 2025, Planning Commission meeting as written. All present in favor, motion carried.

PUBLIC HEARING: None

NEW BUSINESS:

Jason Osberg, of JD Ham Lake Holdings, LLC, requesting revised Sketch Plan approval of Kohler Farms, a 43-lot single family residential development in Section 13

Mr. Darren Lazan, Mr. Jason Osberg and two members of the Kohler family were present. Mr. Lazan spoke on behalf of the project. Chair Pogalz stated the original sketch plan of 39 lots was reviewed in April. Chair Pogalz asked Engineer Krugler to provide an explanation as to why a sketch plan for this plat was being reviewed a second time. Engineer Krugler stated the farmstead was excluded from the original sketch plan; the developer has now decided to include the farmstead in the plat which changed the plat boundaries. Engineer Krugler stated by including the farmstead within the plat, the need for a lot line adjustment for the 15946 Lexington Avenue NE parcel, to make some other lots buildable, was eliminated. Chair Pogalz asked the applicant to inform the commissioners about what has changed in addition to the outer boundary of the development. Mr. Lazan stated it was determined that it would be simpler to include the

farmstead in the development to minimize the process of vacating and rededicating easements. Mr. Lazan stated the plat now contains 43 lots: 42 new lots plus the existing farmstead parcel. Mr. Lazan presented a rendering of the proposed plat to provide a visual of what he and his partner believe the final plat will look like. Mr. Lazan stated the number of lots within the project are driven by viable septic areas. Mr. Lazan stated after soil boring results were obtained, two cul-de-sacs were added in the west central and southern parts of the plat which allowed for lot reconfiguration and the addition of three additional lots. Mr. Lazan stated the project will involve significant earthwork and some deep ponds will be created. Mr. Lazan stated wetland areas will remain, and they intend to preserve a significant amount of trees. Mr. Lazan stated the four southernmost lots will likely be custom graded due to the lots being in a wooded, wetland area. Mr. Lazan stated they have been in contact with their builder pool and have most of the lots pre-sold. Chair Pogalz expressed concern with the cul-de-sac in the northeast area of the plat exceeding 1,100 feet in length. Chair Pogalz stated at the March meeting, Mr. Lazan had expressed concern about the viability of the development due to wetlands limiting the number of lots that could be created on the land; now three additional lots are being proposed. Chair Pogalz asked Engineer Krugler to comment. Engineer Krugler stated 124 acres will now be developed instead of 113 acres. Engineer Krugler stated the 15946 Lexington Avenue NE parcel is now included in the plat. Engineer Krugler stated a bike trail easement will need to be dedicated along the west side of Lexington Avenue NE; the entire bike trail easement will now be credited toward parkland dedication requirements. Engineer Krugler stated a trail is shown in the mid-section of the development to allow residents from the northeast area of the plat to access the park in the Enchanted Estates development. Engineer Krugler commented on the proposed cul-de-sac on Hupp Street NE and 160th Avenue NE. Engineer Krugler stated the temporary cul-de-sac created on Hupp Street NE with the Hamlet Estates development is 553 feet leaving for the allowance of a 547 feet extension into the Kohler Farms development. Engineer Krugler stated access points onto Lexington Avenue NE are not going to be permitted due to future road improvements by Anoka County on Lexington Avenue NE and other traffic obstacles created by an existing gas station, 161st Avenue and other residences in the area. Engineer Krugler stated due to driveway access point limitations onto Lexington Avenue NE, and wetlands within the proposed development, it seems that the proposed emergency access trail, with a limited-access fire lane from Lexington Avenue NE to 160th Avenue NE, seems like the best option to offset the exceedance of the cul-de-sac maximum length. Engineer Krugler stated there is one other limited-access fire lane in the city, in the Townhomes of Majestic Oaks Fourth Addition development. Commissioner Entsminger asked if certain criteria would need to be met if the city permitted the emergency access trail. Engineer Krugler stated the developer has presented multiple access options for the northeast area of the plat that did not work out and are at the point of proposing a limited-access fire lane. Engineer Krugler stated it is his opinion that the limited-access fire lane is a viable option, but the Planning Commission will need to determine if that is acceptable. Engineer Krugler stated reconfiguration of the roadway in the northeast corner could be done so that another cul-de-sac branches off from the proposed cul-de-sac. Engineer Krugler stated that when another cul-de-sac starts, the 1,100-foot measurement restarts, which is something else to consider. Mr. Lazan stated the emergency access trail, with a limited-access fire lane, will serve the nine lots in the northeast section of the plat as well as other parcels in

developments to the north. Mr. Lazan stated three options for access in the northeast section of the plat were presented the first time the sketch plan was reviewed which included a code compliant cul-de-sac with three driveways onto Lexington Avenue NE, one street access point from Lexington Avenue NE and this concept; the City Council approved this concept. Engineer Krugler stated it is a long distance, approximately 1,750 feet for emergency vehicles to travel within Hamlet Estates from the one access point on Constance Boulevard NE to the southernmost parcel of that development. There was discussion about emergency access to homes in the Hidden Forest East development. Commissioner Entsminger stated he is concerned that if the longer cul-de-sac is permitted in the northeast area of the plat, it will set precedence for future developments. Engineer Krugler reiterated that the revised sketch plan includes the fourth option presented by the developer for access to the northeast area of the plat; other options could have more wetland impact. Engineer Krugler stated Coon Creek Watershed District and the Technical Evaluation Panel (TEP), the agency in charge of reviewing plans to determine if wetland impacts are warranted, will choose plans that have the least wetland impact. Engineer Krugler stated the City Council will need to determine if what is being presented is acceptable. Commissioner Entsminger asked if Public Works would plow the lane. Engineer Krugler stated Public Works would plow the lane if there is a significant snowfall. Chair Pogalz stated Engineer Krugler provided examples related to lengthy access points within developments, particularly the Hidden Forest East development. Chair Pogalz stated although the access to the Hidden Forest East developments is very long, additional access points will be provided in the future. Engineer Krugler stated that was correct. Chair Pogalz stated the proposed access for the northeast area of this plat will not be expanded. Chair Pogalz asked how long the proposed cul-de-sac is. Mr. Lazan stated the cul-de-sac is approximately 1,400 feet long or 300 feet longer than allowed by Code. Mr. Lazan stated the cul-de-sac as presented allows them to develop two additional lots. Chair Pogalz asked if wetlands were being mitigated, regardless of the length of the cul-de-sac. Mr. Lazan stated the wetlands that would be mitigated by this concept are at a De minimis point which does not require them to go through the full wetland impact permitting process. Mr. Lazan estimated that wetland impacts would be quadrupled if a roadway connection needed to be made between 158th Lane NE and Hupp Street. Mr. Lazan stated the proposed trail just fits in the area shown on the plans. Chair Pogalz asked if a wetland delineation had been finalized. Mr. Lazan stated it is very close to being finalized. Chair Pogalz asked what Mr. Lazan predicts what the outcome of the wetland delineation will be. Mr. Lazan stated the path in the middle of the proposed development should be approved; what is currently being reviewed by the TEP panel is the two lots west of Hupp Street NE; those two lots will not have any impact on roadways. Chair Pogalz stated this situation seems to be like the discussion that was had on creating an access point in the southwest area of the proposed Elwell Farms development in that the TEP could deny a proposed roadway crossing wetlands that did not include adjacent buildable lots. Engineer Krugler stated several options are often presented to the TEP before the TEP provides a decision on what alternative would be allowed; the decision is generally based on the option that is reasonable for the work (building) that will be done in the area and that has the least possible impact to wetlands. Mr. Lazan stated the objective of their wetland impact application is to avoid, minimize and mitigate. Mr. Lazan stated the TEP has asked them many questions about a trail over the wetland area. Mr. Lazan stated he feels the TEP would be critical of a revised proposal that would propose

a roadway, instead of a trail, through the wetlands. Chair Pogalz stated the topography of the land in Ham Lake does present challenges for development but he is still concerned about the cul-de-sac exceeding the 1,100-foot allowance. Chair Pogalz stated the revised sketch plan being reviewed has not changed much; it has been refined, a few lots have been added, and it now includes the farmstead. Chair Pogalz stated that because the original sketch plan was approved, and there have been limited changes to the revised sketch plan, there are not enough substantial changes to require a road where the trail is proposed in the central area of the plat. Commissioner Dixon asked if the City Attorney has reviewed the plat. Commissioner Dixon asked if the City Council discussed the potential impacts of allowing a cul-de-sac more than 1,100 feet long in addition to the proposed emergency access trail. Chair Pogalz stated he understands the road and trail configuration presented in the revised sketch plan is one of three options, and variances, are sometimes granted for hardship situations. Chair Pogalz stated his concern, and question for the City Council and City Attorney, is, will approving the 1,400 foot cul-de-sac create issues in the future. Chair Pogalz stated he would like the City Council and City Attorney to review and discuss the proposed 1,400-foot cul-de-sac and determine if by approving the plans, as presented, will set an unfavorable precedence. Commissioner Entsminger stated he agreed with Chair Pogalz's comments. Engineer Krugler stated the City Council has approved variances for other unique situations. Engineer Krugler stated there has to be a hardship to allow a variance from city requirements. Engineer Krugler stated he will talk with the City Attorney about this situation. Chair Pogalz asked Mr. Lazan if he had read Engineer Krugler's memo and understood parkland dedication requirements. Mr. Lazan stated he had read the memo and did understand the requirements. **Motion by Pogalz, seconded by Entsminger, to recommend approval of the revised Sketch Plan, presented by Jason Osberg of JD Ham Lake Holdings, LLC, for a 43-lot single family residential development in Section 13 subject to submitting a septic compliance inspection report to the city for the 15946 Lexington Avenue NE parcel with soil borings that indicate a suitable secondary septic location on the parcel, maintaining proper building setbacks on the 15945 Lexington Avenue NE parcel, obtaining approval from the Anoka County Highway Department for the proposed paved, emergency access trail in the northeast section of the plat, constructing a paved trail between 158th Lane NE and Hupp Street NE/160th Avenue NE, dedicating a 20-foot-wide bike trail easement west of Lexington Avenue NE along the eastern border of the plat, paying monies in lieu of parkland for parkland dedication with credit granted for trails and trail easements, modifying street names as directed by the City Engineer, completing a wetland delineation, obtaining Coon Creek Watershed District approval, completing a review by the Minnesota Department of Natural Resources' Natural Heritage Information System, meeting the requirements of the City Engineer and meeting all City, State and County requirements. All present in favor, motion carried. *This application will be placed on the City Council's Monday, August 4, 2025, agenda.***

COMMISSION BUSINESS:

City Council Update

Chair Pogalz stated the City Council concurred with the Planning Commission's recommendation to approve the preliminary plat and rezoning for Elwell Farms. Chair Pogalz stated the City Council agreed with the Planning Commission that the city cannot

require a private landowner to dedicate land for a snowmobile trail and agreed that the developer should not be required to pave 138th Avenue NE, Frazier Street NE and 139th Lane NE due to it being outside of the Elwell Farms plat boundary.

Engineer Krugler stated he will speak with Attorney Berglund about the concerns related to the cul-de-sac exceeding 1,100 feet. Chair Pogalz will speak with Mayor Kirkham about the concern the Planning Commissioners have related to the Hupp Street NE and 160th Avenue NE cul-de-sac to determine if a planning commissioner should be present at the August 4, 2025 meeting.

ADJOURNMENT:

Motion by Dixon, seconded by Entsminger, to adjourn the Planning Commission meeting at 6:38 p.m. All present in favor, motion carried.

Jennifer Bohr
Building and Zoning Clerk

**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: August 11, 2025

INSPECTION ISSUED TO: Jonathan Fisher

APPLICANT/CONTACT: Marta Nandlall

TELEPHONE NUMBER: 612-735-0766/marta@maya-maintenance.com

BUSINESS/PLAT NAME: Nishan Auction and Sales LLC

ADDRESS/LOCATION OF INSPECTION: 15035 Aberdeen St NE

APPLICATION FOR: Certificate of Occupancy

RECOMMENDATION: _____

DATE: _____

PLANNING COMMISSIONER SIGNATURE: _____



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 7-10-25

Date of Receipt 7-10-25

Receipt # 102990 Amount \$ 200.00

Meeting Appearance Dates:

Planning Commission 8-11-25

City Council _____

Please check request(s):

- ☐ Metes & Bounds Conveyance
- ☐ Sketch Plan
- ☐ Preliminary Plat Approval*
- ☐ Final Plat Approval
- ☐ Rezoning*
- ☐ Multiple Dog License*

- ☐ Commercial Building Permit
- ☒ Certificate of Occupancy
- ☐ Home Occupation Permit
- ☐ Conditional Use Permit (New)*
- ☐ Conditional Use Permit (Renewal)
- ☐ Other _____

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: Nishan Auction and Sales LLC

Address/Location of property: 15035 Aberdeen St NE Ham Lake, MN 55304

Legal Description of property: See Exhibit A.

PIN # 20-32-23-43-0022

Current Zoning CO-2 Proposed Zoning _____

Notes: Change of use of property from manufacturing to used car sales

Applicant's Name: Marta Nandlall

Business Name: Nishan Auction and Sales LLC

Address 20110 US HWY 10 NW

City Big Lake

State MN

Zip Code 55309

Phone 612-735-0766

Cell Phone _____

Fax _____

Email address marta@maya-maintenance.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE Marta Nandlall

DATE 7-10-25

- FOR STAFF USE ONLY -

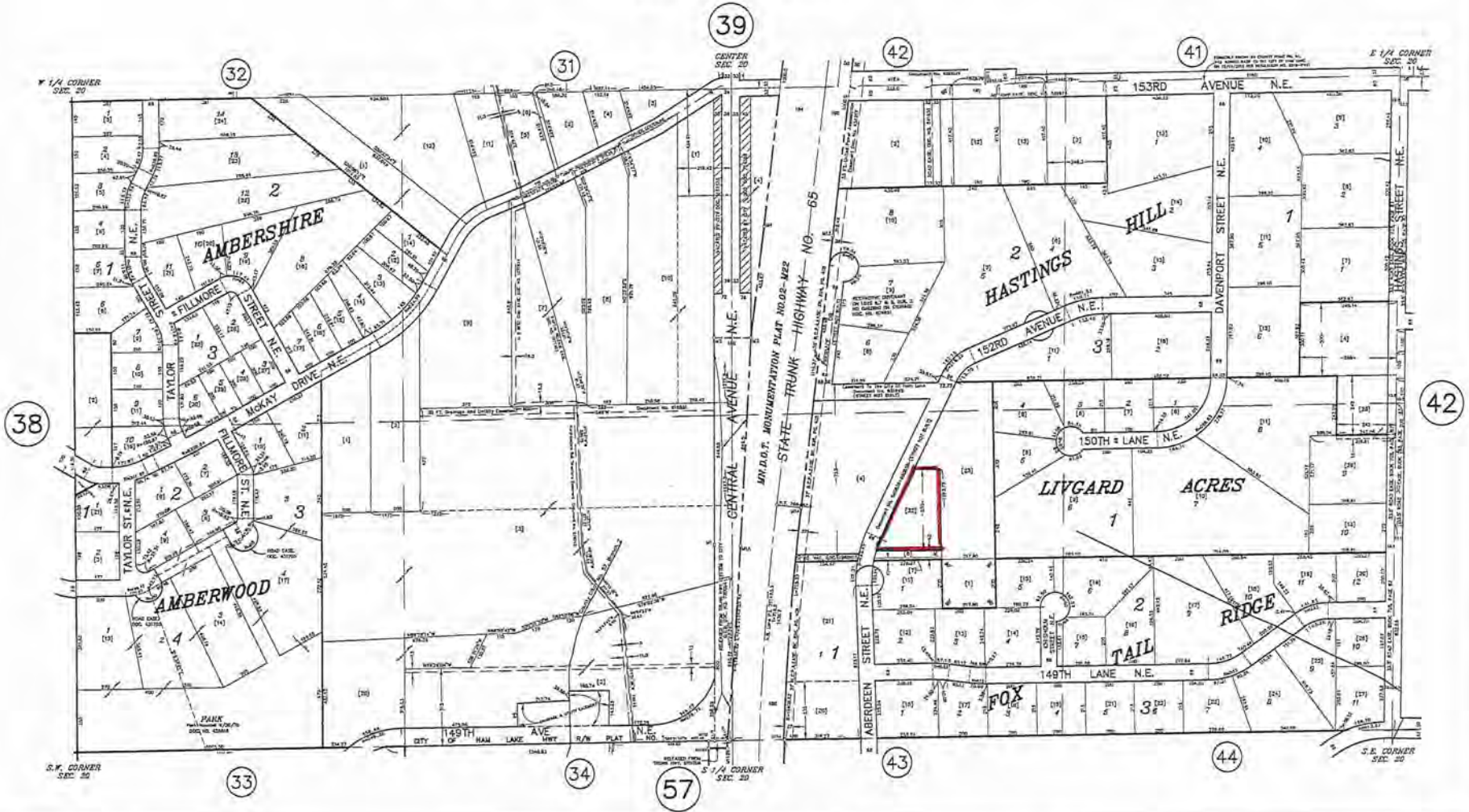
ACTION BY: Planning Commission _____

City Council _____

PROPERTY TAXES CURRENT YES NO

S 1/2 SECTION 20, T. 32, R. 23

CITY OF HAM LAKE



GRAPHIC SCALE
0 50 100 200
SCALE IN FEET

ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11
23	24	13	14
32	31	42	41
33	34	43	44

NORTH HALF OF SECTION
SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter	Specific Parcel
XX	XX	XX	XX	XXXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 29-32-23-43-0012

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

ArcGIS Web Map



8/6/2025, 11:03:05 AM

- Multi-units

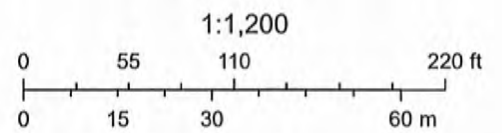
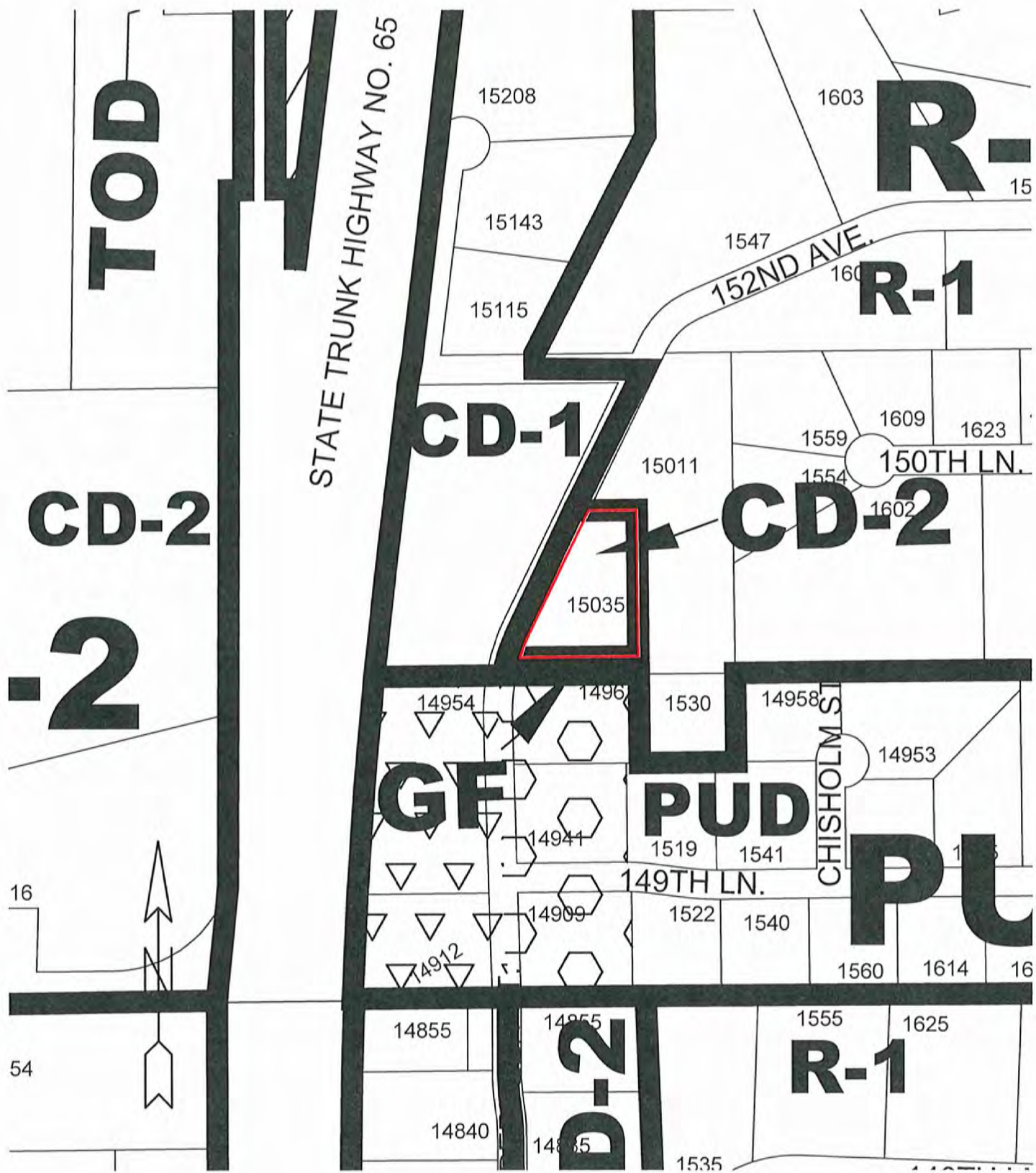


Exhibit A

THAT PRT OF N 330 FT OF S 1093.75 FT, AS MEAS AT RT ANG TO S LINE THEREOF OF
SE1/4 OF SEC 20 TWP 32 RGE 23 LYG W OF A LINE DRAWN NLY AT RT ANG TO SD S
LINE FROM A PT ON SD S LINE 888.21 FT ELY OF SW C OR OF SD SE1/4 & LYG ELY
OF C/L OF ABERDEEN ST NE, EX RD, SUBJ TO EASE OF REC



July 3, 2025

To: City of Ham Lake

We will use the 15035 Aberdeen Street NE Ham Lake MN 55304 for Nishan Auctions and Sales LLC.


We will sell cars, we will not use this location as an impound lot or to store any junk cars. Customers will see cars by appointment only, one customer at a time.

There are 15 parking spots on concrete and black top that's already stripped and marked. There is a handicap spot, employee parking, customer parking, all within the required measurements.

Business hours will be Monday 9:00 – 1:00pm Tuesday to Saturday by appointment only.

Nishan Auctions and sales has no employees. It will be just Marta Nandlall or Neyvash Nandlall working at the office.

Regards,


Marta Nandlall
612-735-0766
marta@maya-maintenance.com

Meeting Date: August 11, 2025

CITY OF HAM LAKE

STAFF REPORT

To: Members of the Planning Commission

From: Mark Jones, Building and Zoning Official

Subject: Certificate of Occupancy for Nishan Auctions and Sales LLC at 15035 Aberdeen St NE

Introduction/Discussion:

Marta Nandall, of Nishan Auction and Sales LLC, is leasing the property at 15035 Aberdeen Street NE for used motor vehicle sales. Ms. Nandall will be displaying cars for sale outdoors. This type of occupancy is a change of use for this location. Under Article 9-150.2, if the occupancy of any parcel of land changes under conditions in which the new occupant will or is likely to conduct activities which will generate a significant change in structural components of a given parcel, the new occupant shall be required to obtain a new Certificate of Occupancy prior to commencing activity. The owners of the property have made improvements to bring the property into compliance with the city code to allow used car sales. Nishan Auction and Sales LLC will only have two people working from this location, days of operation will be Monday through Saturday.

The plans submitted by Ms. Nandall identify 15 parking stalls. Eight of the parking stalls will be used to display cars for sale, three will be designated for customer parking, two will be for visitor parking, one for employee parking and one will be a handicapped accessible space, with van access.

Recommendation:

I recommend the approval of the new Certificate of Occupancy requested by Nishan Auction and Sales LLC with the following conditions:

- 1) The location is to be used for used auto sales only.
- 2) All vehicle inventory on the property be capable of obtaining applicable licenses and all motor vehicles shall be completely assembled motor vehicles as customarily delivered from the factory.

- 3) No damaged vehicles are kept at this location.
- 4) All vehicles are to be parked per the approved parking diagram and will not exceed 15 vehicles.
- 5) No auto repair is to be performed onsite other than general maintenance, such as headlight, windshield replacement, etc.
- 6) The property is not to be used as an impound lot.
- 7) The hours of operation will be Mondays from 9:00 am to 1:00 pm, Tuesday to Saturday by appointment only.
- 8) As per the narrative, Marta Nandlall or Neyvash Nandlall, will be working on site; no other employees.
- 9) Meet all State and City Codes.

GENERAL NOTES

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL GOPHER STATE ONE CALL AT LEAST 48 HOURS PRIOR TO ANY EXCAVATIONS FOR EXISTING UTILITIES LOCATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
4. ALL UTILITY AND STREET INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
5. ALL WORK SHALL BE PERFORMED DURING CITY APPROVED WORKING HOURS.
6. PARKING, EQUIPMENT STORAGE OR MATERIAL STORAGE SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
7. NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
8. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL, SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS, AS NECESSARY TO CONTROL THE MOVEMENT OF TRAFFIC.

LEGEND

- | | | | |
|--|--------------------------------|--|---|
| | EXISTING AIR GAS METER | | PROPOSED CONTOUR |
| | EXISTING AIR CONDITIONING UNIT | | PROPOSED SPOT ELEVATION
(DUTTERLINE, BITUMINOUS SURFACE, OR GROUND SURFACE UNLESS OTHERWISE INDICATED) |
| | EXISTING FIBER OPTIC BOX | | PROPOSED DIRECTION OF DRAINAGE |
| | EXISTING ELECTRICAL BOX | | PROPOSED SILT FENCE |
| | EXISTING CABLE PEDESTAL | | PROPOSED BIOROLLS |
| | EXISTING WELL | | PROPOSED INLET PROTECTION |
| | EXISTING CONTOUR | | PROPOSED RIP-RAP |
| | EXISTING FENCE | | HAND BORINGS BY MARK TRADWELL |
| | EXISTING FENCE | | |
| | EXISTING BITUMINOUS | | |
| | EXISTING CONCRETE | | |
| | EXISTING GRAVEL | | |

TIMING FOR EROSION & SEDIMENT CONTROL

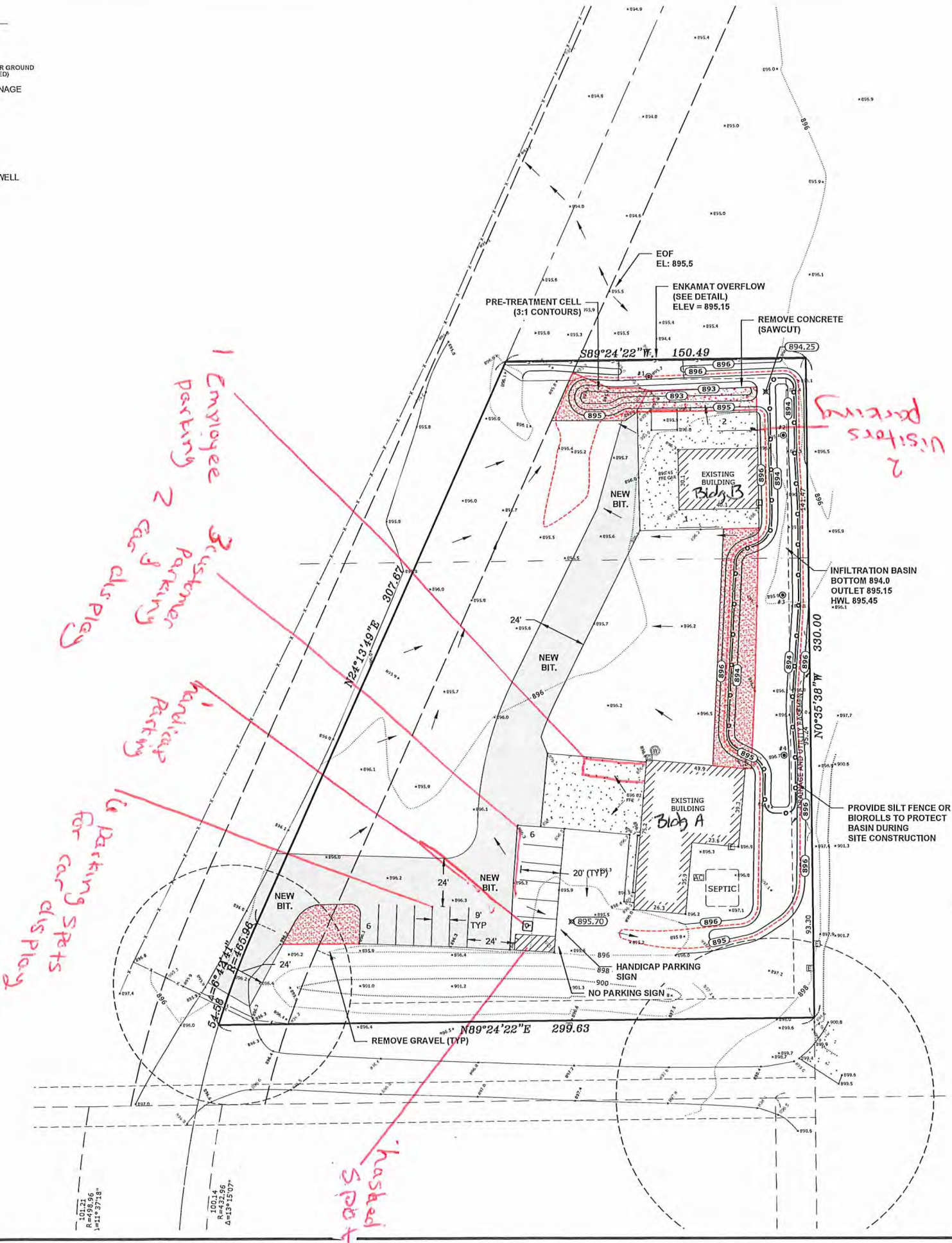
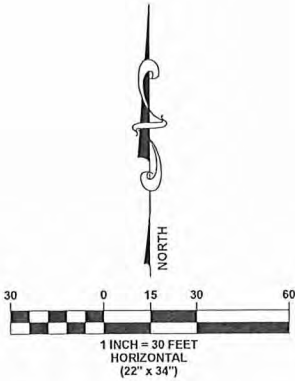
ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS OR IMPLEMENTED IN THE FIELD SHALL BE IN ACCORDANCE WITH THE CITY REQUIREMENTS.

- PHASE I:
1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 2. PROVIDE TEMPORARY PARKING AND STORAGE AREA.
 3. INSTALL SILT FENCE AS SHOWN ON PLAN.
 - 3.1. ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.
 - 3.2. THE CONTRACTOR SHALL MAINTAIN SILT FENCE (INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT), ROCK CONSTRUCTION EXIT AND BIOROLLS THROUGH COMPLETION OF BUILDING CONSTRUCTION.
 - 3.3. SILT FENCE SHALL REMAIN IN-PLACE UNTIL SITE HAS BEEN STABILIZED.
 - 3.4. CONTRACTOR TO PROVIDE ADDITIONAL SILT FENCE, BIOROLLS, EROSION CONTROL BLANKET, OR OTHER APPROVED EQUAL FOR ANY SLOPES THAT APPEAR TO BE FAILING. (NOTE: EROSION CONTROL BLANKET MUST HAVE NON-FIXED JOINTS AND BE FULLY BIODEGRADABLE; ANY BLANKET NETTING MUST BE LOOSE-WEAVE.)
 4. INSTALL INLET PROTECTION FOR ALL EXISTING STORM SEWER STRUCTURES (AS APPLICABLE).
 5. PERFORM SITE GRADING ON AN AREA-BY-AREA BASIS TO MINIMIZE UNSTABILIZED AREAS.
 - 5.1. CONTRACTOR MUST INITIATE STABILIZATION OF EXPOSED SOIL AREAS AS SOON AS PRACTICAL AND COMPLETE STABILIZATION WITHIN 24 HOURS OF INACTIVITY OR AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CEASES.
 6. PAY SPECIAL ATTENTION TO ADJACENT PROPERTY LINES TO ENSURE THE EROSION CONTROL PRACTICES INPLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.
 7. STABILIZE SOIL STOCKPILES; STABILIZATION SHALL BE INITIATED IMMEDIATELY.
 8. FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS.
 9. CONTRACTOR SHALL BE RESPONSIBLE TO SWEEP/SCRAPE ADJACENT STREETS WHEN MATERIALS OR DEBRIS HAVE WASHED/FLOWED ONTO ADJACENT STREETS OR AS DIRECTED BY CITY.
- PHASE II:
1. INSTALL RIP-RAP AT FLARED-END SECTIONS (AS APPLICABLE).
 2. INSTALL TEMPORARY INLET PROTECTION FOR ALL STORM SEWER INLET STRUCTURES IN PAVING AREAS (AS APPLICABLE).
 3. INSTALL UTILITIES INCLUDING SANITARY SEWER, WATER MAIN, STORM SEWER (AS APPLICABLE).
 4. COMPLETE GRADING AND INSTALL SEED OR SOD IN DISTURBED PERVIOUS AREAS (PER LANDSCAPE PLAN).
 5. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ONLY AFTER SITE HAS BEEN STABILIZED.

GRADING INFORMATION

LOT AREA = 74,790 SF
= 1.72 ACRES

AREA OF DISTURBANCE = ~33,000 SF
= 0.76 ACRES



PLOWE
ENGINEERING, INC.
6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701



DRAWN BY: AG
JOB NO: 25-2187
CHECK BY: MGA
DATE: 03/31/25

NO.	DATE	DESCRIPTION
1	04/22/25	REVISED PER COMMENTS ADDED
2	04/22/25	REVISED PER COMMENTS ADDED
3	04/22/25	REVISED PER COMMENTS ADDED
4	05/02/25	CITY AND COWD COMMENTS
5	05/15/25	CITY AND COWD COMMENTS
6		
7		
8		

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.

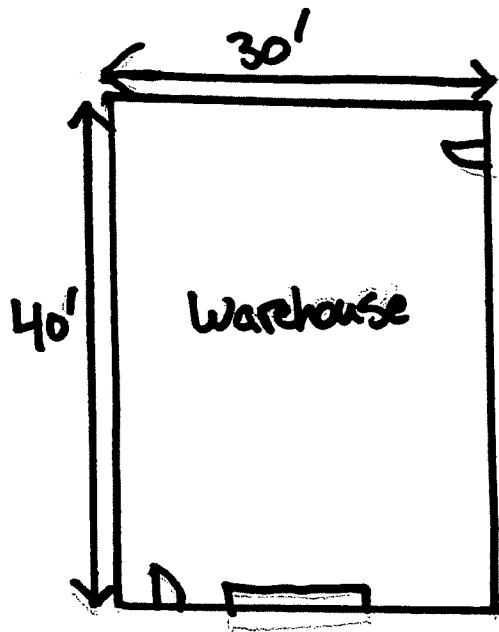
Adam Winkel
ADAM WINKEL
Date: 05/15/2025 License No. 43963

15035 ABERDEEN ST NE
HAM LAKE, MN
GRADING, DRAINAGE, ESC & PAVING
PLAN
PREPARED FOR: 15035 ABERDEEN ST NE

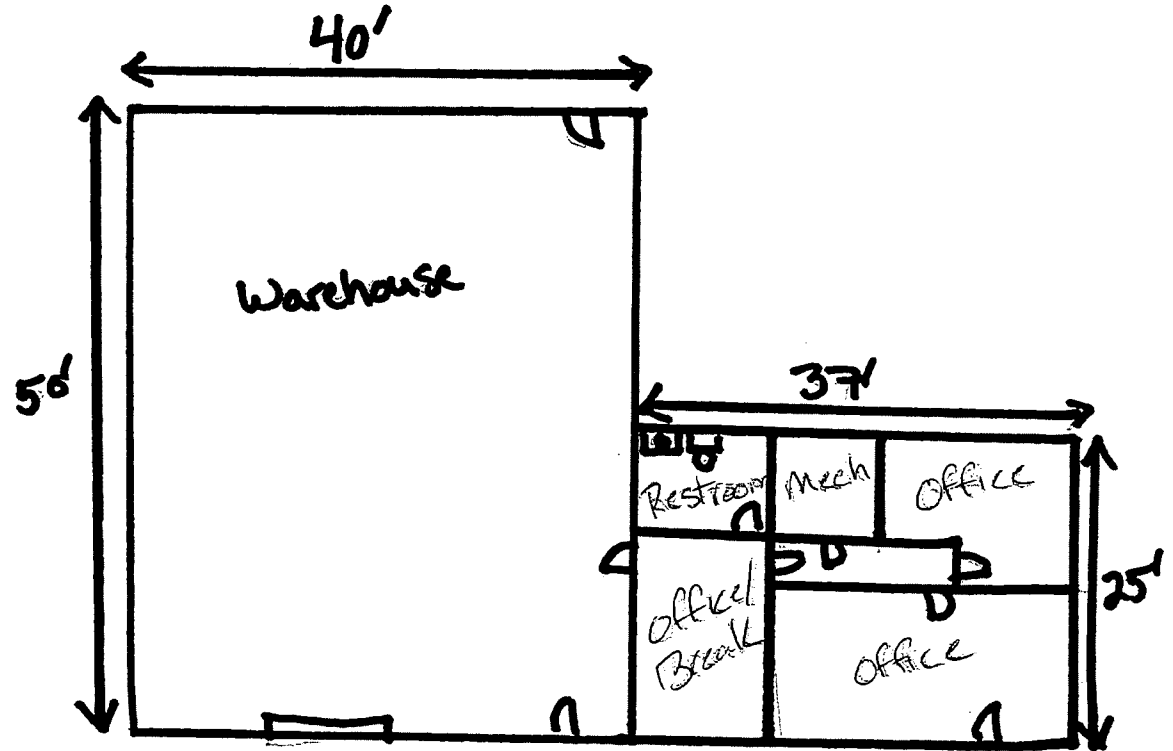
SHEET
C1.1

15035 Aberdeen St. NE
Ham Lake, MN 55304
Building Interior Layout

RECEIVED
AUG 06 2025



Building B



Building A (Main)

Excerpt from Article 9 of the Ham Lake City Code

...

9-150 Changes in Usage or Occupancy and Accessory Uses

9-150.1 Non-Conforming Uses A *non-conforming use* is a land use which, by virtue of its having been in existence at the time of a code change, is not currently compliant with any provision of the City Code. A *non-conforming use* may continue to exist, but, except in the limited conditions described below, may not be altered (except to effect repairs restoring the pre-existing condition) or expanded unless to a conforming use. If a *non-conforming use* is abandoned or not used because of unrepaired damage for any period of twelve consecutive months, it shall no longer be permitted to exist in a non-conforming status.

A residential dwelling (and ancillary features on the lot) located in a zoning district that does not include residential uses as a permitted or conditional use may be structurally altered to expand the residential use, provided that:

- a. No such alteration would tend to preclude the construction of future commercial service roads that are likely to be constructed over the parcel in the future; and
- b. The livability requirements of this code relating to SSTs and other space will continue to be met on the upland portion of the lot, and
- c. The expansion requires no variances from setback regulations; and
- d. The alteration is not intended to nor will it promote usage of the structure for multiple-family housing.

Notwithstanding the foregoing language, a parcel containing a structure originally constructed as a single-family dwelling in areas zoned CD-1, CD-2, CD-3 or CD-4 that converts to a non-residential use may return to use as a single-family dwelling if the non-residential use terminates. This exception to the normal non-conforming use limitations applies only to structures that were in existence as of January 1, 2014.

Self-storage facilities located in areas zoned CD-1 may be expanded in accord with the provisions of Article 9-220.2 (c) of this Code.

9-150.2 New Occupancy Other than *Residential Land Uses*, if the occupancy of any parcel of land changes under conditions in which the new occupant will or is likely to conduct activities which will generate a significant change in the parking, drainage, water usage, traffic, signage size, structural components or vegetation of a given parcel, the new occupant shall be required to obtain a new *Certificate of Occupancy* prior to commencing activity. The *Zoning Officer* shall determine whether or not a new *Certificate of Occupancy* is required for any given land use.

**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: August 11, 2025

INSPECTION ISSUED TO: Erin Dixon

APPLICANT/CONTACT: John Markquart, Markquart Ham Lake, LLC

TELEPHONE NUMBER: 715-829-9002/john@markquart.com

BUSINESS/PLAT NAME: North Country RV

ADDRESS/LOCATION OF INSPECTION: 14525 Highway 65 NE

APPLICATION FOR: Commercial Site Plan

RECOMMENDATION: _____

DATE: _____

PLANNING COMMISSIONER SIGNATURE: _____



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 3-27-25 Date of Receipt 3-27-25
Receipt # 101892 Amount \$ 1150.00

Meeting Appearance Dates:

Planning Commission 8-11-25 City Council _____

Please check request(s):

<input type="checkbox"/> Metes & Bounds Conveyance	<input checked="" type="checkbox"/> Commercial Building Permit
<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Certificate of Occupancy
<input type="checkbox"/> Preliminary Plat Approval*	<input type="checkbox"/> Home Occupation Permit
<input type="checkbox"/> Final Plat Approval	<input type="checkbox"/> Conditional Use Permit (New)*
<input type="checkbox"/> Rezoning* <u>8/25/25 Meeting</u>	<input checked="" type="checkbox"/> Conditional Use Permit (Renewal) <u>amendment</u>
<input type="checkbox"/> Multiple Dog License*	<input type="checkbox"/> Other _____

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: Markquart Ham Lake, LLC
Address/Location of property: 14525 Hwy 65 NE Ham Lake MN 55304
Legal Description of property: Lot 1 Blk 2 North Pines; subject to ease of rec
PIN # 29-32-23-13-0019 Current Zoning C0-1 Proposed Zoning ---
Notes: Commercial site plan application - expand hard surface parking area
Applicant's Name: John Markquart
Business Name: Markquart Ham Lake, LLC
Address 1844 Commercial Blvd
City Chippewa Falls State WI Zip Code 54729
Phone NA Cell Phone 715-829-9002 Fax NA
Email address john@markquart.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 3-27-25

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____
City Council _____

PROPERTY TAXES CURRENT YES NO

Jennifer Bohr

From: John Markquart <john@markquart.com>
Sent: Wednesday, August 6, 2025 7:33 AM
To: Jennifer Bohr
Subject: Revised narrative

Markquart Ham Lake, LLC

Markquart Ham Lake, LLC is an LLC formed to own the real estate that Markquart North Country RV, LLC operates in. We acquired the real estate as part of the acquisition of North Country RV from the previous owners. Markquart Ham Lake, LLC is owned by a father and son, John and Charlee Markquart. The Markquarts are based out of Eau Claire WI (Chippewa Falls). John and Charlee own Markquart Toyota located between Eau Claire and Chippewa Falls and Markquart Chrysler Dodge Jeep Ram in Menomonie, WI. We also are majority owners in Wuerflein Chevrolet GMC in Albert Lea, MN. Markquart Motors, the largest GM automobile dealer in Wisconsin, is owned by a brother of John.

Markquart North Country RV, LLC (dba North Country RV) is part of a group owned by Markquart RV, LLC, based in Chippewa Falls WI. Markquart RV, LLC is owned by Lee Markquart Enterprises, LLC (John and Charlee) and has three minority partners. Markquart RV, LLC owns 9 RV stores:

Markquart RV Hallie (Hallie is a village located between Eau Claire and Chippewa Falls)
Willies RV in Bloomer WI
Dicks RV in Durand WI
Kings Campers in Wausau, WI
Markquart RV Burlington in Burlington/Lake Geneva WI
Markquart RV Madison in Fitchburg WI
Markquart RV Ramsey in Ramsey, MN
Markquart RV Columbus in Columbus WI

Our original interest in North Country RV arose out of a development dilemma regarding Markquart RV Ramsey. We had acquired RV World of Ramsey in January 2024 and entered into an agreement to buy 7 acres on Hwy 10 north of the existing property to build a larger facility. As planning moved along the project was looking to be expensive and the RV market was not accelerating as we anticipated. Around that time we were approached by a broker with the North Country RV opportunity. We thought there was enough land and enough service bays at North Country for us to store units and do prep for our Ramsey location. We would acquire an operating business which we could grow and become an independent profit center and avoid an expensive new facility for Ramsey. We purchased North Country RV and the Rapid Marine Land just south of it and are requesting approval to improve the lot to accommodate the additional work and campers we need to store on the property. We are also upgrading the Ramsey facility (which is super ugly) with a \$1.5M interior and exterior renovation. Our objective is to improve the customer experience and have a much more attractive facility in Ramsey to attract high end employees.

Markquart has long been recognized as an automotive leader and an excellent community member. The Boys and Girls Club in Eau Claire exists today in large part because of the energy and the financial support of Lee and Mary Markquart, my parents. The location is named in their honor. We entered the RV business in 2021 and now have 9 locations. The family is heavily involved in other community and philanthropic ventures. Markquart have always been recognized as the type of company that treats customers and employees very well. RV dealers looking to get out of the business tell us that they prefer to deal with us over the other large companies in RV in our area because of our reputation.

The core business at North Country RV is selling and servicing RVs, mostly towables. We will employ 20 employees who will generally be on site at the same time. We have already grown dramatically and hope to establish North Country RV as a prominent RV store in the north metro area. We would like our CUP hours to be 7A to 8P Monday through Saturday and 9A to 6P on Sundays. Our normal business hours will vary according to the time of year but normal spring to fall hours would be 7A to 6P Monday through Saturday. We anticipate only being open a few Sundays a year for promotional events.

Meeting Date: August 11, 2025

CITY OF HAM LAKE

STAFF REPORT

To: Members of the Planning Commission

From: Mark Jones, Building and Zoning Official

Subject: Site Plan Approval for Parking Lot Improvements for Markquart Ham Lake, LLC, dba North Country RV, at 14525 Highway 65 NE

Introduction/Discussion:

Markquart Ham Lake, LLC acquired North Country RV in 2024. Markquart Ham Lake, LLC wants to reconstruct and expand the parking area to the north and northwest of the building for storage and display of campers. This area will be paved with asphalt increasing impermeable surface. The plans have been reviewed and approved by the Coon Creek Watershed District and the City Engineer. Markquart Ham Lake, LLC will need to provide 20 parking stalls for 20 employees and a minimum of 5 parking stalls, plus one handicapped accessible parking space with van access, for customers. This site has a pre-existing chain link fence. The plans propose the construction of a chain link fence parallel with Highway 65 NE and along portions of the northern and southern property lines. Per Article 11-260, a chain link fence may not be appropriate in the Commercial Development Tier 1 (CD-1) zoning district, but for special purposes and fences differing in construction, height or length may be permitted in any district in the City of Ham Lake with approval by the Planning Commission and City Council.

Recommendation:


I recommend approval of Markquart Ham Lake, LLC's plans to reconstruct and expand the asphalt parking area with the following conditions:

- 1) A permit is obtained for the 6-foot chain link fence, if approved by the Planning Commission and City Council.
- 2) Markquart Ham Lake, LLC requests an amendment to the Conditional Use Permit related to business hours.
- 3) Meeting the requirements of the City Engineer.
- 4) Meeting the requirements of Coon Creek Watershed District.
- 5) Meeting all city, county and state requirements.

Memorandum

Date: August 7, 2025

To: Planning Commissioners

From: David A. Krugler, City Engineer 

Subject: Markquart Ham Lake, LLC dba North Country RV Commercial Site Plan

Introduction:

Markquart Ham Lake LLC building is proposing to reconstruct and expand the hard surface parking area located on the 5.22-acre Lot 1, Block 2 of the North Pines subdivision. The parcel is zoned Commercial Development Tier 1 (CD-1). A 100-scale aerial photo, a 300-scale zoning map and a 400-scale half section map are attached.

Discussion:

The Existing Site Conditions, Soil Borings, Removal Plan, Site Plan, Grading Plan, Erosion Control Plan, Utility Plan, Construction Details and Ham Lake SWPPP received April 29th address prior review comments.

The attached Existing Site Conditions which show 33 existing trees along the east property line. Per 11-1853(A) of the City Code, decorative trees shall be planted along the right-of-way lines of adjacent public roadways. 11-1860 allows for case-by-case evaluation of landscape requirements for commercial land approval and "...strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan". A determination needs to be made as to whether the existing landscaping is adequate adjacent to the public roadway or if additional screening should be required. It is not recommended to have trees planted along Trunk Highway 65 as the Great Rivers Energy power lines are located along the west side of the property.

The Markquart Ham Lake, LLC project was conditionally approved by the Coon Creek Watershed District (CCWD) Board of Managers at their March 24th meeting. The Notice of Application Status is attached. A CCWD permit is required before grading operations can commence. A Minnesota Pollution Control Agency National Pollutant Discharge Elimination System Construction Stormwater Permit was obtained on December 5th 2024. The attached MnDOT permit was approved on July 23rd. Great Rivers Energy has an easement on the west side of the parcel. Comments received from Great Rivers Energy address review comments and has approved of the plans.

Recommendation:

It is recommended that the Markquart Ham Lake, LLC commercial site plan be recommended for approval, including the determination if the existing screening is adequate.



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14604

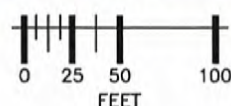
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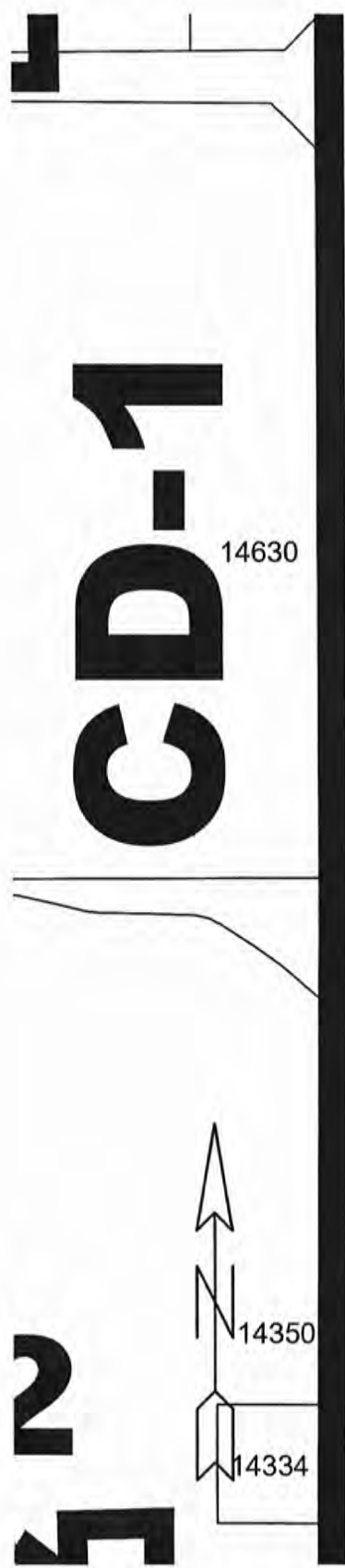
14532

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145TH AVE.

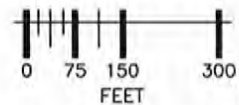
ABERDEEN





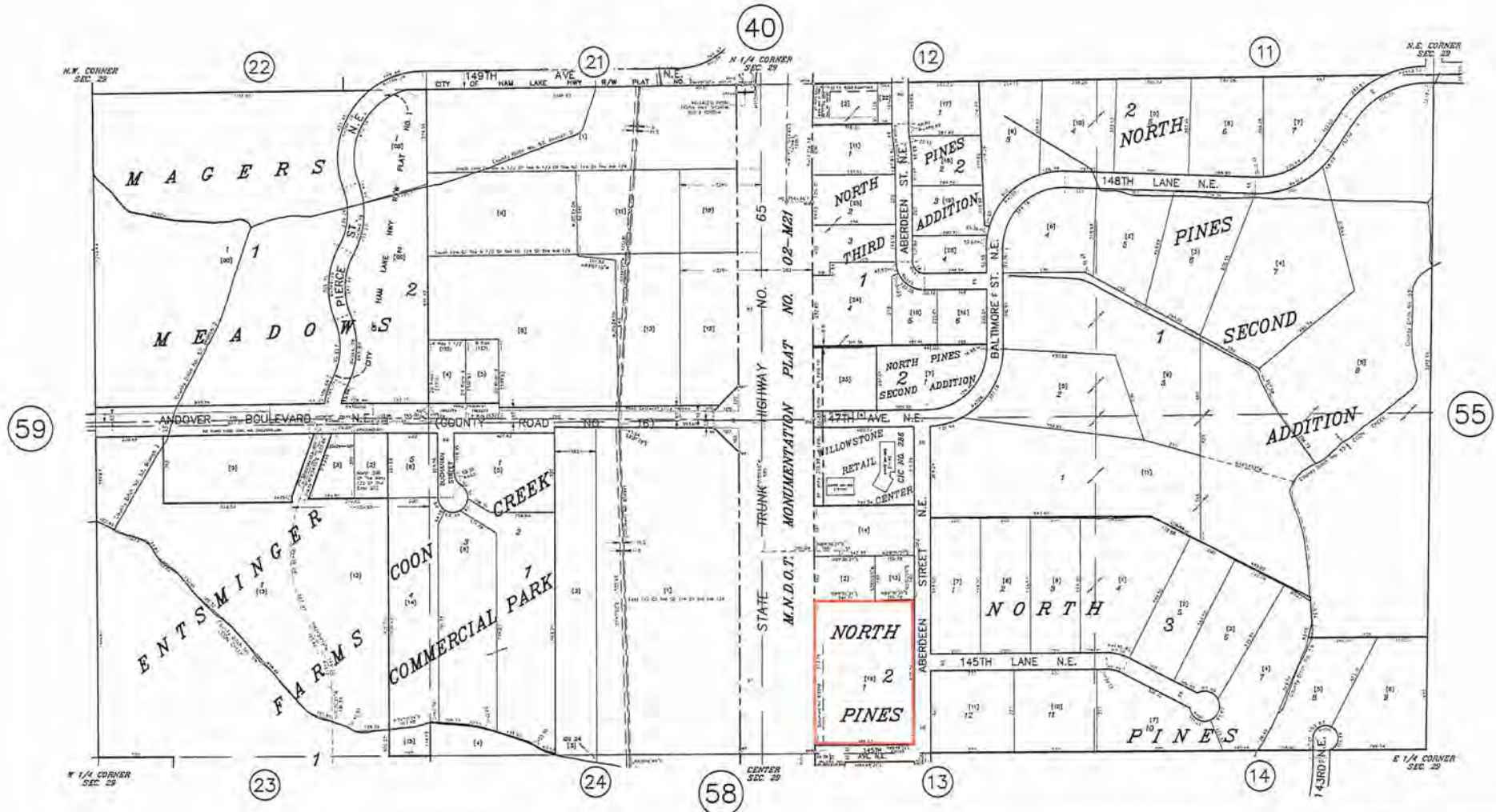
STATE TRUNK HIGHWAY NO. 65

CD-1



N 1/2 SECTION 29, T. 32, R. 23

CITY OF HAM LAKE



GRAPHIC SCALE
200 0 100 200
SCALE IN FEET

ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11
23	24	13	14
32	31	42	41
33	34	43	44

NORTH HALF OF SECTION
SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter Number	Specific Parcel
XX	XX	XX	XX	XXXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS (1)
EXAMPLE OF PIN NUMBER: 29-32-23-13-0011

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

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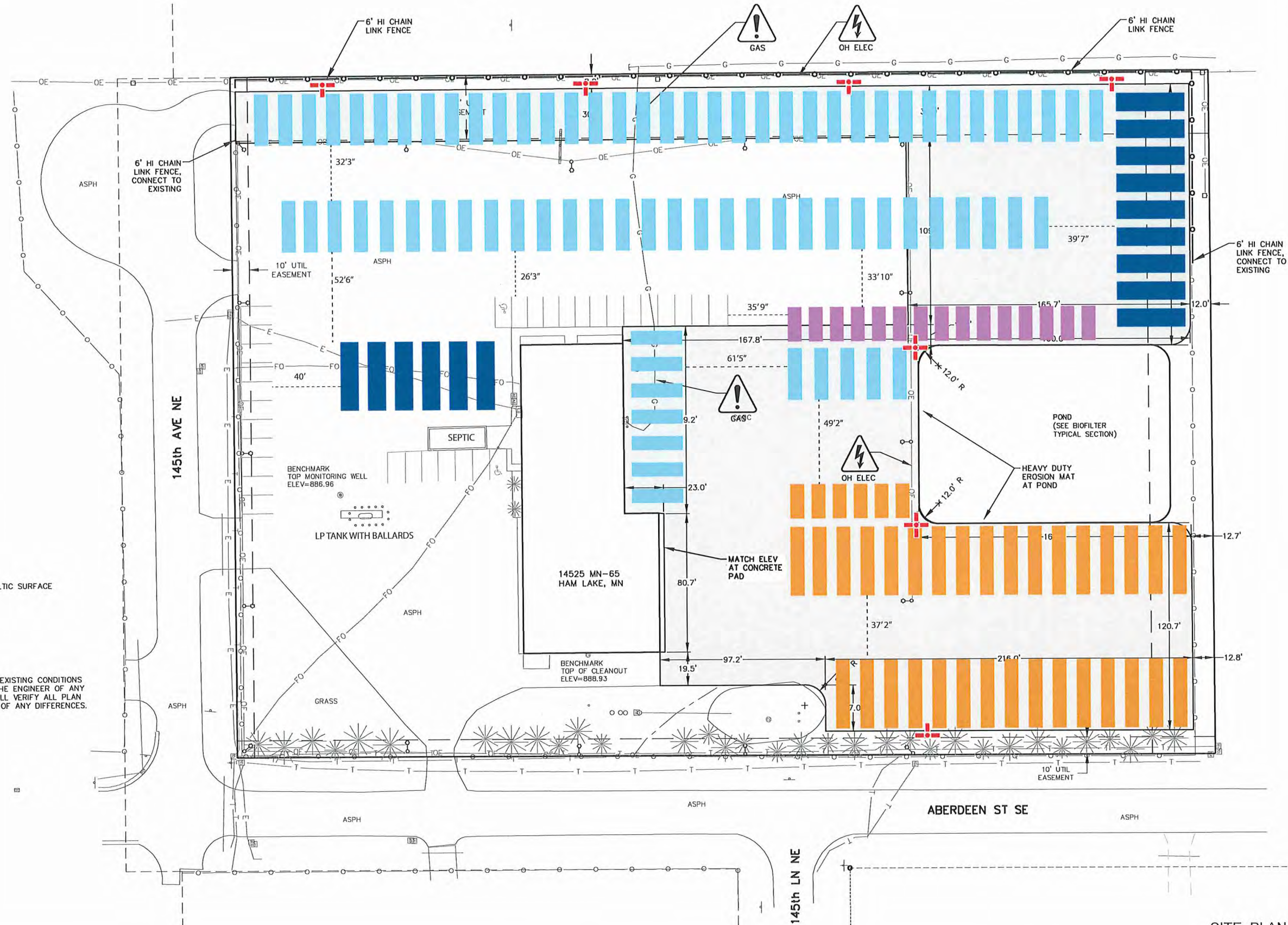
MN-65 NE (NORTHBOUND)



KEY
[Hatched Box] PROPOSED ASPHALTIC SURFACE

NOTES:

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION & NOTIFY THE ENGINEER OF ANY DIFFERENCES. THE CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS & NOTIFY THE ENGINEER OF ANY DIFFERENCES.



SITE PLAN

MARKQUART HAM LAKE LLC.

RV SITE IMPROVEMENTS
CITY OF HAM LAKE, ANOKA COUNTY, MN
SITE PLAN

Cedar
CORPORATION
800-472-7372
www.cedarcorp.com

NO.	DATE	APVD	REVISION

JOB NO. M7001-005
DRAWN BY
CHECKED BY
DATE NOV 2024 8/6/25
SET TYPE BIDDING DOCUMENTS

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SHEET NO.
PAGE NO. 5 OF 10

MN-65 NE (NORTHBOUND)

ABBREVIATIONS

CABC CRUSHED AGGREGATE BASE COURSE
CONC. CONCRETE
CMP CORRUGATED METAL PIPE
ELEV. ELEVATION
EXIST. EXISTING
FFE FINISH FLOOR ELEVATION
HYD. HYDRANT
INV. INVERT
JH MANHOLE
PVC POLYVINYL CHLORIDE PIPE
RCP REINFORCED CONCRETE PIPE
R/W RIGHT OF WAY
SAN. SANITARY
SDWK SIDEWALK
STM. STORM
TYP. TYPICAL
UTIL. UTILITY
VAR. VARIABLE

LEGEND

---885--- EXISTING CONTOUR LINE
---OH--- OVERHEAD LINES
---E--- UNDERGROUND ELECTRIC LINES
---W--- WATERMAIN PIPE
---STM--- STORM SEWER
---SAN--- SANITARY SEWER PIPE
---G--- UNDERGROUND GAS
---T--- UNDERGROUND TELEPHONE
---FO--- FIBER OPTICS
---C--- CURB & GUTTER
---TREE LINE---
FFE=1198.22 + FINISH FLOOR ELEVATION
FIRE HYDRANT
CURBSTOP
GATE VALVE
POWER POLE
LIGHT POLE
GUY WIRE
UTILITY PEDESTAL
SIGN
CATCH BASIN
MANHOLE
CLEANOUT
BENCHMARK
CONTROL POINT
PARKING STALLS COUNT

NOTES:

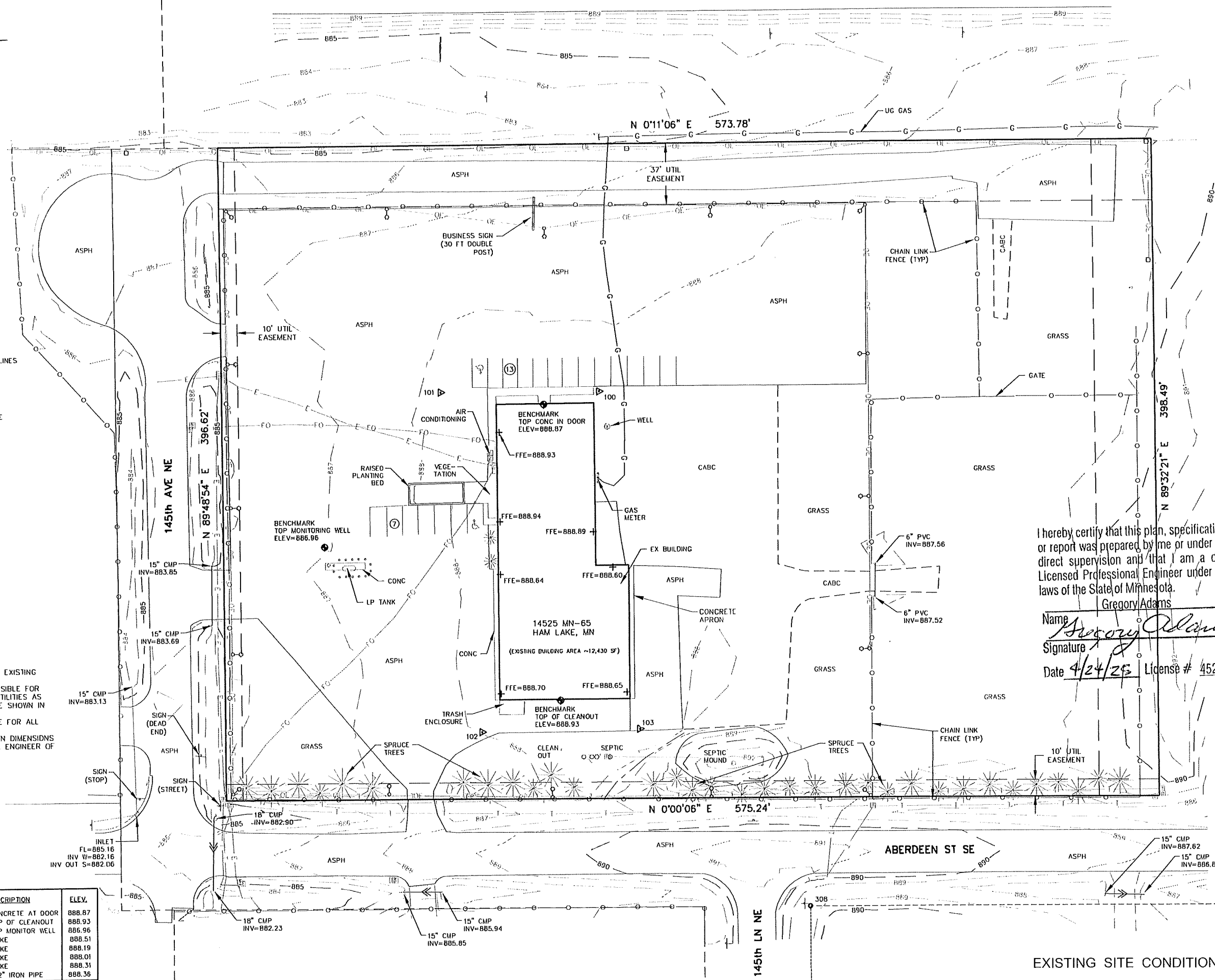
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- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY CONSTRUCTION PERMITS.
- CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS BEFORE INSTALLATION & NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

UTILITY COMPANIES

COMCAST TV, FIBER OP
LUMEN (CENTURYLINK) TELEPHONE
CONNEXUS ENERGY ELECTRIC
CENTERPOINT ENERGY GAS

CONTROL

PI	NORTHING	EASTING	DESCRIPTION	ELEV.
BM	508537.738	172455.462	CONCRETE AT DOOR	888.87
BM	508717.848	172464.461	TOP OF CLEANOUT	888.93
BM	508624.044	172319.339	TOP MONITOR WELL	886.96
100	508530.018	172489.388	SPIKE	888.51
101	508530.061	172391.840	SPIKE	888.19
102	508736.974	172415.827	SPIKE	888.01
103	508735.399	172512.975	SPIKE	888.31
308	508843.415	172618.016	1/2" IRON PIPE	888.36



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Gregory Adams

Name Gregory Adams
Signature Gregory Adams

Date 4/24/25 License # 45250

MARKQUART HAM LAKE LLC.

RV SITE IMPROVEMENTS
CITY OF HAM LAKE, ANOKA COUNTY, MN
EXISTING SITE CONDITIONS

JOB NO.
M7001-005

DRAWN BY

CHECKED BY

DATE
APRIL 2025

SET TYPE
BIDDING DOCUMENTS

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1 OF 10

NO. DATE APVD REVISION

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CORPORATION

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KEY

SOIL BORING LOCATION

MN-65 NE (NORTHBOUND)

14525 MN-65
HAM LAKE, MN

B-1
ELEV=888.11
N: 172,552.1
E: 508,656.7

B-3
ELEV=888.66
N: 172,737.5
E: 508,560.1

B-2
ELEV=888.65
N: 172,731.5
E: 508,709.5

ABERDEEN ST SE

145th LN NE

SOIL BORINGS

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Cedar
CORPORATION

MARKQUART HAM LAKE LLC.

RV SITE IMPROVEMENTS
CITY OF HAM LAKE, ANOKA COUNTY, MN
SOIL BORINGS

JOB NO.
M7001-005

DRAWN BY

CHECKED BY

DATE
MARCH 2025

SET TYPE
BIDDING DOCUMENTS

SCALE
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SHEET NO.

PAGE NO.
2 OF 10

NO. DATE APVD REVISION

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SOIL BORING LOG: B - 1

Project: Proposed Markquart RV Parking Lot Expansion
Location: Ham Lake, Minnesota
Project No.: 00952332
Drill Date: September 18, 2024

DEPTH (feet)	VISUAL SOIL CLASSIFICATION GROUND SURFACE ELEVATION: 887.8	SAMPLE NO.	N (bpf)	Op (tsf)	Qu (tsf)	MC (%)	REMARKS
1	0 - 2" ASPHALT 2 - 4" BASE COURSE	1-AU	--			--	
2							
3	Tan and brown SAND, with silt, moist	2-SS	14			0	
4							
5							
6	Orange, grayish brown and brown SAND, with silt, wet	3-SS	11			23	
7							
8	Grayish tan SAND, with silt, wet	4-SS	10			28	
9							
10	Gray SAND, with silt, wet	5-SS	13			28	
11							
12	END OF BORING @ 11.51 FEET						
13							
14							
15							

FIELD OBSERVATIONS:
Water Level (approx): 5.1 foot below ground surface (EL 882.8 ft)
Water Level (approx): Not Present
Caved At (approx): 7.56 feet below ground surface (EL 880.36)

Water Level (actual): N/A
Caved At (actual): N/A

ADDITIONAL COMMENTS:

Note: Lines of stratification represent an approximate boundary between soil types. Variations may occur between sampling intervals and/or boring locations. Transitions may also be gradual.



SOIL BORING LOG: B - 2

Project: Proposed Markquart RV Parking Lot Expansion
Location: Ham Lake, Minnesota
Project No.: 00952332
Drill Date: September 18, 2024

DEPTH (feet)	VISUAL SOIL CLASSIFICATION GROUND SURFACE ELEVATION: 887.7	SAMPLE NO.	N (bpf)	Op (tsf)	Qu (tsf)	MC (%)	REMARKS
1	0 - 5" TOPSOIL	1-SS	--			--	
2							
3	Orangeish brown SAND, with silt, moist	2-SS	4			6	
4							
5							
6		3-SS	6			24	
7							
8	Tan, grayish brown and orange SAND, with silt, wet	4-SS	5			24	
9							
10							
11	Gray and white SAND, trace silt, wet	5-SS	4			31	
12							
13	END OF BORING @ 11.51 FEET						
14							
15							

FIELD OBSERVATIONS:
Water Level (approx): 4.1 feet below ground surface (EL 882.7 ft)
Water Level (approx): Not Present
Caved At (approx): 8.1 feet below ground surface (EL 879.7 ft)

Water Level (actual): N/A
Caved At (actual): N/A

ADDITIONAL COMMENTS:

Note: Lines of stratification represent an approximate boundary between soil types. Variations may occur between sampling intervals and/or boring locations. Transitions may also be gradual.



SOIL BORING LOG: B - 3

Project: Proposed Markquart RV Parking Lot Expansion
Location: Ham Lake, Minnesota
Project No.: 00952332
Drill Date: September 18, 2024

DEPTH (feet)	VISUAL SOIL CLASSIFICATION GROUND SURFACE ELEVATION: 887.3	SAMPLE NO.	N (bpf)	Op (tsf)	Qu (tsf)	MC (%)	REMARKS
1	0 - 5" TOPSOIL	1-SS	--			--	
2							
3	10YR 4/3, Brown, VERY FINE SAND, moist	2-SS	8			8	
4							
5							
6	10YR 5/1, Gray, LOAMY VERY FINE SAND, moist	3-SS	13			16	
7							
8		4-SS	6			32	
9	10YR 4/1, Dark Gray, VERY FINE SAND, wet						
10							
11	10YR 4/1, Dark Gray, FINE SAND, wet	5-SS	13			28	
12							
13	END OF BORING @ 11.51 FEET						
14							
15							

FIELD OBSERVATIONS:
Water Level (approx): 7.54 feet below ground surface (EL 879.8 ft)
Water Level (approx): Not Present
Caved At (approx): 7.56 feet below ground surface (EL 879.86)

Water Level (actual): N/A
Caved At (actual): N/A

ADDITIONAL COMMENTS:

Note: Lines of stratification represent an approximate boundary between soil types. Variations may occur between sampling intervals and/or boring locations. Transitions may also be gradual.

NO. DATE APVD REVISION

800-472-7372
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MARKQUART HAM LAKE LLC.
RV SITE IMPROVEMENTS
CITY OF HAM LAKE, ANOKA COUNTY, MN
SOIL BORING INFORMATION

JOB NO.
M7001-005
DRAWN BY

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DATE
MARCH 2025
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MN-65 NE (NORTHBOUND)

145th AVE NE

ABERDEEN ST SE

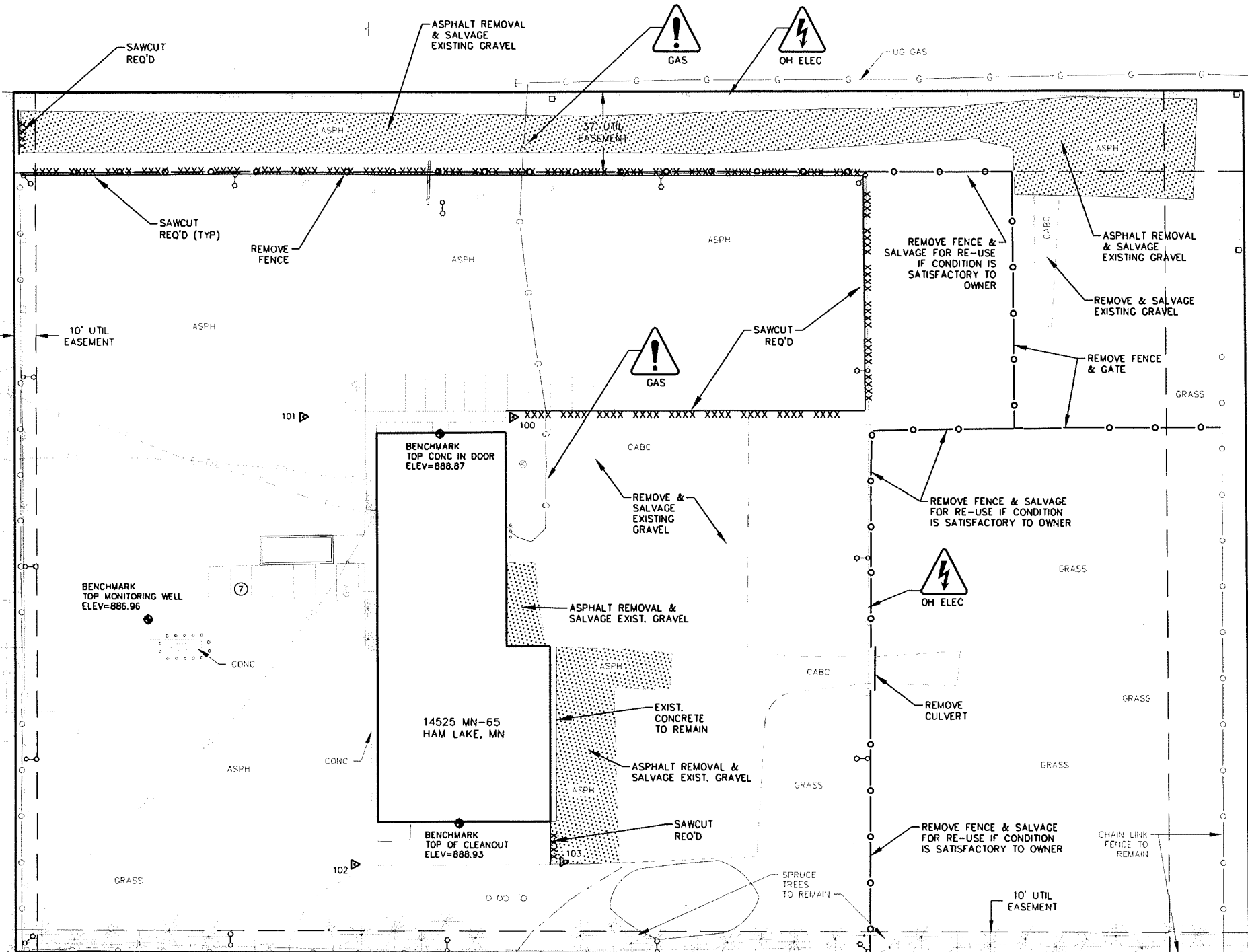
145th LN NE

KEY

- XXXX XXXX SAWCUT
[Pattern] ASPHALTIC REMOVAL

NOTES:

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXISTING UTILITIES AS UNDERGROUND UTILITIES MAY NOT BE SHOWN IN THEIR ENTIRETY HERE.
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REMOVAL PLAN

MARKQUART HAM LAKE LLC.
RV SITE IMPROVEMENTS
CITY OF HAM LAKE, ANOKA COUNTY, MN
REMOVAL PLAN

JOB NO.
M7001-005
DRAWN BY
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PAGE NO.
4 OF 10

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NO. DATE APVD REVISION

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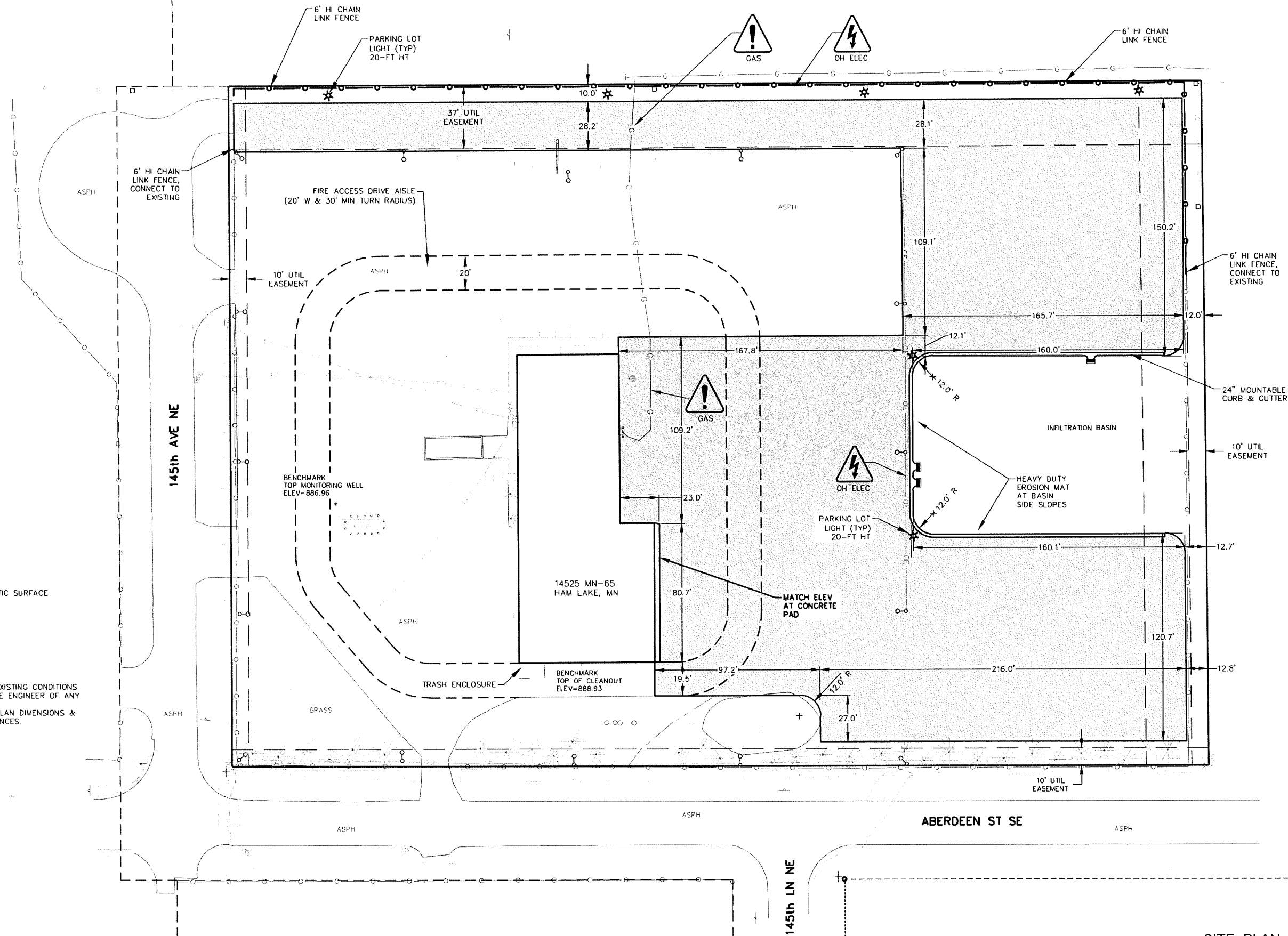


MN-65 NE (NORTHBOUND)

KEY
[Hatched Box] PROPOSED ASPHALTIC SURFACE

NOTES:

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION & NOTIFY THE ENGINEER OF ANY DIFFERENCES.
- THE CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS & NOTIFY THE ENGINEER OF ANY DIFFERENCES.



SITE PLAN

NO.	DATE	APVD	REVISION

800-472-7372
www.cedarcorp.com

Cedar
CORPORATION

MARKQUART HAM LAKE LLC.
RV SITE IMPROVEMENTS
CITY OF HAM LAKE, ANOKA COUNTY, MN
SITE PLAN

JOB NO. M7001-005
DRAWN BY
CHECKED BY
DATE APRIL 2025
SET TYPE BIDDING DOCUMENTS

SCALE
0 15 30 60

SHEET NO.
PAGE NO.
5 OF 10

KEY

855
79.44

884

887.50 ×

H PT =

➔ DIRECTION OF PROPOSED SURFACE WATER FLOW

➞ DIRECTION OF EXISTING SURFACE WATER FLOW

101 ▶ CONTROL POINT

BM ⦿ BENCHMARK

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXISTING UTILITIES.
- PROPOSED CONTOUR LINE LOCATIONS ARE APPROXIMATE. SPOT ELEVATIONS SHALL BE USED FOR EXACT ELEVATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING DRAINAGE OF SURFACE WATER AWAY FROM THE BUILDING.

CONTROL				
PT	NORTHING	EASTING	DESCRIPTION	ELEV.
BM	508537.738	172455.462	CONCRETE AT DOOR	888.87
BM	508571.848	172464.461	TOP OF CLEANOUT	888.93
BM	508624.044	172319.339	TOP MONITOR WELL	886.96
100	508530.018	172489.388	SPIKE	888.51
101	508530.061	172391.840	SPIKE	888.19
102	508736.964	172415.827	SPIKE	888.09
103	508735.399	172512.975	SPIKE	888.31
308	508843.415	172618.016	1/2" IRON PIPE	888.36

145th LN NE

GRADING PLAN

[illegible]

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MN-65 NE (NORTHBOUND)

INSTALL AGGREGATE
TRACKING PAD

RIPRAP
(TYP)



750 LF
SILT FENCE
(TYP)

STORM MH 1

STORM MH 2



TYPE D INLET
PROTECTION (TYP)

CONTROL
STRUCTURE

RIPRAP
(TYP)

HEAVY DUTY
EROSION
MAT (TYP)

104 LF
SILT FENCE
(TYP)

TYPE D INLET
PROTECTION (TYP)



TYPE D INLET
PROTECTION (TYP)

SEED & MULCH EFFECTIVE
INFILTRATION AREA

14525 MN-65
HAM LAKE, MN

ABERDEEN ST SE

145th LN NE

308

NOTES:

- SEED & MULCH & FERTILIZE ALL DISTURBED AREAS OVER 6" OF TOPSOIL.
- SEED MIXTURE & APPLICATION RATE SHALL BE DETERMINED USING RECOMMENDATIONS PROVIDED IN THE MINNESOTA STORMWATER MANUAL BASED ON PLANTING SEASON.
- ADJUST SILT FENCE AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE.
- INSTALL SILT FENCE AS NEEDED AROUND ANY TEMPORARY SOIL STORAGE PILES.
- FOR INTERMEDIATE-VELOCITY MULCH BLANKET, INSTALL DOUBLE NET STRAW PER MANUFACTURER'S SPECIFICATIONS.
- THE CONTRACTOR SHALL FOLLOW ALL PRACTICES AS DEFINED IN THE MN TECHNICAL STANDARDS FOR CONSTRUCTION SITE EROSION & SEDIMENT CONTROL.
- PERMANENT OR TEMPORARY STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY AND BE FULLY STABILIZED WITHIN 7 DAYS AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED. STABILIZATION SHALL OCCUR PRIOR TO WINTER. THIS COULD CONSIST OF POLYMER OR OTHER MEANS WITH RE-SEEDING THEN OCCURRING IN THE SPRING. AT A MINIMUM RYE/WHEAT SHALL BE UTILIZED AS A COVER CROP TO PROTECT THE SITE.
- THE EXACT NUMBER, LOCATION AND SPACING OF ALL EROSION CONTROL DEVICES SHALL BE ADJUSTED TO FIT FIELD CONDITIONS AS APPROVED BY THE ENGINEER. ADDITIONAL EROSION CONTROL DEVICES MAY BE REQUIRED.
- ALL POND SLOPES REQUIRE CLASS I, TYPE B EROSION MAT.
- PREVENT TRACKING SOIL ON PAVED ROADS LOCATED NEAR THE CONSTRUCTION SITE. ALL STREETS SHALL BE SWEEPED AND CLEARED OF ALL DIRT AND DEBRIS BY THE END OF EACH WORKDAY.

CONSTRUCTION SEQUENCING

- INSTALL SILT FENCE ALONG THE NORTH AND WEST SIDES OF THE PROJECT LIMITS AS SHOWN ON THE EROSION CONTROL PLAN.
- REMOVE EXISTING FENCE, BASE AGGREGATE AND ASPHALT AS SHOWN ON THE REMOVAL PLAN. CLEARING TO BEGIN MARCH 31, 2025.
- ROUGH GRADE THE ENTIRE PROJECT AREA WHILE LEAVING THE INFILTRATION BASIN A MINIMUM OF THREE FEET ABOVE FINAL GRADE.
- INSTALL STORM WATER CONVEYANCE SYSTEM INCLUDING MANHOLES, OUTLET CONTROL STRUCTURE AND HDPE PIPING AS SHOWN ON THE UTILITY PLAN.
- INSTALL BASE AGGREGATE AND CONSTRUCT ASPHALT PARKING AREA AS SHOWN ON THE SITE PLAN.
- INSTALL RAIN GUARDIAN BUNKER STRUCTURES AND 24" CURB AND GUTTER ON THE EAST, WEST AND SOUTH SIDES OF THE INFILTRATION BASIN FOR PERIMETER CONTROL. INSTALL SILT FENCE ON THE NORTH SIDE OF THE INFILTRATION BASIN FOR PERIMETER CONTROL.
- INSTALL INLET PROTECTION ON RAIN GUARDIAN STRUCTURES.
- EXCAVATE THE INFILTRATION BASIN TO FINAL GRADE.
- INSTALL EROSION MATTING ON THE SIDE SLOPES OF THE INFILTRATION BASIN AND SEED THE ENTIRE INFILTRATION BASIN AREA.
- INSTALL RIP RAP FOR PERMANENT EROSION CONTROL.

LEGEND - EROSION CONTROL

- INTERMEDIATE-VELOCITY MULCH BLANKET CLASS I, TYPE B
- SILT FENCE
- RIPRAP, MEDIUM
- INLET PROTECTION
- AGGREGATE TRACKING PAD

NO. DATE APVD REVISION

800-472-7372
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Cedar
CORPORATION

MARKQUART HAM LAKE LLC.

RV SITE IMPROVEMENTS
CITY OF HAM LAKE, ANOKA COUNTY, MN
EROSION CONTROL PLAN

JOB NO.
M7001-005

DRAWN BY

CHECKED BY

DATE
APRIL 2025

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BIDDING DOCUMENTS

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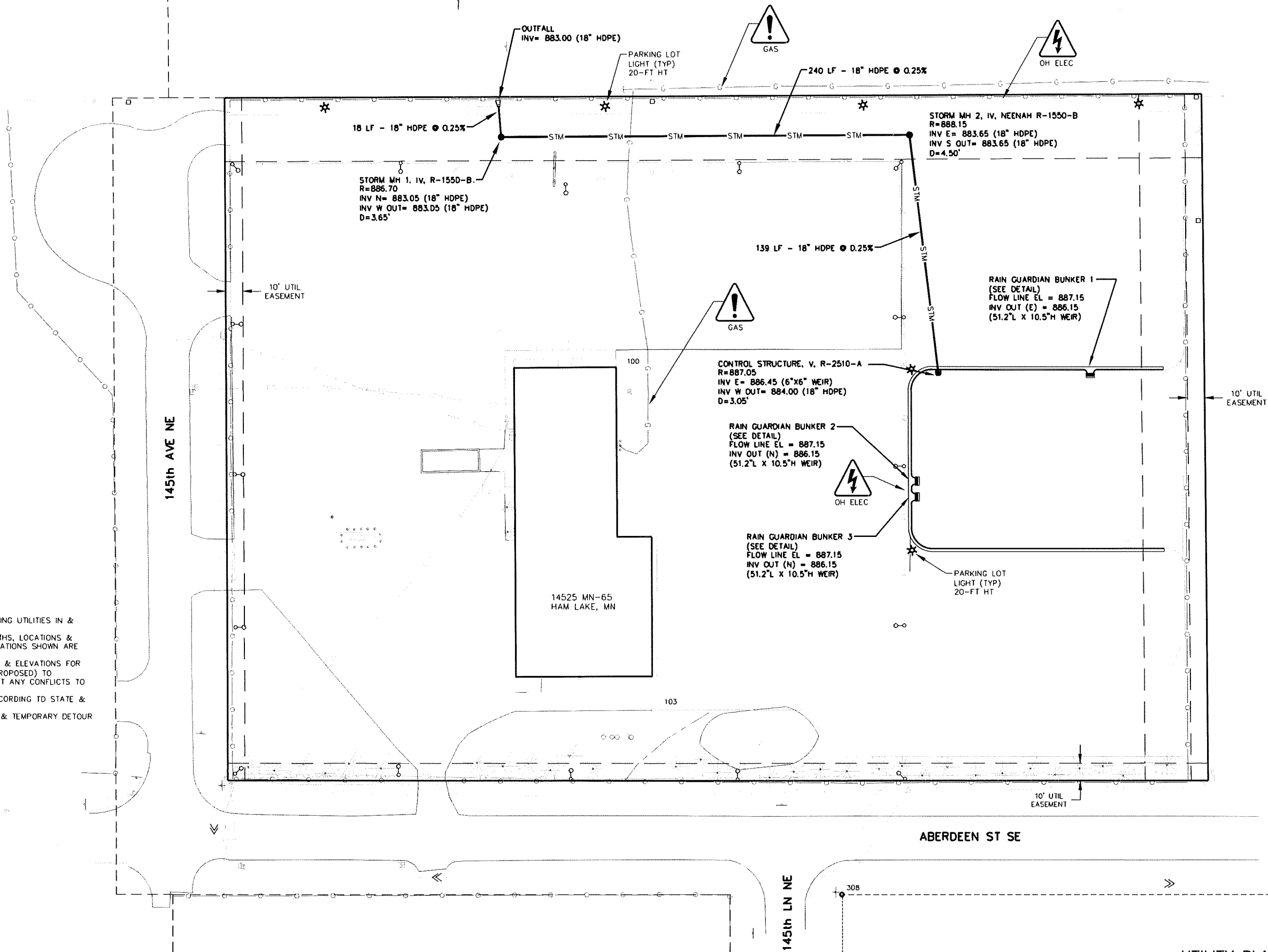
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EROSION CONTROL PLAN

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MN-65 NE (NORTHBOUND)



NOTES:

- CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN & AROUND CONSTRUCTION AREA.
- CONTRACTOR SHALL FIELD VERIFY DEPTHS, LOCATIONS & SIZES OF ALL EXISTING UTILITIES. LOCATIONS SHOWN ARE APPROXIMATE.
- CONTRACTOR SHALL VERIFY LOCATIONS & ELEVATIONS FOR ALL UTILITY CROSSINGS (EXISTING & PROPOSED) TO ELIMINATE POSSIBLE CONFLICTS. REPORT ANY CONFLICTS TO ARCHITECT IMMEDIATELY.
- ALL UTILITIES SHALL BE INSTALLED ACCORDING TO STATE & LOCAL REQUIREMENTS.
- IF NEEDED, INSTALL TRAFFIC CONTROL & TEMPORARY DETOUR AS PER MUTCD & CITY REQUIREMENTS

MARKQUART HAM LAKE LLC.
RV SITE IMPROVEMENTS
CITY OF HAM LAKE, ANOKA COUNTY, MN
UTILITY PLAN

JOB NO.
M7001-005
DRAWN BY


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DATE
APRIL 2025
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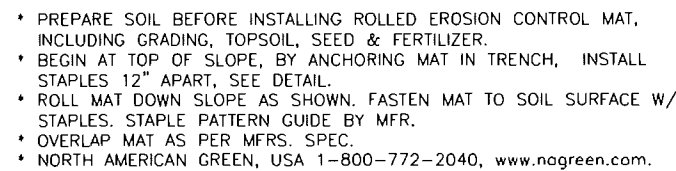
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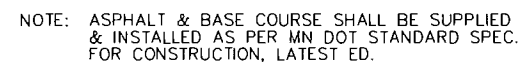
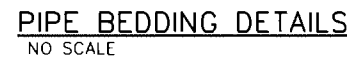
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- * TRACER WIRE SHALL BE ATTACHED TO ALL PLASTIC PIPE EVERY 10 FT. & AT EVERY BEND.
- * SPLICES IN TRACER WIRE SHALL BE MADE W/ SPLIT BOLT OR COMPRESSION-TYPE CONNECTORS. ALL SPLICES SHALL BE WATER PROOF.
- * TRACER WIRE SHALL HAVE ACCESS POINTS TO GRADE AT A MIN. OF EVERY 300' W/ VAULTS, CLEANOUTS, MANHOLES, VALVE BOXES OR OTHER COVERED ACCESS.
- * TRACER WIRE AND ACCESS BOX SHALL BE SUPPLIED AND INSTALLED AS PER W COMM. 82.30(11)(h) LOCATING REQUIREMENTS.



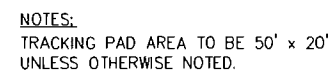
EROSION CONTROL MAT
NO SCALE



ASPHALT, MEDIUM DUTY
NO SCALE

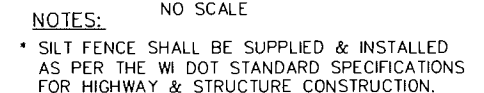


NOTE: USE 1/2" FELT JOINT WHERE
CONC. MEETS BUILDING.



REMOVE AND REPLACE AGGREGATE WHEN VOIDS BECOME FILLED WITH SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT TRACKING PAD DOES NOT FUNCTION


AGGREGATE TRACKING PAD
NO SCALE



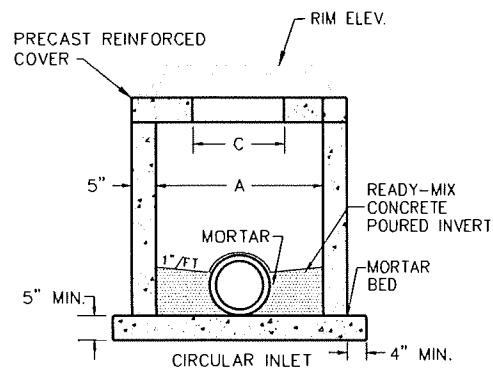
CONSTRUCTION DETAILS

MARKQUART HAM LAKE LLC.

JOB NO. M7001-005
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DATE MARCH 2025
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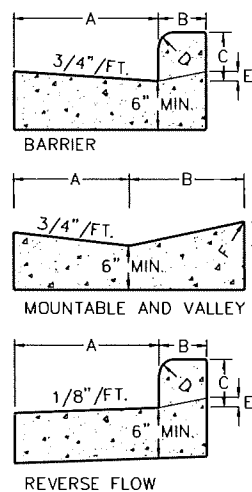


STORM STRUCTURE
NO SCALE

CIRCULAR INLET

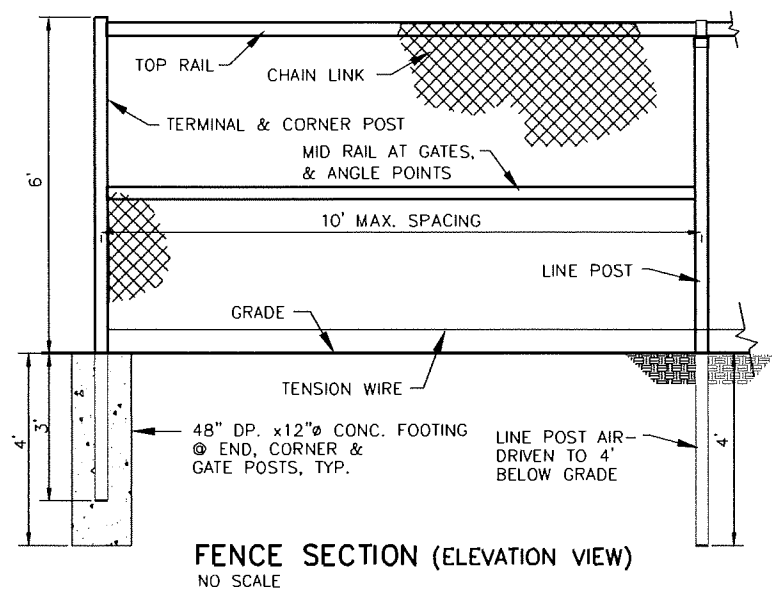
INLET TYPE	A	B	COVER OPENING C
I	2'	2'	—
II	2'	2'-6"	—
III	2'	3'	—
IV	42" DIA.	42" DIA.	27" DIA.
V	27" DIA.	27" DIA.	—

NOTE: STEPS REQUIRED WHEN D > 4'

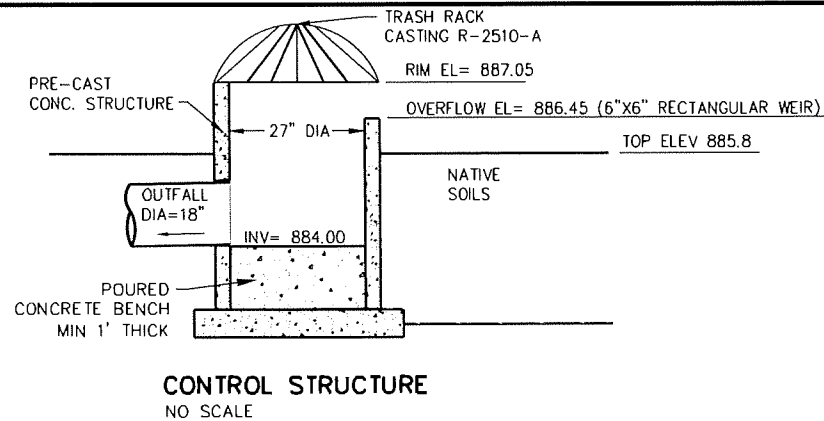


CONCRETE CURB & GUTTER

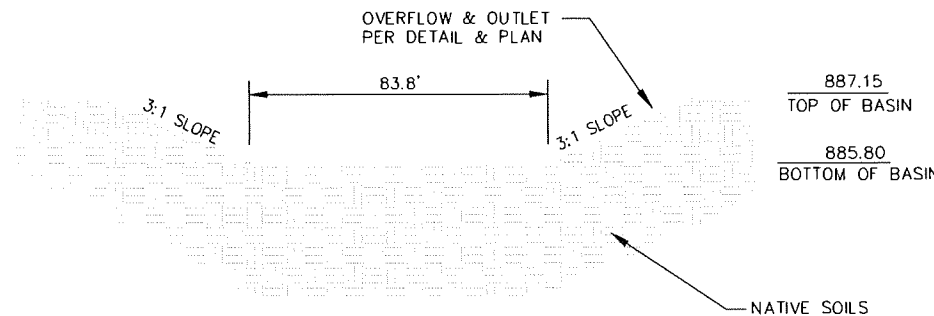
CURB TYPE	A	B	C	D	E	F
BARRIER						
18" B	12"	6"	6"	2"	1.5"	1/2"
24" B	18"	6"	6"	2"	1.5"	1/2"
30" B	24"	6"	6"	2"	1.5"	1/2"
MOUNTABLE						
24" M	12"	12"	—	—	2.50"	1/2"
30" M	18"	12"	—	—	2.75"	1/2"
36" M	24"	12"	—	—	6"	1/2"
VALLEY GUTTER						
36" V	18"	18"	—	—	1.5"	—
REVERSE FLOW						
24" B	18"	6"	6"	2"	1.5"	1/2"



FENCE SECTION (ELEVATION VIEW)
NO SCALE

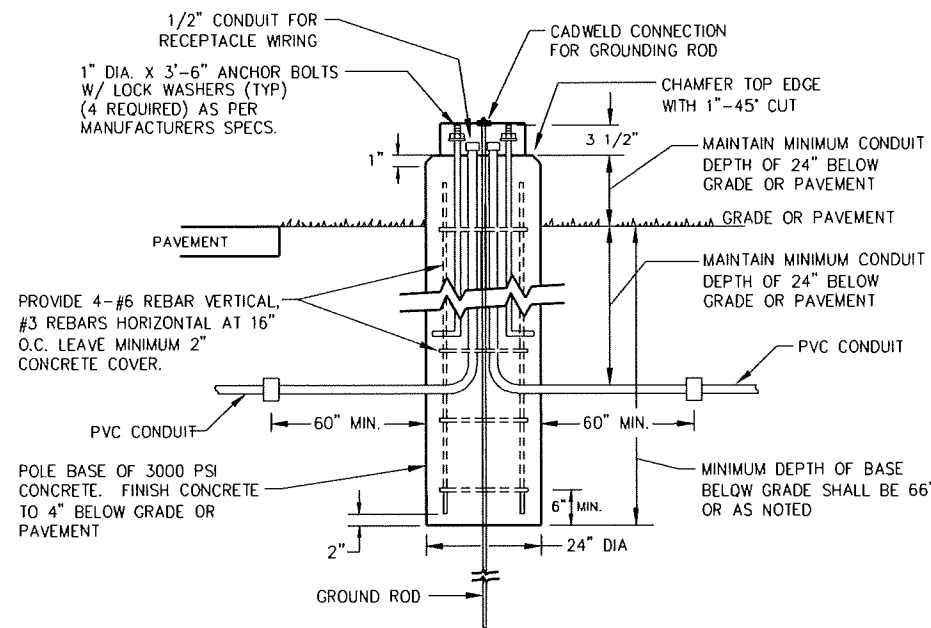


CONTROL STRUCTURE
NO SCALE



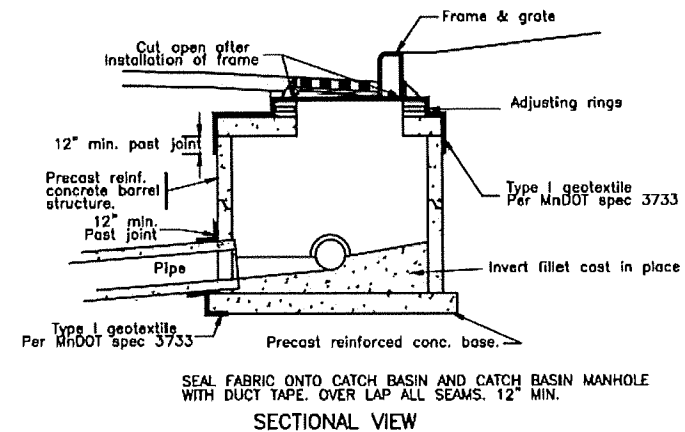
INFILTRATION BASIN TYPICAL SECTION

- NOTES:
- INFILTRATION BASIN SHALL NOT BE EXCAVATED TO FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED.
 - WHEN EXCAVATING THE INFILTRATION BASIN TO WITHIN THREE FEET OF FINAL GRADE, THE INFILTRATION AREA SHALL BE COMPLETELY SURROUNDED WITH PERIMETER CONTROL, SO HEAVY CONSTRUCTION VEHICLES OR EQUIPMENT DO NOT COMPACT THE SOIL IN THE INFILTRATION AREA.
 - ALLEVIATE ANY COMPACTED SOILS DUE TO FINAL GRADING OPERATIONS PRIOR TO SEEDING.

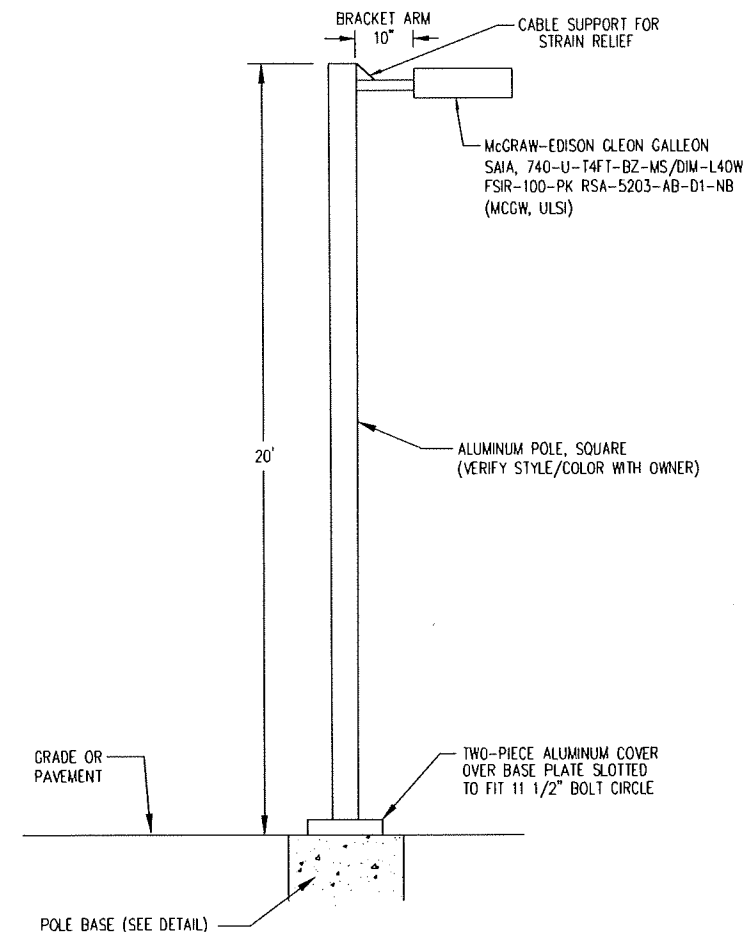


POLE BASE
NO SCALE

- NOTES
- PROVIDE INLINE FUSES IN EACH UNGROUNDED CONDUCTOR WITHIN POLE BASE HANDHOLE. CONDUCTORS IN POLE TO LUMINAIRES SHALL BE #10 THWN. EACH POLE SHALL BE PROVIDED WITH 1/2 inch x 10 inch COPPER CLAD GROUND ROD DRIVEN TO 6" BELOW GRADE AND BONDED TO POLE, ANCHOR BOLTS, LUMINAIRES, AND REINFORCING STEEL WITH 1-10 AWG COPPER BONDING JUMPER.



FABRIC AROUND CATCH BASIN HL-463
NOT TO SCALE



PARKING LOT LIGHT (20-FT)
NO SCALE

CONSTRUCTION DETAILS

NO	DATE	APVD	REVISION

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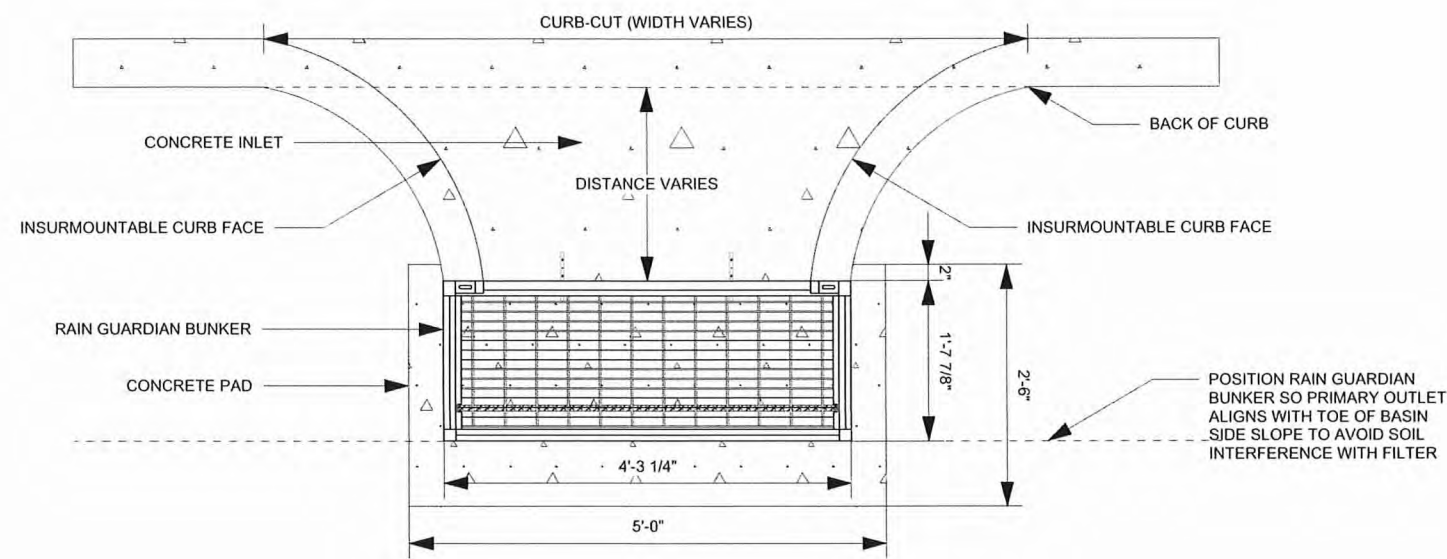
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MARKQUART HAM LAKE LLC.
RV SITE IMPROVEMENTS
CITY OF HAM LAKE, ANOKA COUNTY, MN
CONSTRUCTION DETAILS

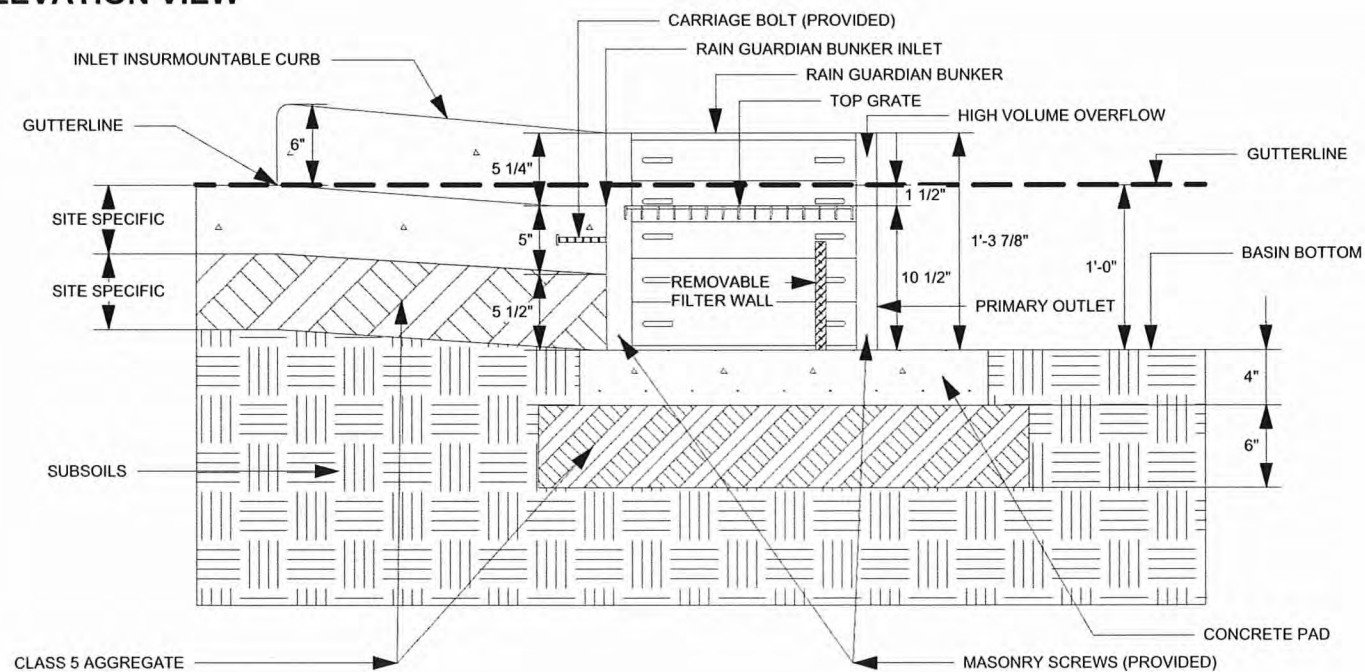
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PLAN VIEW



ELEVATION VIEW



PLAN VIEW NOTES

1. INLET WIDTH AND DISTANCE BETWEEN BACK OF CURB AND RAIN GUARDIAN BUNKER MAY VARY WITH SITE CONDITIONS. INSTALLATION FLUSH WITH THE BACK OF THE CURB CAN ALSO BE COMPLETED WITH THE RAIN GUARDIAN BUNKER.
2. CONCRETE PAD EXTENDS BEYOND THE FILTER WALL OF THE RAIN GUARDIAN BUNKER TO SERVE AS A SPLASH DISSIPATOR.

3D VIEWS



ELEVATION VIEW NOTES

1. THE TOP OF THE CLASS 5 BASE (COMPACTED TO 95% STANDARD PROCTOR) IS PRECISELY 1' 4" BELOW THE GUTTERLINE ELEVATION.
2. THE TOP OF THE CONCRETE PAD IS PRECISELY 1' BELOW THE GUTTERLINE.

SPECIFICATIONS

1. CHAMBER CONSTRUCTED OF RECYCLED PLASTIC LUMBER (95%+) MANUFACTURED AND DESIGNED TO ASTM C1028, D6108, D6109, D6111, D6117, AND D6341 (54 LBS).
2. TOP GALVANIZED METAL GRATE (35 LBS, 1" THICK) - 316 LB CONCENTRATED LOAD OR 158 LB/SQ-FT UNIFORM LOAD.

INSTALLATION NOTES

1. INSTALL THE CONCRETE PAD WITH A 1' 10" OFFSET FROM THE BACK OF THE CURB TO ACCOMMODATE THE CONCRETE INLET. THIS DISTANCE MAY VARY BASED ON SITE CONDITIONS, BUT CONSIDERATIONS SHOULD INCLUDE SLOPE OF THE INLET AND BASIN SIDE SLOPES ADJACENT TO THE RAIN GUARDIAN BUNKER. POSITION RAIN GUARDIAN BUNKER SO PRIMARY OUTLET ALIGNS WITH TOE OF BASIN SIDE SLOPE TO AVOID SOIL INTERFERENCE WITH REMOVABLE FILTER WALL. THE CONCRETE PAD SHOULD BE REINFORCED WITH REBAR.
2. EXCAVATE 1' 10" BELOW THE GUTTERLINE ELEVATION (I.E. THE BIORETENTION OVERFLOW ELEVATION) TO ACCOMMODATE THE 1' PONDING DEPTH, 6" CLASS 5 AGGREGATE, AND 4" CONCRETE PAD TO WHICH THE RAIN GUARDIAN BUNKER WILL BE SECURED. THEREFORE, THE TOP OF THE FINISHED CONCRETE PAD IS PRECISELY 1' BELOW THE GUTTERLINE ELEVATION. THE TOP OF THE RAIN GUARDIAN BUNKER METAL GRATE WILL BE 10-1/2" ABOVE THE TOP OF THE CONCRETE PAD AND 1-1/2" BELOW THE GUTTERLINE ELEVATION TO ACCOMMODATE A SLOPED INLET FROM THE GUTTER TO THE RAIN GUARDIAN BUNKER.
3. THE RAIN GUARDIAN BUNKER SHOULD BE POSITIONED 2" FROM THE EDGE OF THE CONCRETE PAD CLOSEST TO THE BACK OF THE CURB. THEREFORE, THE RAIN GUARDIAN BUNKER WILL BE 2' FROM THE BACK OF THE CURB.
4. USING THE PILOT HOLE IN EACH OF THE FOUR CORNER POSTS, PREDRILL 5/32" HOLES INTO THE CONCRETE PAD WITH A 4-1/2" MASONRY BIT AND HAMMER DRILL.
5. SECURE RAIN GUARDIAN BUNKER TO CONCRETE PAD WITH FOUR 3/16" X 2-3/4" MASONRY SCREWS (PROVIDED).
6. INSTALL FRAMING FOR INLET BETWEEN RAIN GUARDIAN BUNKER AND BACK OF CURB. TOP ELEVATIONS OF THE FRAMING SHOULD MATCH THE TOP OF THE CURB ON THE STREET SIDE AND THE TOP OF THE RAIN GUARDIAN BUNKER ON THE BIORETENTION SIDE.
7. WHEN POURING THE CONCRETE INLET, ENSURE THE CARRIAGE BOLTS ON THE RAIN GUARDIAN BUNKER ARE SURROUNDED BY AT LEAST 2" OF CONCRETE ON ALL SIDES.
8. SIDE CURBS OF THE POURED INLET MUST HAVE AN INSURMOUNTABLE PROFILE TO PREVENT WATER FLOW FROM OVERTOPPING THE DOWNSTREAM SIDE OF THE INLET.
9. WRAP CABLE THROUGH TOP METAL GRATE AND SECURE WITH PROVIDED CLAMP. ENSURE SUFFICIENT SLACK EXISTS IN CABLE TO ALLOW FOR GRATE REMOVAL AND PLACEMENT IN CONCRETE INLET DURING CLEANING. REMOVABLE FILTER WALL SHOULD BE INSTALLED WITH FILTER FABRIC FACING THE RAIN GUARDIAN BUNKER INLET.



**RAIN GUARDIAN BUNKER
PRETREATMENT CHAMBER
BIORETENTION PONDING DEPTH: 1'
TYPICAL DETAIL**

REVISION HISTORY

REV	BY	DATE	DESCRIPTION
A	MDH	02/22/2022	BUNKER - 1
SCALE		VARIABLE	
U.S. PATENT NOS.		8,501,016 AND 8,858,804	

DEVELOPED/MANUFACTURED BY:



Excerpt from Article 11 of the Ham Lake City Code

...

11-200 FENCES AND HEDGES

11-210 Definitions

For the purposes of this Code, the following terms shall have the meanings herein stated:

- A. **Fence.** Any structure which is 36 inches or more in height, and a length of 6 feet or more, which is composed on non-living materials which cover the entire area bounded by said height and length criteria;
- B. **Hedge.** Any grouping of vegetation which creates a visual barrier of a substantially opaque nature for a length of 6 feet or more and for a height of from ground level to 36 inches above ground level;
- C. **Front Yard.** The area between the public street right-of-way line and the minimum required building setback line, as measured along any side of a lot. Lakeshore properties shall be considered on both lakeside and roadside to be front yards.
- D. **Side Yard.** The area between the front yard and back yard of any lot;
- E. **Back Yard.** The area lying to the rear of the rear building line of the principal structure on any lot;
- F. **Principal Structure.** In the case of property used wholly or partially for residential purposes, the principal structure shall be the structure housing any dwelling unit. In all other cases, the principal structure shall be the structure located closest to any adjacent street, or, in the case of more than one building equidistant from such street, the building containing the greater square footage shall be deemed the principal structure.

11-220 Height

Fences and hedges shall not exceed the following heights unless a variance from this ordinance is granted by the City Council.

11-220.1 Varied Height Requirements

The above fence height requirements may be varied by resolution of the City Council, where the following conditions are met:

- a) The fence will not present any public safety problems;
- b) The height requested will not deprive adjoining properties of air, light, or ventilation, sight lines or create aesthetic problems.

Zoning Classification	Front Yard	Side yard	Back Yard
R-1, R-2, RS-1, RS-2, ML-PUD, PUD	4 feet	6 feet	6 feet
R-A, C-A	4 feet	6 feet	6 feet

CD-1-2-3 & 4, B-1, B-2	• 6-12 feet	• 6-12 feet	• 6-12 feet
I-1, I-2	• 6-12 feet	• 6-12 feet	• 6- 12 feet

- Height marked with an asterisk may be increased by two feet to accommodate a barbed wire security arm top.

11-230 Permit Required. No person, firm, or corporation shall hereafter construct or erect or cause to be constructed or erected within any Commercial or Industrial Zoning District any fence which is intended to be a permanent structure on the premises, without first securing a building permit.

11-240 Construction and Maintenance of Fences Generally. Every fence shall be constructed in a substantial, workmanlike manner and of substantial material reasonably suited for the purpose for which the fence is proposed to be used. Fences shall be constructed so that their more attractive side faces neighboring property. Every fence shall be maintained in a condition of reasonable repair and shall not be allowed to become and remain in a condition of disrepair or danger, or constitute a nuisance, public or private. Any such fence which is, or has become dangerous to the public safety, health or welfare, is a public nuisance and the Ham Lake Building Inspector shall commence proper proceedings for the abatement thereof. Link fences, wherever permitted, shall be constructed in such a manner that no barbed ends shall be at the top except in Industrial and Commercial Districts. Electric and barbed wire fences shall be permitted only on agriculturally zoned property (R-A), and shall be permitted only when necessary to further so bona fide agricultural purpose.

11-250 Residential District Fences. The following conditions shall apply in the R-1, RS-1 and PUD zoning districts:

- (1) No fence shall be erected in any front yard to a height in excess of four (4) feet, nor in any other location to a height in excess of six (6) feet.
- (2) On corner lots in all districts, no fence or planting in excess of thirty (30) inches above the street center line grade shall be permitted within a triangular area defined as follows: Beginning at the intersection of the projected curbing lines of two intersecting streets, thence twenty (20) feet along one property line, thence diagonally to a point twenty (20) feet from the point of beginning on the other property line, thence to the point of beginning.
- (3) In those instances where a fence exists as an enclosure which restricts access from the front to the rear yard, a gate, identifiable collapsible section, or other such means of recognizable ingress/egress shall be unobstructed and a minimum of three (3) feet in width. The location of such ingress/egress points shall be positioned at any point paralleling the front lot line, between the side lot property line and the principle structure. In those instances where a property contain ponds or Public Works needs to access the property for stormwater

management purposes, the gate or ingress/egress point shall be a minimum of ten (10) feet in width.

- (4) Fences on the corner lots must receive special consideration from the Ham Lake Building Official to assure site safety before a Building Permit is issued. This review may require the applicant to pay an additional fee if extraordinary means need to be taken to ascertain impacts (i.e. consultation by a Traffic Engineer).
- (5) Lakeshore properties shall be considered on both lakeside and roadside to be frontyards. In lakeside frontyard of lakeshore properties a maximum of twenty (20) feet of privacy fence can be erected from the rear of the home. Beyond twenty (20) feet a four (4) foot fence, not of opaque material may be erected to extend no further than the high water mark. In roadside frontyard of lakeshore properties shall meet the residential frontyard requirements.
- (6) No fence shall be constructed of plastic mesh, snow-fence lath, chicken-wire, or any other metal except for wrought iron or chain-link.

11-260 Commercial and Industrial Fences

Fences in all Commercial and Industrial Zoning shall not be less than 6 (six) feet and not exceed twelve (12) feet in height and may be increased to accommodate a barbed wire security arm top except that:

- (1) Special Purpose Fences. Fences for special purposes and fences differing in construction, height or length may be permitted in any district in the City of Ham Lake with approval by the Planning and Zoning Commission and City Council. Findings shall be made that the fence is necessary to protect, buffer or improve the premises for which the fence is intended.
- (2) Metal panel and chain link fencing are not appropriate in Commercial Development Tier 1 (CD-1) zoning. Fencing is not appropriate in front yard area facing Highway 65.

11-270 Inground Swimming Pools

Every "in-ground" swimming pool shall be enclosed by a non-climbable fence or wall not less than four feet high. In-ground shall be defined to mean a pool requiring excavation of more than 12 inches of existing grade. The walking surface around the pool shall be a minimum of three feet wide. Any access gate shall be self-closing and self-latching and shall open outward away from the pool. The release mechanism shall be located on the pool side of the gate at least 3 inches below the top of the gate or 54 inches from the bottom of the gate. Maximum mesh size for chain link fences shall be 1.25 inches unless the fence is provided with slats fastened at the top or bottom which reduce the openings to not more than 1.75 inches.

11-271 Above Ground Swimming Pools – Every above ground swimming pool shall be enclosed by a non-climbable fence or wall not less than four feet high. An above ground swimming pool is not required to be enclosed if the pool sidewalls are 48 inches in height or more. If an above ground swimming pool has sidewalls of 48 inches or more, a removable ladder is required to access the swimming pool. Any access gate shall be self-closing and self-latching and shall open outward away from the pool. The release mechanism shall be located on the pool side of the gate at least 3 inches below the top of the gate or 54 inches from the bottom of the gate. Maximum mesh size for chain link fences shall be 1.25 inches unless the fence is provided with slats fastened at the top or bottom which reduce the openings to not more than 1.75 inches.

11-280 Electrified Security Fences

Notwithstanding the provisions of Article 11-240, electrified security fencing may be installed in areas zoned CD-1, CD-2, CD-3, CD-4, I-P, I-1, or G-F, under the following circumstances:

- (a) The electrification is necessary to prevent or deter intrusion into an outdoor storage area during non-business hours. In order to document need, the applicant shall furnish a written communication from a representative of the Anoka County Sheriff's Office confirming that an electrified fence would constitute a crime deterrent for the particular parcel to be served;
- (b) The electrification is charged only during non-business hours of the establishment;
- (c) The electrification is at a voltage level that is non-lethal to humans, and otherwise not a threat to cause serious injury;
- (d) The installation meets all applicable electrical codes;
- (e) The design of the system is approved by the City's building official after review by the Fire Department and the Anoka County Sheriff's Office. The City may establish as a design limitation a condition that only limited strands of wires at predetermined heights may be electrified;
- (f) Adequate warning signs are posted, to the specifications of the City's building official;
- (g) The system has a shutoff that is easily accessible by emergency responders;
- (h) A permit has been obtained from the City's building official, after payment of a permit fee to be established from time to time by the City Council. The City may revoke a permit if the fence is not properly constructed, used or maintained.

- E. Other areas where other than natural wooded vegetation is to be used as ground cover, identifying the ground cover to be used;
- F. Locations, trunk size, height and species of all trees to be planted;
- G. Locations where existing natural wooded vegetation will remain undisturbed;
- H. All other landscaping features to be used.

11-1850 MINIMUM LANDSCAPING REQUIREMENTS

11-1851 Paved Surfaces All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall be surfaced with asphalt or concrete, to specifications established by the City's engineer.

11-1852 Ground Cover On any side of a lot which abuts a public road, the area from the road right-of-way to the nearest building side shall be entirely covered with ground cover consisting of pavement, decorative rock bordered with edging, lawn grass intended for regular mowing, mulch, bark, wood chips or other commonly used landscaping ground cover. Shingles, aggregate and clay mixtures such as Class V material, recycled concrete or asphalt, and other non-conventional ground covers shall not be permitted. Loose ground cover shall be installed to a depth of at least three inches. Any area which is covered by landscaping ground cover (not lawn or pavement) shall also include one decorative shrub for each ten square feet of ground cover.

Side yards and rear yards which do not contain existing natural wooded vegetation shall either be covered with ground cover in the manner stated above for front yards, or shall be planted so as to encourage the emergence of natural wooded vegetation, through the planting of tree species expected to reach a height of at least twenty five feet. Areas so prepared shall not be required to have mown lawn areas, but may be allowed to return to a natural state.

11-1853 Tree Plantings Trees which are planted outside of areas intended to return to a natural wooded state shall be of a variety indigenous to the local climate. Deciduous trees shall, when planted, have a trunk size of at least one and one half inches at a height of four feet from ground level. Conifers shall have a height of at least five feet. Tree locations are subject to review and approval of the City in the landscaping plan review process, and while no specific number of trees are required, the following general principles shall be observed;

- A. Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years;
- B. Decorative trees shall be planted along the right of way lines of adjacent public roadways;

- C. The use of conifers shall be encouraged and preferred.
- D. Whenever possible, an attempt will be made to preserve stands of existing vegetation, particularly treed or wooded areas.

11-1860 Case by Case Evaluation

Recognizing that the City contains a wide variety of commercial land, the landscape approval process shall be on a case by case basis. Where wetlands are present, or where large distances separate a commercial lot from adjacent lands, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.

11-1900 ILLICIT DISCHARGES AND CONNECTIONS TO STORM DRAINAGE SYSTEM

The purpose of this ordinance is to provide for the health, safety, and general welfare of the citizens of Ham Lake through the regulation of non-storm water discharges to the storm sewer drainage system to the maximum extent practicable as required by federal and state law. This ordinance establishes methods for controlling the introduction of pollutants into the Municipal Separate Storm Sewer System (MS4) in order to comply with requirements of the National Pollutant Discharge Elimination System (NPDES) permit process. The objectives of this ordinance are:

1. To regulate and minimize the contribution of pollutants to the municipal separate storm sewer system (MS4) by stormwater discharges by any user.
2. To prohibit Illicit Connections and Discharges to the municipal separate storm sewer system.
3. To establish legal authority to carry out all inspection, surveillance and monitoring procedures necessary to ensure compliance with this ordinance.

11-1900.10 DEFINITIONS

For the purposes of this Code, the following shall mean:

a) Authorized Enforcement Agency: employees or designees of the Administrator of the City of Ham Lake designated to enforce this Ordinance.

b) Best Management Practices (BMPs): schedules of activities, prohibitions of practices, general good house keeping practices, pollution prevention and educational practices, maintenance procedures and other management practices to prevent or reduce the

NOTICE OF PERMIT APPLICATION STATUS

Project: Markquart RV Ham Lake

Date: April 11, 2025

Applicant: Markquart Ham Lake LLC
Attn: John Markquart
1884 Commercial Blvd.
Chippewa Falls, WI 54729

Permit Application#: P-24-061

Purpose: parking lot reconstruction and expansion with associated stormwater treatment features.

Location: 14525 MN-65, Ham Lake

At their meeting on 03/24/2025 the Board of Managers of the Coon Creek Watershed District **Approved with Conditions** the above referenced project with 3 conditions and 4 stipulations. **This is NOT a permit.**

Since the last submittal on 04/01/2025, the following conditions remain which must be addressed before permit issuance.

1. Provide proof of recording of a fully executed Operations and Maintenance Agreement for the perpetual inspection and maintenance of all proposed stormwater management practices after review and approval by the District. *In progress*
2. Submittal of a performance escrow in the amount of \$3,300.00.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rules. If you have any questions, please call 763-755-0975.

Sincerely,



Erin Margl
Watershed Development Coordinator

cc: File P-24-061
Eileen Weigel, Stantec
Dave Krugler, RFC Engineering

December 5, 2024

Project Owner:

John Markquart
1884 Commercial Blvd.
Chippewa Falls, WI 54729

Project Contractor:

To be determined To be determined
To be determined
To be determined, WI 00000

RE: NPDES/SDS General Stormwater Permit for Construction Activity (MNR100001) Application
Permit ID Number: C00071091
Project Name: Markquart RV Ham Lake

The Markquart RV Ham Lake project has been granted coverage by the Minnesota Pollution Control Agency (MPCA) under the National Pollutant Discharge Elimination System (NPDES)/State Disposal System (SDS) Stormwater Permit (Permit) for Construction Activity. Permit coverage is effective for this project on December 5, 2024.

You are required to comply with the terms of the permit to prevent erosion and control sediment from your site with the procedures established in your stormwater pollution prevention plan (SWPPP). You are also required to upgrade your SWPPP and erosion prevention and sediment control best management practices as site and weather conditions dictate throughout the entire term of the project.

Once all construction activity has been completed at this project, you must submit a notice of termination using MPCA e-Services (<https://rsp.pca.state.mn.us>) within 30 days of meeting the conditions outlined in Part 4 of the permit. You can check the status of your permit on the MPCA's construction stormwater permit information search page at:
<https://webapp.pca.state.mn.us/csw/permits>.

Please save this letter for your records. If you have any questions about permit coverage for this project, please contact the Construction Stormwater Program at 651-757-2119 or toll free at 800-657-3804.



MINNESOTA DEPARTMENT OF TRANSPORTATION DRAINAGE PERMIT APPLICATION

Document Management System # _____

District M2 Permit # D-25-114035C.S. 0208 T.H. 65

R.P. _____

(THIS SECTION FOR MnDOT OFFICE USE ONLY.)

**ATTACH REQUIRED TECHNICAL SUBMITTALS (SEE INSTRUCTIONS) TO COMPLETED FORM AND
SUBMIT TO DISTRICT OFFICE OF MINNESOTA DEPARTMENT OF TRANSPORTATION**

APPLICANT CEDAR CORPORATION	TELEPHONE 608-237-5834	ADDRESS (Street, City, State, Zip) 2820 WALTON COMMONS WEST, SUITE 142 MADISON WI 53718
PROPERTY OWNER JOHN MARKQUART	TELEPHONE 715-829-9002	ADDRESS (Street, City, State, Zip) 1884 Commercial Blvd, Chippewa Falls, WI 54729
PARTY PERFORMING WORK Unknown	TELEPHONE Unknown	ADDRESS (Street, City, State, Zip) Unknown
LOCATION OF PROPOSED WORK (City/Township) _____ (County) _____ (Distance) _____ (N-S-E-W) _____	SPECIFIC ROAD INTERSECTION OR LANDMARK	
Highway 65 NE in City of Ham Lake	Anoka	0 Miles of 14525 MN-65, Ham Lake, MN 55304

WILL THIS BE WITHIN TRIBAL LANDS? NO IF YES, WHICH ONE?

TYPE OF DRAINAGE (check all that apply)

Ditch, Pond Privately owned infiltration basin with storm sewer outlet to open ditch in DOT ROW

AREA TO BE DRAINED

4.2 acres

PIPE SIZE AND TYPE

18" HDPE

CASING SIZE AND TYPE

LEGAL DESCRIPTION OF PROPERTY (Attach extra pages as needed)

Lot 1 Block 2 North Pines, Subj to ease of rec

PERMITS FROM OTHER AFFECTED REGULATORY AGENCIES THAT THE APPLICANT WAS REQUIRED TO OBTAIN

Coon Creek Watershed District, Minnesota Pollution Control Agency, Great River Energy (still need to apply)WORK TO START ON OR AFTER 6/2/2025WORK TO BE COMPLETED BY 9/30/2025

COMPANY PROJECT NUMBER

M7001-005

COMMENTS

APPLICANT'S ACCEPTANCE, WAIVER AND INDEMNIFICATION

The undersigned applicant hereby agrees to comply with applicable statutes, rules and all the terms and conditions of this permit to the satisfaction of the Minnesota Department of Transportation. The applicant understands and agrees that no work in connection with this application will be started until the application has been approved and the permit issued.

The applicant is aware of circumstances, dangers or hazards that may arise while working on a highway right of way that could result in injury, loss, damage or death, and the applicant assumes the risk of such circumstances, dangers and hazards, whether reasonably foreseeable or not.

The applicant also understands that this permit may also be subject to the approval of local road authorities having joint supervision over said street or highway, and may be subject to applicant's compliance with the rules and regulations of the Minnesota Environmental Quality Board and/or any other affected governmental agencies.

The undersigned applicant expressly agrees that except for negligent acts of the State, its agents and employees, the applicant or his/her agents or contractor shall assume all liability for, and save the State, its agents and employees, harmless from any and all claims for damages, actions or causes of action arising out of the work to be done in connection with this application and permit.

NAME AND TITLE
JORDAN BOVEE
STAFF ENGINEER II

EMAIL ADDRESS
JORDAN.BOVEE@CEDARCORP.COM

DATE 04/23/2025

SIGNATURE

DO NOT WRITE BELOW THIS POINT

AUTHORIZATION OF PERMIT

In consideration of the applicant's agreement to comply in all respects with the applicable laws and the conditions of the Commissioner of Transportation pertaining to this permit, permission is hereby granted for the work to be performed as described in the above application, said work to be performed in accordance with the following special provisions:

SEE ATTACHED STANDARD CONDITIONS AND SPECIAL PROVISIONS

PERMIT NOT VALID UNLESS BEARING AUTHORIZED MnDOT SIGNATURE AND PERMIT NUMBER

12/1/25**APPROVED**By Jeff Dierberger at 10:22 am, Jul 23, 2025

DATE ALL WORK TO BE COMPLETED BY

AUTHORIZED

AUTHORIZED SIGNATURE

DISTRIBUTION

DEPOSIT REQUIREMENTS

DEPOSIT TYPE

Original to Area Maintenance Engineer

No Deposit Required

Cashier's Check #

Applicant

Deposit Required in the Amount of \$

Certified Check #

Subarea Supervisor	Date Deposit Received _____	Money Order # _____
Roadway Regulations Supervisor	Deposit to be returned upon satisfactory completion of all work	Bond # _____

DATE WORK COMPLETED _____ (The date when the work is completed must be reported to the MnDOT District Permits Office)

MINNESOTA LAW REGULATING DRAINAGE WORK

The State law is as follows:

160.20 DRAINAGE

Subdivision 1. Connecting drains to highway drains.

When the course of natural drainage of any land runs to a highway, the owner of the land shall have the right to enter upon the highway for the purpose of connecting a drain or ditch with any drain or ditch constructed along or across the highway, but before making the connections, shall first obtain a written permit for the connections from the road authority having jurisdiction. The connections shall be made in accordance with specifications set forth in the permits. The road authority shall have power to prescribe and enforce reasonable rules and regulations with reference to the connections. The highway shall be left in as good condition in every way as it was before the connection was made. **Subd. 3. Installing drain tile along or across highway.**

When the course of natural drainage of any land runs to a highway, the owner of the land who has been granted a permit as provided in subdivision 4 may install drain tile along or across the highway right-of-way along the general course of the natural drainageway, provided further that there will be no diversion of drainage waters away from the natural receiving drainageway immediately downstream from the highway. Any installations shall be made in accordance with specifications set forth in the permit and any rules that apply to the installations. When any installation is made pursuant to this subdivision the highway shall be left in as good condition in every respect as it was before the installation was made. **Subd. 4. Conditions**

- (a) A road authority may accept applications for permits for installation of drain tile along or across the right-of-way under its jurisdiction. The road authority may adopt reasonable rules for the installations and may require a bond before granting any permit. Permits for installation along a highway right-of-way must ensure that the length of the installation is restricted to the minimum necessary to achieve the desired agricultural benefits. A permit must not allow open trenches to be left on the right-of-way after installation of the drain tile is completed. A road authority that grants a permit for drain tile installation is not responsible for any damage to that installation resulting from the action of the authority or any other permittee utilizing the right-of-way.
- (b) A person who installs drain tile along or across a highway right-of-way without obtaining a permit as provided in this section is guilty of a misdemeanor.
- (c) The commissioner shall take no action under this section which will result in the loss of any federal aid for highway construction in the state.
- (d) For the purpose of this section, "highway" means any highway as defined in section 160.02 which is located outside the corporate limits of a home rule charter or statutory city.

STANDARD CONDITIONS AND REQUIREMENTS

1. All construction details shall be entered on Form 30795-02 or supplemental sheets as required.
2. Installations shall be in accordance with Specification 2502 of the Minnesota Standard Specifications for Construction.
3. Any permanent signs or permanent traffic barriers (including crash cushions) installed on the State Highway system must be deemed crashworthy under the American Association of State Highway and Transportation Officials (AASHTO) "Manual for Assessing Safety Hardware, 2016 (MASH-16)". Where work on or near the traveled roadway is necessary, proper traffic signs, channelizing devices, warning lights, and barricades shall be erected to protect traffic, employees, and pedestrians. All temporary traffic control devices and methods shall conform to the Minnesota Field Manual on Temporary Traffic Control Zone Layouts, Minnesota Manual on Uniform Traffic Control Devices (MMUTCD), Minnesota Standard Signs and Markings Manual, and the appropriate provisions of Standard Specification 1710. All temporary traffic control devices shall be deemed crashworthy under the American Association of State Highway and Transportation Officials (AASHTO) "Manual for Assessing Safety Hardware, 2016 (MASH-16)" with exceptions as noted under MnDOT Technical Memorandum No. 1903-T-01 Crashworthy Requirements for Temporary Traffic Control Devices. (See memo at: <http://dotapp7.dot.state.mn.us/edms/download?docId=2434220>)
4. Unless adequately protected by a traffic barrier, there shall be no work within the clear zone, nor shall pipe materials, equipment or other objects be stored within the clear zone. If temporary traffic barrier is used, it will be placed according to the "MnDOT Temporary Barrier Guidance Manual" (December 2018). (See website at: www.dot.state.mn.us/trafficeng/workzone/doc/Temporary%20Barrier%20Guidance%20Manual%20181129.pdf) Any temporary traffic barrier (including crash cushions) must be deemed crashworthy under MASH-16.
5. Any person acting as a Flagger for permitted work shall have attended a training session taught by a MnDOT Qualified Flagger Trainer within the twelve months immediately preceding the start date of all flagging activity. A Flagger shall receive a Flagger Qualification Card, signed by a MnDOT Qualified Flagger Trainer, upon successful completion of this training. During all flagging activity, a Flagger must carry a signed Flagger Qualification Card on that Flagger's person and be in possession of a current Minnesota Flagging Handbook. The Minnesota Flagging Handbook is available from MnDOT Qualified Flagger Trainers or from a MnDOT District Office.

6. Allowable materials for longitudinal installations shall be:
 - i. Corrugated metal pipe (Std. Plate 3040)
 - ii. Reinforced concrete pipe (Std. Plate 3000)
7. Connections of field tile to allowable longitudinal installations shall be made a minimum of three feet beyond the highway right of way line using an inspection tee. (Std. Plate 3143)
8. All casings shall be jacked or bored.
9. All system installations shall be at a minimum of three feet below existing ground.
10. No installations will be permitted in the shoulder or in-slope of the roadway.
11. The owner, his successor or assigns, shall maintain the installation in perpetuity.
12. Before a drainage permit that outlets to MnDOT right-of-way or crosses the trunk highway can be reviewed or issued it is required that the applicant submit letters from any other affected regulatory agencies before a permit will be considered. These letters must indicate that the property to be drained is not a wetland; the agencies approve the drainage request and any conditions the agencies have put on the request.
13. The applicant shall comply with all rules and regulations of the Minnesota Environmental Quality Board and any other affected governmental agencies.
14. The applicant shall furnish, install and maintain an approved culvert marker post at outlet of drainage tile.
15. The drainage work shall not interfere with any existing utility facilities on the trunk highway right-of-way.
16. Removal of trees or shrubs within the right of way requires prior approval of the Area Maintenance Engineer or his authorized representative.
17. No equipment will be permitted to operate on or across the roadway which will damage the roadway or shoulder surface.
18. The State reserves the right to remove or repair, with its own forces but at the expense of the applicant, any tile outlet which is not maintained and causes damage to adjacent right of way. Applicant must obtain a permit to do maintenance work on the drainage system covered by this permit.
19. If the Minnesota Department of Transportation shall make any improvements or change on all or any part of its right of way upon, over, under or along the trunk highway, then and in every case the applicant herein named shall, after notice from the Commissioner of Transportation or his authorized agents, proceed to alter, change, vacate or remove from trunk highway right of way said works necessary to conform with said changes without cost to the State of Minnesota.
20. Issuance of this permit is subject to the provisions of Chapter 103B of the Minnesota Statutes.
21. After the Drainage Permit has been approved the applicant will be notified and a security deposit will be requested. A security deposit is required for permits that authorize work in MnDOT R/W to ensure that work is completed to MnDOT's satisfaction. The actual amount required will depend on the specific situation. The District Permit Section will determine the amount and type of deposit to be submitted. Minnesota rules require deposits be submitted in the form of a certified check, cashier's check, or surety bond made payable to the State of Minnesota, Commissioner of Transportation. Deposits must be irrevocable and cannot expire. A permit will not be issued until the deposit is received. Additionally, any expense incurred by the Minnesota Department of Transportation above the posted deposit will be assessed against the applicant.
22. In the event construction has not been started by the "WORK TO BE COMPLETED BY" date, this permit becomes null and void and deposit refunded.
23. After work on a project is completed the applicant must notify the permit office that such work has been completed and is ready for final inspection and acceptance. If the construction and all other related work is satisfactory and the turf items are re-established the deposit will be returned to the applicant.

THIS PERMIT IS SUBJECT TO THE FOLLOWING CONDITIONS:

The installation authorized in this permit will be inspected by Phil Flater, 651-775-0410, MN/DOT Roadway Regulation Inspector. The applicant or its contractor will notify MN/DOT's inspector at least three days prior to starting the installation. Any questions the applicant may have pertaining to MN/DOT's storm water facilities shall be presented at this time. MN/DOT's inspector will approve all highway materials prior to placement, and the total installation must meet with his/her satisfaction.

Attached is a drainage map that satisfies the requirements for MN/DOT storm water utility locates per Minnesota Statutes 216D and Minnesota Rules 7560.0250. By acceptance of a permit from MN/DOT, the applicant agrees that it, and all of its agents or contractors, shall use MN/DOT's drainage map to identify the location of MN/DOT drainage facilities as satisfaction of the requirements of Minnesota Statutes Ch. 216D and Minnesota Rules 7650.0250 with respect to MN/DOT's storm water drainage facilities.

This permit authorizes the applicant to modify the existing drainage pattern to TH65 right of way, near 145th Ave NE, in the city of Ham Lake as shown on applicant's plan sheet(s).

MNDOT will not allow any increase in volume/rate of drainage to its R/W.

Any lane closures shall be approved by this office at 651-775-0410, 3 days prior to the lane closure. The hours of the lane closure shall be determined by this office.

The applicant shall provide in-house inspection at all times while working on trunk highway right of way.

The applicant shall furnish, install and maintain all required traffic control devices according to the Minnesota Field Manual on Temporary Traffic Control Zone Layouts (see web page @ www.dot.state.mn.us/trafficeng/), while performing the construction authorized by this permit. **Due to the Twin City rush hour restrictions, no work involving interference with or causing a distraction to traffic will be allowed from 6:00 AM to 9:00 AM, or from 3:00 PM to 6:00 PM, unless authorized by the MN/DOT Permit Office at 651-775-0410.**

If the temporary traffic control zone is to remain in one place for more than 3 days or involves a detour, road closure or a situation where the typical layouts do not apply, the applicant shall prepare a specific Traffic Control Plan for approval by Mn/DOT prior to start of any construction.

Temporary lane restrictions will be permitted as detailed at the following link: <http://www.dot.state.mn.us/metro/trafficeng/laneclosure/index.html>

All persons while performing authorized work on Mn/DOT Right of Way shall be required to wear a Mn/DOT approved High Visibility Safety Vest and Soft Cap/Hard Hat. Any authorized night work requires all personnel to wear a Mn/DOT approved full night safety suit (pants and jacket).

David Krugler

From: Jordan Bovee <jordan.bovee@cedarcorp.com>
Sent: Thursday, August 7, 2025 8:26 AM
To: David Krugler
Cc: Russ Kiviniemi
Subject: FW: Right of Way Variance and Encroachment Application

Good morning David,

Here is an email thread from my correspondence with Great River Energy as requested. The plans have been approved.

The parking lot lights were shortened from 20' to 15' to meet their separation requirements. This is reflected in the current plan set that was provided to you.

Thanks,



Jordan Bovee

Staff Engineer I | Cedar Corporation

✉ jordan.bovee@cedarcorp.com



2820 Walton Commons W, Suite 142
Madison, WI 53718

Office 608.249.5046

Direct 608.237.5834

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From: Oddy, Courtney GRE-MG <coddy@GREnergy.com>
Sent: Tuesday, June 10, 2025 11:06 AM
To: Jordan Bovee <jordan.bovee@cedarcorp.com>; Paumen, Troy GRE-MG <TPaumen@GREnergy.com>; john@markquart.com
Cc: Josh McDermott <Josh.McDermott@connexusenergy.com>; Russ Kiviniemi <russ.kiviniemi@cedarcorp.com>; MacMillan, Michelle GRE-MG <mmacmillan@GREnergy.com>
Subject: RE: Right of Way Variance and Encroachment Application

Jordan/All

I have reviewed this again with the 15' pole in the same location and am approving the application. Can you please let us know when construction is completed so we can conduct As Built Survey.

Thank you

Courtney Oddy
Senior Engineering Technician
Direct: 763-445-5919
coddy@greenergy.com

From: Jordan Bovee <jordan.bovee@cedarcorp.com>

Sent: Friday, May 30, 2025 10:18 AM

To: Paumen, Troy GRE-MG <TPaumen@GREnergy.com>; Oddy, Courtney GRE-MG <coddy@GREnergy.com>; john@markquart.com

Cc: Josh McDermott <Josh.McDermott@connexusenergy.com>; Russ Kiviniemi <russ.kiviniemi@cedarcorp.com>

Subject: RE: Right of Way Variance and Encroachment Application

This email was sent by an external sender. Opening attachments or clicking links from untrusted sources may cause damage to you and Great River Energy.

Hi Troy and Courtney,

After some discussion we have decided to shorten the streetlights to a 15' height to meet the NESC Code Required Clearances. This revision is reflected in the updated plan set attached.

Please let me know if you need anything else.

Best,



Jordan Bovee

Staff Engineer I | Cedar Corporation

✉ jordan.bovee@cedarcorp.com



2820 Walton Commons W, Suite 142
Madison, WI 53718

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From: Jordan Bovee <jordan.bovee@cedarcorp.com>

Sent: Wednesday, May 28, 2025 11:05 AM

To: Paumen, Troy GRE-MG <TPaumen@GREnergy.com>; Oddy, Courtney GRE-MG <coddy@GREnergy.com>; john@markquart.com

Cc: Josh McDermott <Josh.McDermott@connexusenergy.com>

Subject: RE: Right of Way Variance and Encroachment Application

Hi Troy,

Courtney's email has been received. We are communicating internally to determine how we would like to address the streetlight conflicts.

I will resubmit the revised plan set once we have decided how we would like to proceed.

Thanks,

Jordan Bovee

Staff Engineer

Cedar Corporation

2820 Walton Commons West #142 | Madison | WI | 53718

Office: 608-249-5046 | TF: 800-472-7372

jordan.bovee@cedarcorp.com

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From: Paumen, Troy GRE-MG <TPaumen@GREnergy.com>
Sent: Wednesday, May 28, 2025 11:00 AM
To: Oddy, Courtney GRE-MG <coddy@GREnergy.com>; john@markquart.com; Jordan Bovee <jordan.bovee@cedarcorp.com>
Cc: Josh McDermott <Josh.McDermott@connexusenergy.com>
Subject: RE: Right of Way Variance and Encroachment Application

You don't often get email from tpaumen@greenergy.com. [Learn why this is important](#)

Hi Jordan and John,

Just checking back to see if you had a chance to review Courtney's email. Please reply back so we know you have received it.

Thanks
Troy Paumen
Supervising Manager, Transmission Line Engineering Technicians
Great River Energy
612-309-8756

From: Oddy, Courtney GRE-MG <coddy@GREnergy.com>
Sent: Tuesday, May 20, 2025 10:06 AM
To: john@markquart.com; jordan.bovee@cedarcorp.com
Cc: Paumen, Troy GRE-MG <TPaumen@GREnergy.com>; Josh McDermott <Josh.McDermott@connexusenergy.com>
Subject: Right of Way Variance and Encroachment Application

Jordan/John

We have reviewed your drawings and discussed your project with Connexus. Unfortunately, 2 of the 4 lights do not meet NESC Code Required Clearances and will not be approved at their currently proposed locations. These streetlight will need to be relocated.

If numbering the streetlights 1-4 (South to North). Streetlights 1 and 3 do not meet this requirement. Streetlight 1 would have to move 9' East. It does not meet clearances anywhere inline (South to North) of its current location.

Streetlight 3 would have to move either 9' East or 65'-95' to the South.

Another option would be for these lights to be shorten to 15'.

New locations would also need to be submitted for approval.

Please let me know if you need any further information.

Courtney Oddy

Senior Engineering Technician
Great River Energy
12300 Elm Creek Boulevard
Maple Grove, MN 55369-4718
Direct: 763-445-5919
coddy@greenergy.com



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VIOLATIONS OF THE TERMS OR CONDITIONS OF THIS PERMIT MAY BE GROUNDS FOR REVOCATION OF THE PERMIT PURSUANT TO SECTION 9-310.34 OF THE ZONING CODE, A COPY OF WHICH IS HERETO ATTACHED.

- 1) Signage in customer restricted areas to be posted every 50 feet and on all corners and, if signage is deemed not to be working, that the City reserves the right to require paving or fencing of these areas.
- 2) The City reserves the right to address noise complaints.
- 3) The Aberdeen Street NE access is an exit only access.
- 4) The City reserves the right to alter access of 145th Lane NE and Aberdeen Street NE.
- 5) A double row of 4-foot conifer trees be planted and maintained along Aberdeen Street NE.
- 6) Fencing to be repaired along the entire perimeter of the property.
- 7) The trash enclosure to be screened.
- 8) No engine repair is to be done on site.
- 9) Severely damaged vehicles be kept inside the facility or completely screened or covered and that there will be a maximum of 2 damaged vehicles on the lot at any one time.
- 10) Signage facing the residential area to be removed.
- 11) Hours of operation will be 9:00 a.m. to 8:00 p.m. Monday through Saturday.
- 12) Meeting all City, State and County Codes.

CUP North Country RV
RENEWAL DATE 02/28/2022

North Country RV
David & Marly Rignell
14525 Highway 65 NE
Ham Lake, MN 55304

CURRENT CONDITIONAL USE PERMIT FOR 14525 HIGHWAY 65 NE.
A REQUEST TO AMEND BUSINESS HOURS WILL BE REVIEWED BY THE
PLANNING COMMISSION ON AUGUST 25, 2025, AND THE CITY COUNCIL
ON SEPTEMBER 2, 2025