



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, AUGUST 25, 2025

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: August 11, 2025

PUBLIC HEARING:

- 6:01 p.m.** John Markquart of Markquart Ham Lake, LLC, requesting an amendment to the Conditional Use Permit to revise hours of operation for North Country RV at 14525 Highway 65 NE.
- 6:01 p.m.** Abraham Alwan of Exotic Automotives LLC, requesting a Conditional Use Permit to operate a service, repair and auto body shop at 16909 Baltimore Street NE.
- 6:01 p.m.** Darren Lazan of Landform Professional Services, LLC, on behalf of Jason Osberg, JD Ham Lake Holdings, LLC, requesting preliminary plat approval and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for Kohler Farms, a 43-lot single family residential development in Section 13.

NEW BUSINESS:

1. Joseph Radach of Contour Development LLC, requesting Final Plat approval, for Elwell Farms (50 Single Family Residential lots and 8 outlots) in Section 36.

COMMISSION BUSINESS:

1. City Council Update

CITY OF HAM LAKE
PLANNING COMMISSION MINUTES
MONDAY, AUGUST 11, 2025

The Ham Lake Planning Commission met for its regular meeting on Monday, August 11, 2025, in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Jeff Entsminger, David Ross, Jonathan Fisher and Erin Dixon

MEMBERS ABSENT: Commissioners Kyle Lejonvarn and Dave Ringler

OTHERS PRESENT: City Engineer Dave Krugler, Building and Zoning Official Mark Jones and Building and Zoning Clerk Jennifer Bohr

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Dixon, seconded by Ross, to approve the minutes of the July 28, 2025, Planning Commission meeting as written. All present in favor, motion carried.

PUBLIC HEARING: None

Commissioner Entsminger removed himself from the table due to his ownership interest in the 15035 Aberdeen Street NE parcel.

NEW BUSINESS:

Marta Nandlall of Nishan Auction and Sales LLC, requesting a Certificate of Occupancy to operate a used car dealership at 15035 Aberdeen Street NE

Ms. Marta Nandlall was present. Chair Pogalz asked Commissioner Fisher, who completed the inspection (a copy which is on file), to comment. Commissioner Fisher stated there is a large empty parking lot on the property and two buildings. Commissioner Fisher stated one of the buildings is a warehouse/garage and the other building is a warehouse/garage with office space. Commissioner Fisher stated the property is well suited for this use. Commissioner Fisher stated the applicant purchases used vehicles from auction and will have up to eight cars on the property at one time for sale; the cars will all be licensed and will not be damaged. Commissioner Fisher stated there will be no repairs done on the property and the property will not be used as an

impound lot. Chair Pogalz asked Ms. Nandlall to comment. Ms. Nandlall stated she had no comment. Chair Pogalz asked Commissioner Fisher if he had any concerns related to the applicant's request. Commissioner Fisher stated the property is an existing lot of record with access from a city street that ends in a cul-de-sac and the property is zoned CD-2, Commercial Development II, which permits the operation of a used car sales lot. **Motion by Fisher, seconded by Ross, to recommend approval of the Certificate of Occupancy for Nishan Auction and Sales LLC as presented by Marta Nandlall, to operate a used car dealership at 15035 Aberdeen Street NE, subject to the location being used for used auto sales only, all vehicle inventory on the property must be capable of obtaining applicable licenses and all motor vehicles shall be completely assembled motor vehicles as customarily delivered from the factory, no damaged vehicles are to be kept at this location, all vehicle parking to be as shown on the parking diagram and is not to exceed 15 vehicles, no auto repair is to be performed onsite other than general maintenance, such as headlight or windshield replacement, the property not being used as an impound lot, hours of operation being Mondays from 9:00 am to 1:00 pm and Tuesday to Saturday by appointment only, Marta Nandlall or Neyvash Nandlall to be the only employees to work onsite, and meeting all State and City Codes and requirements.**

Chair Pogalz asked Ms. Nandlall if she had seen Building and Zoning Official Jones' memo and understood the conditions. Ms. Nandlall stated she had seen the memo and does understand the conditions. Commissioner Fisher stated he did review the memo with Ms. Nandlall.

Commissioners Pogalz, Ross, Fisher and Dixson voted yes, Commissioner Entsminger abstained from the vote. Motion carried. This application will be placed on the City Council's Monday, August 18, 2025, agenda.

Commissioner Entsminger returned to his seat at the table.

John Markquart of Markquart Ham Lake, LLC, requesting Commercial Site Plan approval to reconstruct and expand the hard surface parking area at 14525 Highway 65 NE.
Mr. John Markquart was present. Chair Pogalz confirmed the location is that of North Country RV. Mr. Markquart stated it is. Mr. Markquart stated much of the property is currently unimproved and there is not a drainage pond. Mr. Markquart stated the plans show how the property will be improved, including adding a drainage pond; the plans have obtained approval from MnDOT and the Coon Creek Watershed District (CCWD). Mr. Markquart stated the current parcel consists of three parcels that have been combined into one parcel. Mr. Markquart stated the proposed site plan will allow campers to be easily moved around on the lot, meets the requirements for fire department access and will make managing the flow of work and sales easier. Chair Pogalz asked Engineer Krugler to comment. Engineer Krugler stated after combining three parcels together, the property is 5.22 acres. Engineer Krugler stated there are trees along the eastern property line; it will up to the Planning Commission to determine if those trees provide adequate screening to the adjacent residential property and if trees should be planted along the western property line that is adjacent to Highway 65 NE. Engineer Krugler stated Great

River Energy power lines run along Highway 65 NE and the western property line. Engineer Krugler stated the applicant has acquired permits from the Coon Creek Watershed District, MnDOT and has a NPDES permit from the Minnesota Pollution Control Agency. Chair Pogalz asked Building and Zoning Official Jones to comment. Building and Zoning Official Jones stated a chain link fence has been in place around the property. Building and Zoning Official Jones stated the plans indicate some change in location for the fence. Building and Zoning Official Jones stated if the Planning Commission recommends approval, the applicant could reconstruct and relocate the chain link fence; a fence permit will be required. Mr. Markquart stated there was a chain link fence along Highway 65 NE, but it was setback approximately 37-feet due to a former access easement to the former 14533 Highway 65 NE parcel. Mr. Markquart stated he had a discussion with city staff about fencing along the western property line and it was determined a fence was not necessary. Mr. Markquart stated he would contact the city in the future if they determine a fence is needed. Mr. Markquart stated staff informed him that city code states chain link fence is not appropriate in Commercial Development I (CD-1) zoning. Mr. Markquart stated that if a fence is constructed along the western property line in the future, it would be aesthetically pleasing. Mr. Markquart stated there is currently a chain link fence along the northern, eastern and southern property lines. Mr. Markquart stated that will remain and there may be a continuation of the chain link fence from the northwest corner of the property 50 feet south along the western property line. Commissioner Dixon completed the inspection. A copy which is on file. Commissioner Dixon stated she spoke with Mr. Markquart about the fence and he stated it is his preference not to have a fence on the western property line. Commissioner Dixon stated the trees along the eastern property line provide sufficient screening. Commissioner Dixon stated she did not feel the city should require the planting of trees along the western property line as trees would obstruct the view of the campers on display for sale and there are several other properties along Highway 65 NE that do not have trees on the property border that is adjacent to Highway 65 NE. Commissioner Dixon stated adding additional asphalt to the lot will provide a better and cleaner surface for customers when they are looking at the campers. Chair Pogalz asked about the applicant's interest in changing the business hours. Commissioner Dixon stated the applicant would like to have business hours from 7:00 am to 8:00 pm Monday through Saturday and 9:00 am to 6:00 pm Sundays. Commissioner Dixon stated the applicant is requesting approval of those hours although actual business hours may differ. Commissioner Dixon stated the applicant has stated they will not be open on Sundays other than when events are scheduled. Building and Zoning Official Jones stated the parcel currently has a Conditional Use Permit (CUP); the applicant will need to apply for an amendment to the CUP to obtain approval for the proposed business hours. Building and Zoning Clerk Bohr stated the Planning Commission will review a request to amend the current CUP at the next meeting. Commissioner Dixon asked Building and Zoning Official Jones if a fence was required on the western property line. Building and Zoning Official stated a fence is not required. Building and Zoning Official Jones stated he noted the information about fencing in his memo so there was discussion about the chain link fence, and that proper approvals were obtained if the applicant wanted a chain link fence. Commissioner Dixon stated the chain link fence may be extended 50 feet along the western property line. from the northwest corner of the property. Commissioner Dixon stated that extension would be acceptable due to there being existing chain link fence in place. Chair Pogalz asked

Mr. Markquart if the 1446 145th Avenue NE parcel to the south would be combined with the 14525 Highway 65 NE parcel. Mr. Markquart stated they have decided not to take any action on that property at this time. Mr. Markquart stated there has been discussion on combining the two parcels together; that may be addressed in the future. Mr. Markquart stated the focus is on improving the 14525 Highway 65 NE parcel now. Mr. Markquart also commented on the business hours he would like to have. Mr. Markquart stated employees will likely have shorter business hours than he is requesting; he wants the ability to have the proposed business hours in the future if needed. **Motion by Dixon, seconded by Entsminger, to recommend approval of the request of John Markquart of Markquart Ham Lake, LLC, for the Commercial Site Plan to reconstruct and expand the hard surface parking area at 14525 Highway 65 NE, subject to obtaining a permit for the 50-foot extension of the chain link fence along the northwestern property line, submitting a request for an amendment to the Conditional Use Permit related to business hours, meeting the requirements of the City Engineer, meeting the requirements of the Building Official, meeting all city, state and county requirements.**

Chair Pogalz asked Commissioner Dixon if she had reviewed the memo with Mr. Markquart. Commissioner Dixon stated they discussed the memo, but she did not address every point in the memo. Mr. Markquart asked for clarification on the conditions. Commissioner Dixon provided an explanation of the conditions noted in the motion. Engineer Krugler stated outstanding items with the CCWD are the signing of an operations and maintenance agreement and paying a performance escrow to obtain a permit.

All present in favor, motion carried. *This application will be placed on the City Council's Monday, August 18, 2025, agenda.*

COMMISSION BUSINESS:

City Council Update

Chair Pogalz informed the Commissioners that the City Council tabled the Kohler Farms revised sketch plan discussion at the August 4, 2025 meeting due to the Hupp Street NE and 160th Avenue NE cul-de-sac exceeding 1,100 feet. Chair Pogalz stated the City Council held a special meeting on August 11, 2025 to review a third rendition of the sketch plan that met city code requirements for cul-de-sac lengths. Chair Pogalz stated a small cul-de-sac was added south of 160th Avenue NE, and although the length of the road overall did not change, the plans now meet city code requirements for cul-de-sacs. There will not be a Planning Commissioner present at the August 18, 2025 City Council meeting.

ADJOURNMENT:

Motion by Dixon, seconded by Fisher, to adjourn the Planning Commission meeting at 6:29 p.m. All present in favor, motion carried.

Jennifer Bohr
Building and Zoning Clerk

**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: August 25, 2025

INSPECTION ISSUED TO: Erin Dixon

APPLICANT/CONTACT: John Markquart, Markquart Ham Lake, LLC

TELEPHONE NUMBER: 715-829-9002/john@markquart.com

BUSINESS/PLAT NAME: North Country RV

ADDRESS/LOCATION OF INSPECTION: 14525 Highway 65 NE

APPLICATION FOR: Amendment to Conditional Use Permit

RECOMMENDATION: _____

DATE: _____

PLANNING COMMISSIONER SIGNATURE: _____



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 3-27-25

Date of Receipt 3-27-25

Receipt # 101892 Amount \$ 1150.00

Meeting Appearance Dates:

Planning Commission 8-25-25

City Council _____

Please check request(s):

- ☐ Metes & Bounds Conveyance
- ☐ Sketch Plan
- ☐ Preliminary Plat Approval*
- ☐ Final Plat Approval
- ☐ Rezoning*
- ☐ Multiple Dog License*

- ☒ Commercial Building Permit Reviewed 8-11-25
- ☐ Certificate of Occupancy
- ☐ Home Occupation Permit
- ☐ Conditional Use Permit (New)*
- ☒ Conditional Use Permit (Renewal) amendment
- ☐ Other _____

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: Markquart Ham Lake, LLC

Address/Location of property: 14525 Hwy 65 NE Ham Lake MN 55304

Legal Description of property: Lot 1 Blk 2 North Pines; subject to ease of rec

PIN # 29-32-23-13-0019 Current Zoning _____ Proposed Zoning _____

Notes: Commercial site plan application

Applicant's Name: John Markquart

Business Name: Markquart Ham Lake, LLC

Address 1844 Commercial Blvd

City Chippewa Falls State WI Zip Code 54729

Phone NA Cell Phone 715-829-9002 Fax NA

Email address john@markquart.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 3-27-25

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____
City Council _____

PROPERTY TAXES CURRENT YES NO



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

NOTICE OF PUBLIC HEARING CITY OF HAM LAKE COUNTY OF ANOKA STATE OF MINNESOTA

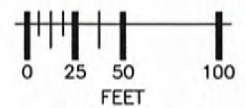
TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a Public Hearing shall be held before the Ham Lake Planning Commission on Monday, August 25, 2025 at 6:01 p.m. at the Ham Lake City Hall located at 15544 Central Avenue NE for the purpose of considering the application of John Markquart, Markquart Ham Lake, LLC requesting an amendment to the Conditional Use Permit to revise hours of operation at 14525 Highway 65 NE, a parcel of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

LOT 1 BLK 2 NORTH PINES

At such hearing both written and oral comments will be heard.

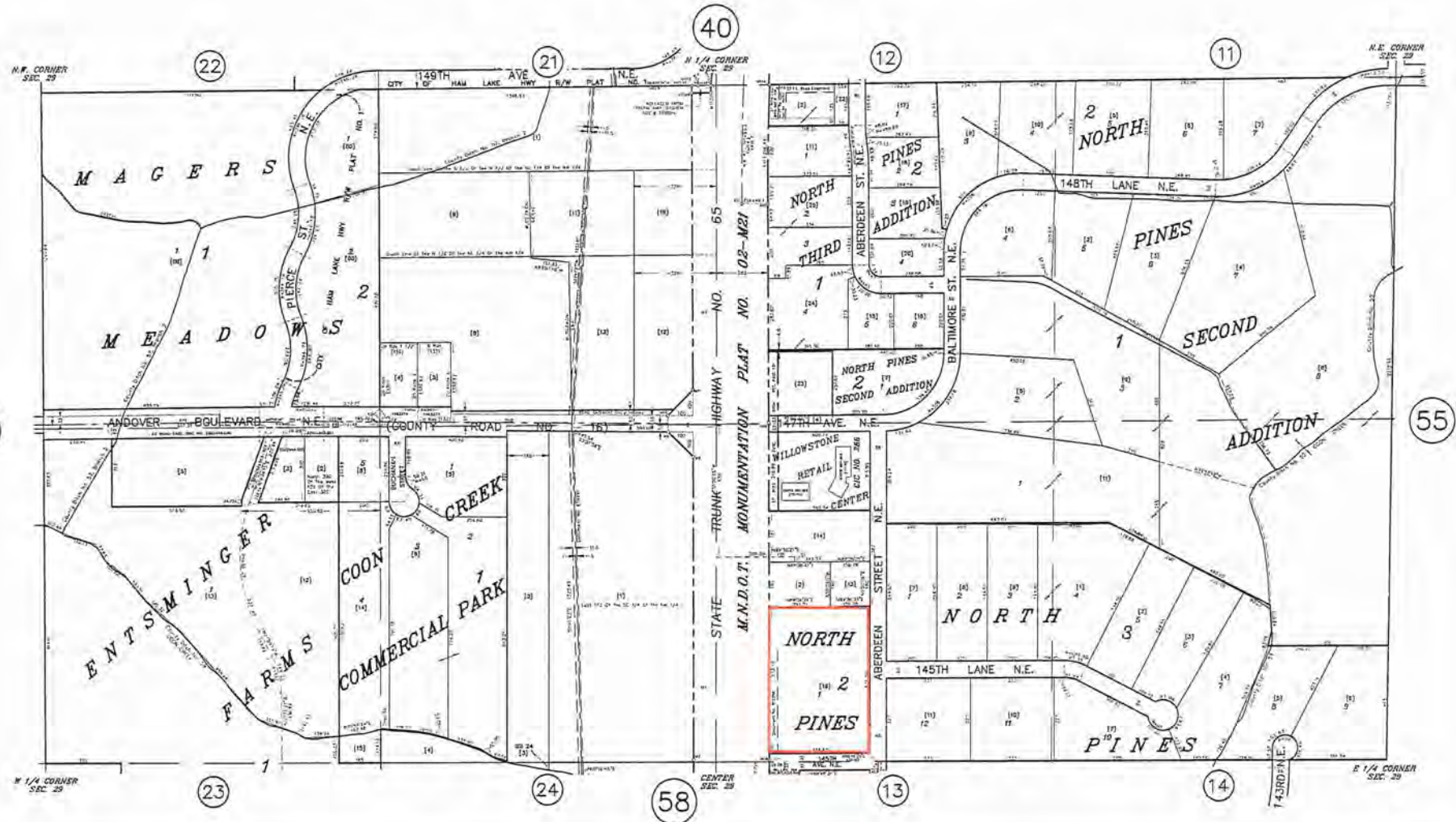
DATED: August 15, 2025

Jennifer Bohr
Building and Zoning Clerk
City of Ham Lake



N 1/2 SECTION 29, T. 32, R. 23

CITY OF HAM LAKE



GRAPHIC SCALE
0 100 200
SCALE IN FEET

ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

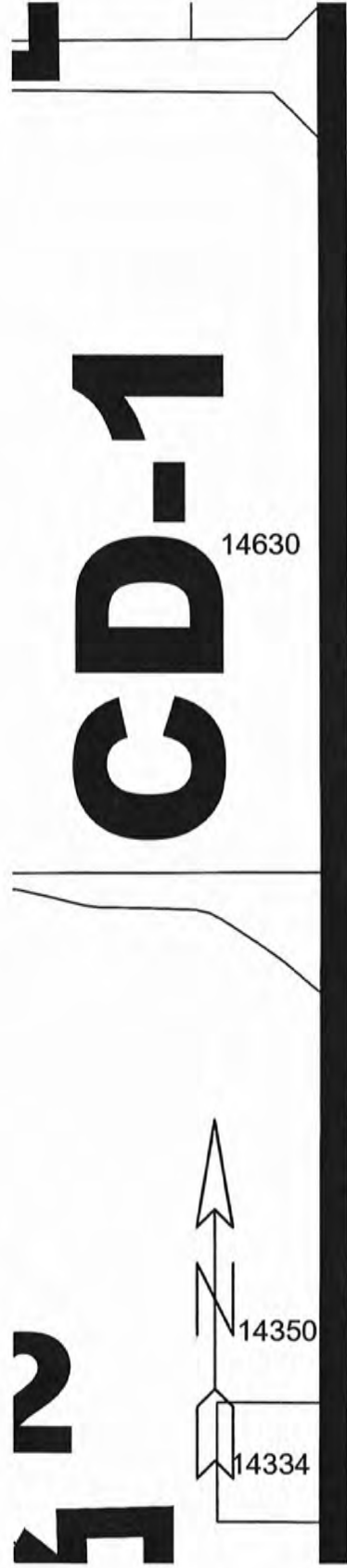
22	21	12	11	NORTH HALF OF SECTION
23	24	13	14	
32	31	42	41	SOUTH HALF OF SECTION
33	34	43	44	

PROPERTY IDENTIFICATION NUMBER

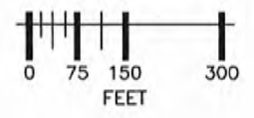
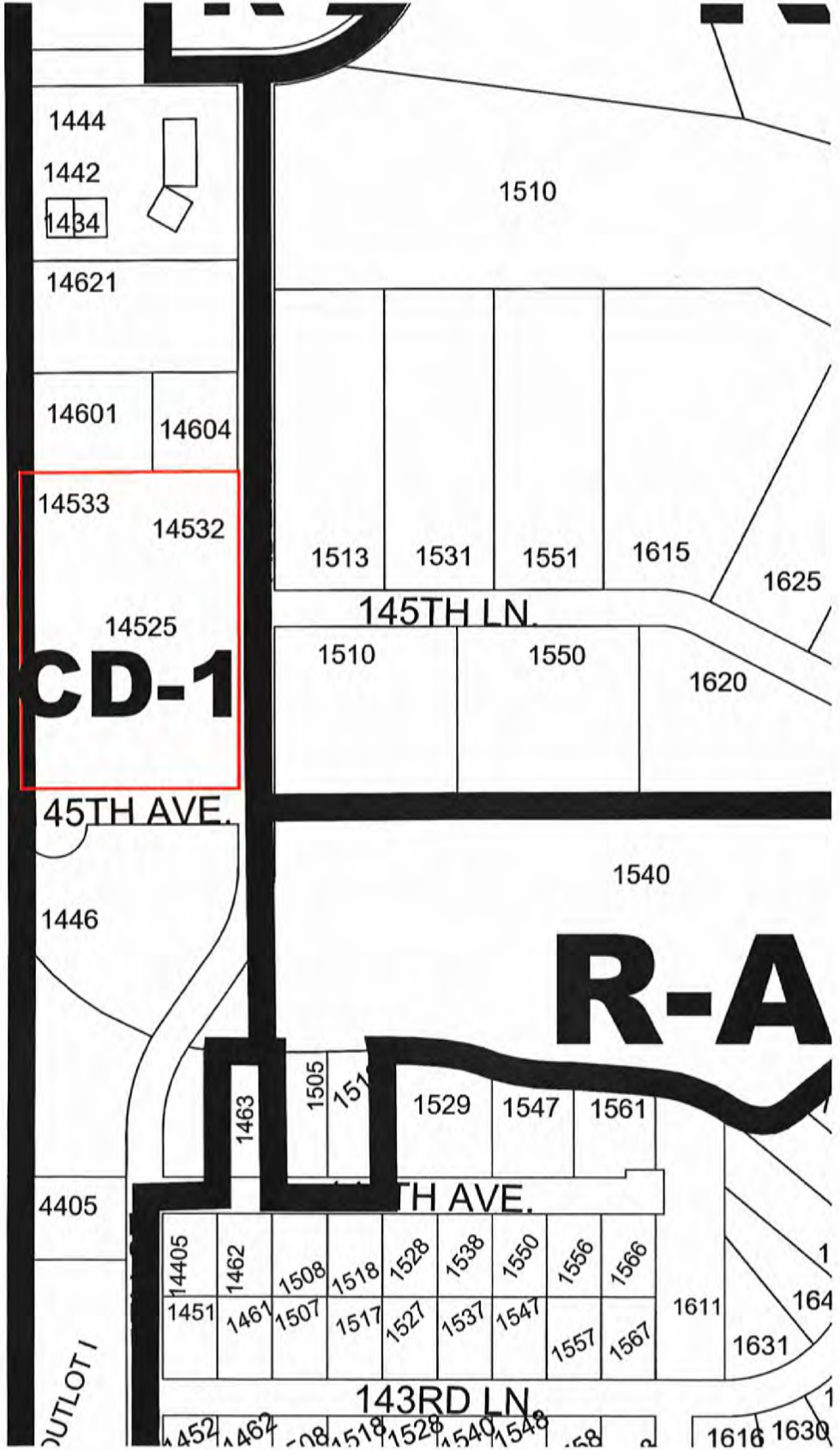
Section Number	Township Number	Range Number	Quarter	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: (1)
EXAMPLE OF PIN NUMBER: 29-32-23-(13-001)

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.



STATE TRUNK HIGHWAY NO. 65



Jennifer Bohr

From: John Markquart <john@markquart.com>
Sent: Wednesday, August 6, 2025 7:33 AM
To: Jennifer Bohr
Subject: Revised narrative

Markquart Ham Lake, LLC

Markquart Ham Lake, LLC is an LLC formed to own the real estate that Markquart North Country RV, LLC operates in. We acquired the real estate as part of the acquisition of North Country RV from the previous owners. Markquart Ham Lake, LLC is owned by a father and son, John and Charlee Markquart. The Markquarts are based out of Eau Claire WI (Chippewa Falls). John and Charlee own Markquart Toyota located between Eau Claire and Chippewa Falls and Markquart Chrysler Dodge Jeep Ram in Menomonie, WI. We also are majority owners in Wuerflein Chevrolet GMC in Albert Lea, MN. Markquart Motors, the largest GM automobile dealer in Wisconsin, is owned by a brother of John.

Markquart North Country RV, LLC (dba North Country RV) is part of a group owned by Markquart RV, LLC, based in Chippewa Falls WI. Markquart RV, LLC is owned by Lee Markquart Enterprises, LLC (John and Charlee) and has three minority partners. Markquart RV, LLC owns 9 RV stores:

Markquart RV Hallie (Hallie is a village located between Eau Claire and Chippewa Falls)
Willies RV in Bloomer WI
Dicks RV in Durand WI
Kings Campers in Wausau, WI
Markquart RV Burlington in Burlington/Lake Geneva WI
Markquart RV Madison in Fitchburg WI
Markquart RV Ramsey in Ramsey, MN
Markquart RV Columbus in Columbus WI

Our original interest in North Country RV arose out of a development dilemma regarding Markquart RV Ramsey. We had acquired RV World of Ramsey in January 2024 and entered into an agreement to buy 7 acres on Hwy 10 north of the existing property to build a larger facility. As planning moved along the project was looking to be expensive and the RV market was not accelerating as we anticipated. Around that time we were approached by a broker with the North Country RV opportunity. We thought there was enough land and enough service bays at North Country for us to store units and do prep for our Ramsey location. We would acquire an operating business which we could grow and become an independent profit center and avoid an expensive new facility for Ramsey. We purchased North Country RV and the Rapid Marine Land just south of it and are requesting approval to improve the lot to accommodate the additional work and campers we need to store on the property. We are also upgrading the Ramsey facility (which is super ugly) with a \$1.5M interior and exterior renovation. Our objective is to improve the customer experience and have a much more attractive facility in Ramsey to attract high end employees.

Markquart has long been recognized as an automotive leader and an excellent community member. The Boys and Girls Club in Eau Claire exists today in large part because of the energy and the financial support of Lee and Mary Markquart, my parents. The location is named in their honor. We entered the RV business in 2021 and now have 9 locations. The family is heavily involved in other community and philanthropic ventures. Markquart have always been recognized as the type of company that treats customers and employees very well. RV dealers looking to get out of the business tell us that they prefer to deal with us over the other large companies in RV in our area because of our reputation.

The core business at North Country RV is selling and servicing RVs, mostly towables. We will employ 20 employees who will generally be on site at the same time. We have already grown dramatically and hope to establish North Country RV as a prominent RV store in the north metro area. We would like our CUP hours to be 7A to 8P Monday through Saturday and 9A to 6P on Sundays. Our normal business hours will vary according to the time of year but normal spring to fall hours would be 7A to 6P Monday through Saturday. We anticipate only being open a few Sundays a year for promotional events.

Meeting Date: August 25, 2025

CITY OF HAM LAKE

STAFF REPORT

To: Members of the Planning Commission

From: Mark Jones, Building and Zoning Official

Subject: Amendment to the Conditional (CUP) Use Permit for Markquart Ham Lake, LLC, dba North Country RV, at 14525 Highway 65 NE for a change to the hours of operation

Introduction/Discussion:

Markquart Ham Lake LLC acquired North Country RV in 2024. Sales of new and used vehicles, which includes campers, motor homes and recreational vehicle trailers, require a CUP to operate in the Commercial Development I (CD-1) zoning district. Markquart Ham Lake, LLC is asking to amend the hours of operation noted on the current CUP. The existing CUP notes hours of operation are to be Monday through Saturday 9:00 a.m. to 8:00 p.m. Markquart Ham Lake, LLC is requesting to amend the hours of operation to be Monday through Saturday 7:00 am to 8:00 pm, and Sunday 9:00 am to 6:00 pm.

Per Minnesota Statutes 168.275 SALE OF MOTOR VEHICLE ON SUNDAY FORBIDDEN. Any person who shall carry on or engage in the business of buying, selling, exchanging, dealing in or trading in new or used motor vehicles; or who shall open any place of business or lot wherein the person attempts to or does engage in the business of buying, selling, exchanging, dealing or trading in new or used motor vehicles; or who does buy, sell, exchange, deal or trade in new or used motor vehicles as a business on the first day of the week, commonly known and designated as Sunday, is guilty of a misdemeanor for the first offense, and a gross misdemeanor for each succeeding offense. This section does not apply to the sale of (1) trailers designed and used primarily to transport watercraft, as defined in section 86B.005, subdivision 18, (2) trailers designed and used primarily to transport all-terrain vehicles, as defined in section 84.92, subdivision 8, (3) trailers designed and used primarily to transport snowmobiles as defined in section 84.81, subdivision 3, or (4) utility trailers as defined in section 168.27, subdivision 20.

As defined by statute 168.002, Subdivision Subd. 18. Motor vehicle. (a) "Motor vehicle" means any self-propelled vehicle designed and originally manufactured to operate primarily on highways, and not operated exclusively upon railroad tracks. It includes any vehicle propelled or drawn by a self-propelled vehicle and includes vehicles known as trackless trolleys that are propelled by electric power obtained from overhead trolley wires but not operated upon rails

Terms of the existing CUP are as follows:

- 1) Signage in customer restricted areas to be posted every 50 feet and on all corners and, if signage is deemed not to be working, that the City reserves the right to require paving or fencing of these areas.
- 2) The City reserves the right to address noise complaints.
- 3) The Aberdeen Street NE access is an exit only access.
- 4) The City reserves the right to alter access of 145th Lane NE and Aberdeen Street NE.
- 5) A double row of 4-foot conifer trees be planted and maintained along Aberdeen Street NE.
- 6) Fencing to be repaired along the entire perimeter of the property.
- 7) The trash enclosure to be screened.
- 8) No engine repair is to be done on site.
- 9) Severely damaged vehicles be kept inside the facility or completely screened or covered and that there will be a maximum of 2 damaged vehicles on the lot at any one time.
- 10) Signage facing the residential area to be removed.
- 11) Hours of operation will be 9:00 a.m. to 8:00 p.m. Monday through Saturday.
- 12) Meeting all City, State and County Codes.

Recommendation:

I recommend approving Markquart Ham Lake, LLC's request for an amendment to the CUP for North Country RV at 14525 Highway 65 NE to change the hours of operation to Monday through Saturday 7:01 am to 8:00 pm with no business hours on Sunday as required by statute. I also recommend removing the term related to signage facing the residential area as it is no longer applicable.

**VIOLATIONS OF THE TERMS OR CONDITIONS OF THIS PERMIT MAY BE
GROUNDS FOR REVOCATION OF THE PERMIT PURSUANT TO SECTION 9-
310.34 OF THE ZONING CODE, A COPY OF WHICH IS HERETO ATTACHED.**

- 1) Signage in customer restricted areas to be posted every 50 feet and on all corners and, if signage is deemed not to be working, that the City reserves the right to require paving or fencing of these areas.
- 2) The City reserves the right to address noise complaints.
- 3) The Aberdeen Street NE access is an exit only access.
- 4) The City reserves the right to alter access of 145th Lane NE and Aberdeen Street NE.
- 5) A double row of 4-foot conifer trees be planted and maintained along Aberdeen Street NE.
- 6) Fencing to be repaired along the entire perimeter of the property.
- 7) The trash enclosure to be screened.
- 8) No engine repair is to be done on site.
- 9) Severely damaged vehicles be kept inside the facility or completely screened or covered and that there will be a maximum of 2 damaged vehicles on the lot at any one time.
- 10) Signage facing the residential area to be removed.
- * 11) Hours of operation will be 9:00 a.m. to 8:00 p.m. Monday through Saturday. X
- 12) Meeting all City, State and County Codes.

CUP North Country RV
RENEWAL DATE 02/28/2024

North Country RV
David & Marly Rignell
14525 Highway 65 NE
Ham Lake, MN 55304

11. Hours of operation will
be no earlier than 7Am
and no later than 8Pm
Monday - Saturday.
No earlier than 9Am
and no later than 6Pm
on Sunday.

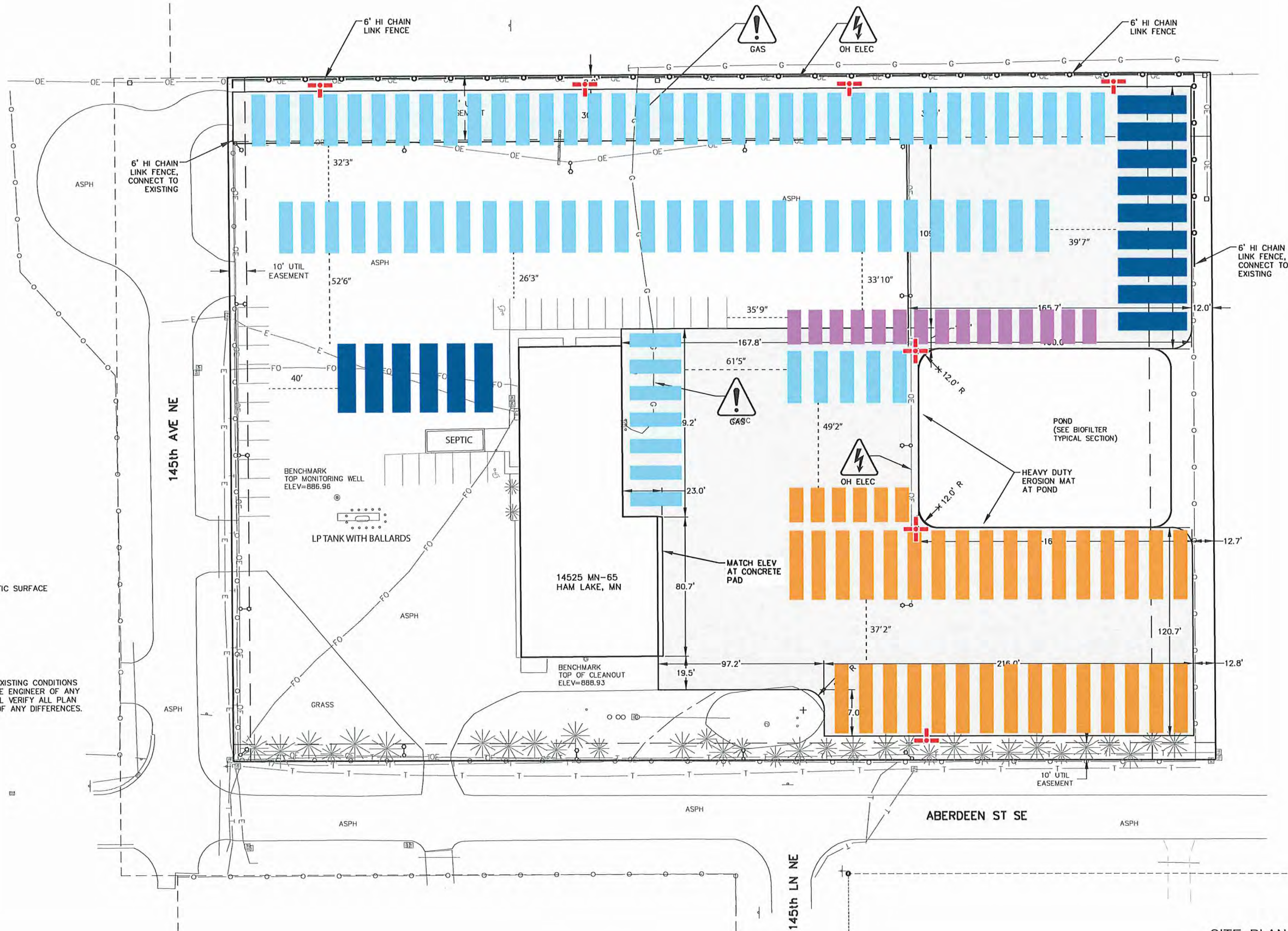
I:\Clients-Memo\W7001 Markquart John\005 Markquart RV Ham Lake MN\04 CADD\DWG\04base_7001005.dwg 11/22/24 3:27:23 PM

MN-65 NE (NORTHBOUND)



KEY
[Hatched Box] PROPOSED ASPHALTIC SURFACE

NOTES:
1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION & NOTIFY THE ENGINEER OF ANY DIFFERENCES. THE CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS & NOTIFY THE ENGINEER OF ANY DIFFERENCES.



MARKQUART HAM LAKE LLC.
RV SITE IMPROVEMENTS
CITY OF HAM LAKE, ANOKA COUNTY, MN
SITE PLAN

JOB NO.
M7001-005
DRAWN BY
CHECKED BY
DATE
NOV 2024 8/6/25
SET TYPE
BIDDING DOCUMENTS

SCALE
0 15 30 60
SHEET NO.
PAGE NO.
5 OF 10

NO.	DATE	APVD	REVISION

Cedar
CORPORATION
800-472-7372
www.cedarcorp.com

I:\Clients-Memo\117001 Markquart John\005 Markquart RV Ham Lake MN\04 CADD\DWG\00base_7001005v3.dwg 04/14/25 3:26:31 PM

MN-65 NE (NORTHBOUND)

ABBREVIATIONS

CABC CRUSHED AGGREGATE BASE COURSE
CONC. CONCRETE
CMP CORRUGATED METAL PIPE
ELEV. ELEVATION
ESMT EASEMENT
EXIST. EXISTING
FFE FINISH FLOOR ELEVATION
HYD. HYDRANT
INV. INVERT
MH MANHOLE
PVC POLYVINYL CHLORIDE PIPE
RCP REINFORCED CONCRETE PIPE
R/W RIGHT OF WAY
SAN. SANITARY
SDWK SIDEWALK
STM. STORM
TYP. TYPICAL
UTIL. UTILITY
VAR. VARIABLE

LEGEND

BB5 EXISTING CONTOUR LINE
OH OVERHEAD LINES
E UNDERGROUND ELECTRIC LINES
W WATERMAIN PIPE
STM STORM SEWER
SAN SANITARY SEWER PIPE
G UNDERGROUND GAS
T UNDERGROUND TELEPHONE
FO FIBER OPTICS
CURB & GUTTER
TREE LINE
FFE=1198.22 + FINISH FLOOR ELEVATION
FIRE HYDRANT
CURBSTOP
GATE VALVE
POWER POLE
LIGHT POLE
GUY WIRE
UTILITY PEDESTAL
SIGN
CATCH BASIN
MANHOLE
CLEANOUT
BENCHMARK
CONTROL POINT
PARKING STALLS COUNT

NOTES:

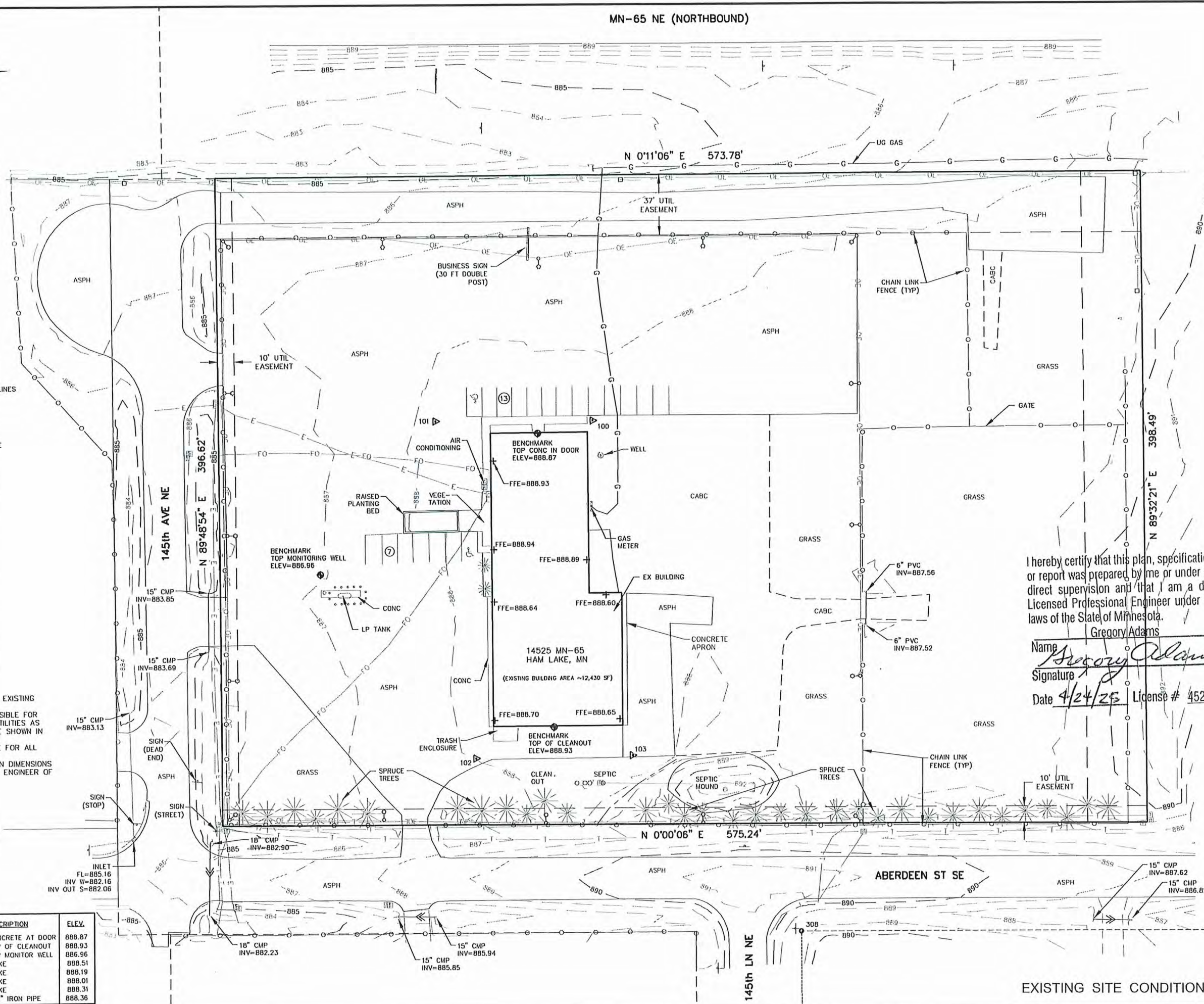
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXISTING UTILITIES AS UNDERGROUND UTILITIES MAY NOT BE SHOWN IN THEIR ENTIRETY HERE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY CONSTRUCTION PERMITS.
- CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS BEFORE INSTALLATION & NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

UTILITY COMPANIES

COMCAST TV, FIBER OP
LUMEN (CENTURYLINK) TELEPHONE
CONNEXUS ENERGY ELECTRIC
CENTERPOINT ENERGY GAS

CONTROL

PT	NORTHING	EASTING	DESCRIPTION	ELEV.
BM	508537.738	172455.462	CONCRETE AT DOOR	888.87
BM	508717.848	172464.461	TOP OF CLEANOUT	888.93
BM	508624.044	172319.339	TOP MONITOR WELL	886.96
100	508530.018	172489.388	SPIKE	888.51
101	508530.061	172391.840	SPIKE	888.19
102	508736.974	172415.827	SPIKE	888.01
103	508735.399	172512.975	SPIKE	888.31
308	508843.415	172618.016	1/2" IRON PIPE	888.36



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Gregory Adams

Name Gregory Adams

Signature Gregory Adams

Date 4/24/25 License # 45250

MARKQUART HAM LAKE LLC.

RV SITE IMPROVEMENTS
CITY OF HAM LAKE, ANOKA COUNTY, MN
EXISTING SITE CONDITIONS

JOB NO.
M7001-005

DRAWN BY

CHECKED BY

DATE
APRIL 2025

SET TYPE
BIDDING DOCUMENTS

SCALE
0 15 30 60

SHEET NO.

PAGE NO.
1 OF 10

NO. DATE APVD REVISION

800-472-7372
www.cedarcorp.com

Cedar
CORPORATION

168.275 SALE OF MOTOR VEHICLE ON SUNDAY FORBIDDEN.

Any person who shall carry on or engage in the business of buying, selling, exchanging, dealing in or trading in new or used motor vehicles; or who shall open any place of business or lot wherein the person attempts to or does engage in the business of buying, selling, exchanging, dealing or trading in new or used motor vehicles; or who does buy, sell, exchange, deal or trade in new or used motor vehicles as a business on the first day of the week, commonly known and designated as Sunday, is guilty of a misdemeanor for the first offense, and a gross misdemeanor for each succeeding offense. This section does not apply to the sale of (1) trailers designed and used primarily to transport watercraft, as defined in section 86B.005, subdivision 18, (2) trailers designed and used primarily to transport all-terrain vehicles, as defined in section 84.92, subdivision 8, (3) trailers designed and used primarily to transport snowmobiles as defined in section 84.81, subdivision 3, or (4) utility trailers as defined in section 168.27, subdivision 20.

History: 1957 c 386 s 1; 1984 c 628 art 3 s 11; 1986 c 444; 1998 c 267 s 2; 2004 c 228 art 1 s 72; 2005 c 10 art 3 s 10

168.002 DEFINITIONS.

Subdivision 1. **Words, terms, and phrases.** Unless the language or context clearly indicates that a different meaning is intended, the following words, terms, and phrases, for the purposes of this chapter, shall be given the meanings subjoined to them.

Subd. 2. **All-terrain vehicle.** "All-terrain vehicle" has the meaning given in section 84.92, subdivision 8.

Subd. 3. **Application for registration; listing for taxation.** "Application for registration" shall have the same meaning as "listing for taxation," and when a motor vehicle is registered it is also listed.

Subd. 4. **Bus; intercity bus.** (a) "Bus" means (1) every motor vehicle designed for carrying more than 15 passengers including the driver and used for transporting persons, (2) every motor vehicle that is (i) designed for carrying more than ten passengers including the driver, (ii) used for transporting persons, and (iii) owned by a nonprofit organization and not operated for hire or for commercial purposes, or (3) every motor vehicle certified by the Department of Transportation as a special transportation service provider vehicle and receiving reimbursement as provided in section 256B.0625, subdivision 17.

(b) "Intercity bus" means any bus operating as a common passenger carrier over regular routes and between fixed termini, but excluding all buses operating wholly within the limits of one city, or wholly within two or more contiguous cities, or between contiguous cities and a terminus outside the corporate limits of such cities, and not more than 20 miles distant measured along the fixed route from such corporate limits.

Subd. 5. **Commissioner.** "Commissioner" means the commissioner of the Minnesota Department of Public Safety.

Subd. 6. **Dealer.** "Dealer" means any person, firm, or corporation regularly engaged in the business of manufacturing, or selling, purchasing, and generally dealing in new and unused motor vehicles having an established place of business for the sale, trade, and display of new and unused motor vehicles and having in possession new and unused motor vehicles for the purposes of sale or trade. "Dealer" also includes any person, firm or corporation regularly engaged in the business of manufacturing or selling, purchasing, and generally dealing in new and unused motor vehicle bodies, chassis mounted or not, and having an established place of business for the sale, trade and display of such new and unused motor vehicle bodies, and having in possession new and unused motor vehicle bodies for the purposes of sale or trade.

Subd. 7. **Distributor.** "Distributor" means a person, firm, or corporation which has a bona fide contract or franchise with a manufacturer to distribute the new motor vehicles of that manufacturer to licensed new motor vehicle dealers, but does not include a dealer.

Subd. 8. **Farm truck.** (a) "Farm truck" means all single-unit trucks, truck-tractors, tractors, semitrailers, and trailers used by the owner thereof to transport agricultural, horticultural, dairy, and other farm products, including livestock, produced or finished by the owner of the truck, and any other personal property owned by the farmer to whom the license for the truck is issued, from the farm to market, and to transport property and supplies to the farm of the owner. Trucks, truck-tractors, tractors, semitrailers, and trailers registered as "farm trucks" may be used by the owner thereof to occasionally transport unprocessed and raw farm products, not produced by the owner of the truck, from the place of production to market when the transportation constitutes the first haul of the products, and may be used by the owner thereof, either farmer or logger who harvests and hauls forest products only, to transport logs, pulpwood, lumber, chips, railroad ties and other raw and unfinished forest products from the place of production to an intermediate or final assembly point

or transfer yard or railhead, which transportation may be continued by another farm truck to a place for final processing or manufacture located within 200 miles of the place of production and all of which is deemed to constitute the first haul of unfinished wood products; provided that the owner and operator of the vehicle transporting planed lumber shall have in immediate possession a statement signed by the producer of the lumber designating the governmental subdivision, section, and township where the lumber was produced and that this haul, indicating the date, is the first haul thereof. The licensed vehicles may also be used by the owner thereof to transport, to and from timber-harvesting areas, equipment and appurtenances incidental to timber harvesting, and gravel and other road-building materials for timber haul roads.

(b) "Farm trucks" shall also include only single-unit trucks that, because of their construction, cannot be used for any other purpose and are used exclusively to transport milk and cream en route from a farm to an assembly point or place for final manufacture, and for transporting milk and cream from an assembly point to a place for final processing or manufacture. This section shall not be construed to mean that the owner or operator of the truck cannot carry on usual accommodation services for patrons on regular return trips, such as butter, cream, cheese, and other dairy supplies.

Subd. 9. **Final-stage manufacturer.** "Final-stage manufacturer" means a person, firm, or corporation which performs manufacturing operations on an incomplete motor vehicle or a van-type motor vehicle so that it becomes a type A, B, or C motor home.

Subd. 10. **First year of life.** "First year of life" means the year of model designation of the vehicle, or, if there be no year of model designation, it shall mean the year of manufacture.

Subd. 11. **First-stage manufacturer.** "First-stage manufacturer" means a person, firm, or corporation which manufactures, assembles, and sells new motor vehicles for resale in this state.

Subd. 12. **Fleet.** "Fleet" means a combination of 50 or more vehicles and trailers owned by a person solely for the use of that person or employees of the person and registered in this state under section 168.127. It does not include vehicles licensed under section 168.187.

Subd. 12a. **Full-service provider.** "Full-service provider" means a person who is appointed by the commissioner as both a deputy registrar under this chapter and a driver's license agent under chapter 171 who provides all driver services, excluding International Registration Plan and International Fuel Tax Agreement transactions. The commissioner is not a full-service provider.

Subd. 13. **Gross weight.** (a) "Gross weight" means the actual unloaded weight of the vehicle, either a truck or tractor, or the actual unloaded combined weight of a truck-tractor and semitrailer or semitrailers, or of the truck-tractor, semitrailer and one additional semitrailer, fully equipped for service, plus the weight of the maximum load which the applicant has elected to carry on such vehicle or combined vehicles.

(b) The term gross weight applied to a truck used for towing a trailer means the unloaded weight of the truck, fully equipped for service, plus the weight of the maximum load which the applicant has elected to carry on such truck, including the weight of such part of the trailer and its load as may rest upon the truck.

(c) The term gross weight applied to school buses means the weight of the vehicle fully equipped with all fuel tanks full of fuel, plus the weight of the passengers and their baggage computed at the rate of 100 pounds per passenger seating capacity, including that for the driver. The term gross weight applied to other buses means the weight of the vehicle fully equipped with all fuel tanks full of fuel, plus the weight of passengers and their baggage computed at the rate of 150 pounds per passenger seating capacity, including that for the driver. For bus seats designed for more than one passenger, but which are not divided so as to

allot individual seats for the passengers that occupy them, allow two feet of its length per passenger to determine seating capacity.

(d) The term gross weight applied to a truck, truck-tractor or a truck used as a truck-tractor used exclusively by the owner thereof for transporting unfinished forest products or used by the owner thereof to transport agricultural, horticultural, dairy and other farm products including livestock produced or finished by the owner of the truck and any other personal property owned by the farmer to whom the license for such truck is issued, from the farm to market, and to transport property and supplies to the farm of the owner, as described in subdivision 8, shall be the actual weight of the truck, truck-tractor or truck used as a truck-tractor or the combined weight of the truck-tractor and semitrailer plus the weight of the maximum load which the applicant has elected to carry on such vehicle or combined vehicles and shall be licensed and taxed as provided by section 168.013, subdivision 1c.

(e) The term gross weight applied to a truck-tractor or a truck used as a truck-tractor used exclusively by the owner, or by a for-hire carrier hauling exclusively for one owner, for towing an equipment dolly shall be the actual weight of the truck-tractor or truck used as a truck-tractor plus the weight of such part of the equipment dolly and its load as may rest upon the truck-tractor or truck used as a truck-tractor, and shall be licensed separately and taxed as provided by section 168.013, subdivision 1e, and the equipment dolly shall be licensed separately and taxed as provided in section 168.013, subdivision 1d, which is applicable for the balance of the weight of the equipment dolly and the balance of the maximum load the applicant has elected to carry on such combined vehicles. The term "equipment dolly" as used in this subdivision means a heavy semitrailer used solely by the owner, or by a for-hire carrier hauling exclusively for one owner, to transport the owner's construction machinery, equipment, implements and other objects used on a construction project, but not to be incorporated in or to become a part of a completed project.

(f) The term gross weight applied to a tow truck or towing vehicle defined in section 168B.011, subdivision 12a, means the weight of the tow truck or towing vehicle fully equipped for service, including the weight of the crane, winch and other equipment to control the movement of a towed vehicle, but does not include the weight of a wrecked or disabled vehicle towed or drawn by the tow truck or towing vehicle.

Subd. 14. **Highway.** "Highway" has the meaning given "street or highway" in section 169.011, subdivision 81.

Subd. 15. **Limousine.** "Limousine" means a luxury passenger automobile that has a seating capacity of not more than 15 persons, including the driver.

Subd. 16. **Manufactured home.** "Manufactured home" has the meaning given it in section 327.31, subdivision 6.

Subd. 17. **Motor home.** (a) "Motor home" means a recreational vehicle designed to provide temporary living quarters. The motor home has a living unit built into as an integral part of, or permanently attached to the chassis of, a motor vehicle or van.

(b) A motor home must contain permanently installed, independent, life-support systems that meet the American National Standards Institute standard number A119.2 for recreational vehicles and provide at least four of the following facilities, two of which must be from the systems listed in clauses (1), (5), and (6): (1) a cooking facility with liquid propane gas supply, (2) a refrigerator, (3) a self-contained toilet or a toilet connected to a plumbing system with a connection for external water disposal, (4) a heating or air conditioning system separate from the motor vehicle engine, (5) a potable water supply system including a sink with a faucet either self-contained or with connections for an external source, and (6) a separate 110-125 volts electrical power supply.

(c) For purposes of this subdivision, "permanently installed" means built into or attached as an integral part of a chassis or van, and designed not to be removed except for repair or replacement. A system that is readily removable or held in place by clamps or tie-downs is not permanently installed.

(d) Motor homes include a:

(1) type A motor home, which is a raw chassis upon which is built a driver's compartment and an entire body that provides temporary living quarters as described in paragraph (b);

(2) type B motor home, which is a van that conforms to the description in paragraph (b) and has been completed or altered by a final-stage manufacturer; and

(3) type C motor home, which is an incomplete vehicle upon which is permanently attached a body designed to provide temporary living quarters as described in paragraph (b).

(e) A motor vehicle with a slip-in camper or other removable equipment that is mounted into or on a motor vehicle is not a motor home, is not a recreational vehicle, and must not be registered as a recreational vehicle under section 168.013.

Subd. 18. Motor vehicle. (a) "Motor vehicle" means any self-propelled vehicle designed and originally manufactured to operate primarily on highways, and not operated exclusively upon railroad tracks. It includes any vehicle propelled or drawn by a self-propelled vehicle and includes vehicles known as trackless trolleys that are propelled by electric power obtained from overhead trolley wires but not operated upon rails.

(b) "Motor vehicle" includes an all-terrain vehicle only if the all-terrain vehicle (1) has at least four wheels, (2) is owned and operated by a physically disabled person, and (3) displays both disability plates and a physically disabled certificate issued under section 169.345.

(c) "Motor vehicle" does not include an all-terrain vehicle except (1) an all-terrain vehicle described in paragraph (b), or (2) an all-terrain vehicle licensed as a motor vehicle before August 1, 1985. The owner may continue to license an all-terrain vehicle described in clause (2) as a motor vehicle until it is conveyed or otherwise transferred to another owner, is destroyed, or fails to comply with the registration and licensing requirements of this chapter.

(d) "Motor vehicle" does not include a snowmobile; a manufactured home; a park trailer; an electric personal assistive mobility device as defined in section 169.011, subdivision 26; a motorized foot scooter as defined in section 169.011, subdivision 46; or an electric-assisted bicycle as defined in section 169.011, subdivision 27.

(e) "Motor vehicle" includes an off-highway motorcycle modified to meet the requirements of chapter 169 according to section 84.788, subdivision 12.

(f) "Motor vehicle" includes a roadable aircraft as defined in section 169.011, subdivision 67a.

Subd. 19. Motorcycle. "Motorcycle" has the meaning given in section 169.011, subdivision 44.

Subd. 20. Motorized bicycle. "Motorized bicycle" has the meaning given in section 169.011, subdivision 45.

Subd. 21. Neighborhood electric vehicle. "Neighborhood electric vehicle" has the meaning given in section 169.011, subdivision 47.

Subd. 21a. **Noncommercial vehicle.** "Noncommercial vehicle" means a one-ton pickup truck registered under section 168.013, subdivision 1e, with a 15,000 pounds or less gross vehicle weight rating and for which the owner has made a declaration that the vehicle will be operated exclusively for personal use. The declaration must be based on one or more of the following:

- (1) a change of vehicle use;
- (2) registration of a new vehicle;
- (3) transfer of vehicle ownership; or
- (4) registration renewal.

Subd. 21b. **One-ton pickup truck.** "One-ton pickup truck" means any truck resembling a pickup truck with a manufacturer's nominal rated carrying capacity of one ton. If the manufacturer's nominal rated carrying capacity is not provided or is not known, then the value specified by the manufacturer as the gross vehicle weight rating as indicated on the manufacturer's certification label must be 10,001 pounds or more, not to exceed 15,000 pounds, in accordance with the definition of "commercial motor vehicle" in Code of Federal Regulations, title 49, section 390.5.

Subd. 22. **Owner.** "Owner" means any person owning or leasing a vehicle, or having the exclusive use of the vehicle, under a lease or otherwise, for a period greater than 30 days.

Subd. 23. **Park trailer.** "Park trailer" means a trailer that:

- (1) exceeds 8-1/2 feet in width in travel mode but is no larger than 400 square feet when the collapsible components are fully extended or at maximum horizontal width; and
- (2) is used as temporary living quarters.

"Park trailer" does not include a manufactured home.

Subd. 24. **Passenger automobile.** (a) "Passenger automobile" means any motor vehicle designed and used for carrying not more than 15 individuals, including the driver.

(b) "Passenger automobile" does not include motorcycles, motor scooters, buses, school buses, or commuter vans as defined in section 168.126.

(c) "Passenger automobile" includes but is not limited to:

- (1) a vehicle that is a pickup truck or a van as defined in subdivisions 26 and 40;
- (2) neighborhood electric vehicles, as defined in section 169.011, subdivision 47;
- (3) medium-speed electric vehicles, as defined in section 169.011, subdivision 39; and
- (4) roadable aircraft, as defined in section 169.011, subdivision 67a.

Subd. 25. **Person.** "Person" has the meaning given in section 168A.01, subdivision 14.

Subd. 26. **Pickup truck.** "Pickup truck" means any truck with a manufacturer's nominal rated carrying capacity of three-fourths ton or less and commonly known as a pickup truck. If the manufacturer's nominal rated carrying capacity is not provided or cannot be determined, then the value specified by the manufacturer as the gross vehicle weight as indicated on the manufacturer's certification label must be 10,000 pounds or less.

Subd. 27. **Recreational vehicle.** (a) "Recreational vehicle" means travel trailers including those that telescope or fold down, chassis-mounted campers, motor homes, tent trailers, teardrop trailers, and converted buses that provide temporary human living quarters.

(b) "Recreational vehicle" is a vehicle that:

- (1) is not used as the residence of the owner or occupant;
- (2) is used while engaged in recreational or vacation activities; and
- (3) is either self-propelled or towed on the highways incidental to the recreational or vacation activities.

Subd. 28. **Registered owner.** "Registered owner" means any person, other than a secured party, having title to a vehicle. If a passenger automobile is under lease for a term of 180 days or more, the lessee is deemed to be the registered owner, for purposes of registration only; provided that the application for renewal of the registration of a passenger automobile is sent to the lessor.

Subd. 29. **Registrar.** "Registrar" means the registrar of motor vehicles designated in this chapter.

Subd. 30. **Semitrailer.** "Semitrailer" means a vehicle of the trailer type so designed and used in conjunction with a truck-tractor that a considerable part of its own weight or that of its load rests upon and is carried by the truck-tractor and shall include a trailer drawn by a truck-tractor semitrailer combination. For the purpose of registration, trailers coupled with a truck-tractor, semitrailer combination are semitrailers.

Subd. 31. **Special mobile equipment.** (a) "Special mobile equipment" means every vehicle not designed or used for the transportation of persons or property and only incidentally operated or moved over a highway, except vehicles described in paragraph (b). Special mobile equipment includes, but is not limited to: ditch-digging apparatuses, pump hoists and other water well-drilling equipment registered and licensed under chapter 1031, other road construction or road maintenance machinery, aggregate processing and conveying equipment, truck-mounted log loaders that are used exclusively for commercial logging, and self-propelled cranes.

(b) "Special mobile equipment" does not include:

- (1) machinery that has been temporarily or permanently mounted on a commercial motor vehicle chassis that is used only to provide a service and is not able to haul goods for resale; or
- (2) dump trucks.

Subd. 31a. **Special plates.** Unless otherwise specified, "special plates" or "special plate" means plates, or a single motorcycle plate, that are designed with wording or graphics that differ from a regular Minnesota passenger automobile plate or motorcycle plate.

Subd. 32. **State.** "State" means a state of the United States, the District of Columbia, Puerto Rico, the United States Virgin Islands, or any territory or insular possession subject to the jurisdiction of the United States.

Subd. 33. **Tax.** "Tax" means the annual registration tax imposed on vehicles in lieu of all other taxes, except wheelage taxes which may be imposed by any city, and gross earnings taxes paid by companies. The annual tax is both a property tax and a highway use tax and shall be on the basis of the calendar year.

Subd. 34. **Tractor.** "Tractor" means any motor vehicle designed or used for drawing other vehicles but having no provision for carrying loads independently.

Subd. 35. **Trailer.** "Trailer" means any vehicle designed for carrying property or passenger on its own structure and for being drawn by a motor vehicle but shall not include a trailer drawn by a truck-tractor semitrailer combination, or an auxiliary axle on a motor vehicle which carries a portion of the weight of the motor vehicle to which it is attached. For the purpose of registration, trailers coupled with a truck-tractor, semitrailer combination are semitrailers.

Subd. 36. **Travel trailer.** "Travel trailer" means a trailer, mounted on wheels, that:

- (1) is designed to provide temporary living quarters during recreation, camping, or travel;
- (2) does not require a special highway movement permit based on its size or weight when towed by a motor vehicle; and
- (3) complies with sections 169.80, subdivision 2, and 169.81, subdivision 2.

Subd. 37. **Truck.** "Truck" means any motor vehicle designed and used for carrying things other than passengers, except pickup trucks and vans included within the definition of passenger automobile in subdivision 24.

Subd. 38. **Truck-tractor.** "Truck-tractor" means:

- (1) a motor vehicle designed and used primarily for drawing other vehicles and not constructed to carry a load other than a part of the weight of the vehicle and load drawn; and
- (2) a motor vehicle designed and used primarily for drawing other vehicles used exclusively for transporting motor vehicles and capable of carrying motor vehicles on its own structure.

Subd. 39. **Unloaded weight.** "Unloaded weight" means the actual weight of the vehicle fully equipped without a load.

Subd. 40. **Van.** "Van" means any vehicle of box-like design with no barrier or separation between the operator's area and the remainder of the cargo-carrying area, and with a manufacturer's nominal rated carrying capacity of three-fourths ton or less. If the manufacturer's nominal rated carrying capacity is not provided or not known, then the value specified by the manufacturer as the maximum gross weight or gross vehicle weight rating as indicated on the manufacturer's certification label must be less than 10,000 pounds.

Subd. 41. **Van converter or modifier.** "Van converter or modifier" means a person, firm, or corporation engaged in the business of modifying, completing or converting van-type vehicles into multipurpose passenger vehicles which are not motor homes as defined in subdivision 27.

Subd. 42. **Vehicle.** "Vehicle" has the meaning given in section 168A.01, subdivision 24.

History: 1949 c 694 s 1; 1951 c 574 s 1,2; 1953 c 275 s 1; 1955 c 352 s 1; 1955 c 600 s 1; 1957 c 175 s 1; 1959 c 178 s 1; 1959 c 258 s 1; 1959 c 562 s 1; 1959 c 627 s 1; 1961 c 340 s 1; 1963 c 597 s 1; 1963 c 637 s 1; 1965 c 108 s 1,2; 1965 c 364 s 1; 1967 c 876 s 1; 1969 c 824 s 1,2; 1971 c 754 s 1; 1971 c 797 s 1; 1973 c 123 art 5 s 7; 1973 c 218 s 1,2; 1973 c 546 s 1-3; 1974 c 273 s 9; 1975 c 29 s 1; 1976 c 343 s 2; 1977 c 214 s 1,2; 1979 c 213 s 1; 1981 c 363 s 2-6; 1981 c 365 s 9; 3Sp1981 c 1 art 2 s 1-4; 1983 c 198 s 1; 1984 c 549 s 1,2; 1985 c 63 s 1-5; 1985 c 291 s 2-4; 1986 c 444; 1986 c 453 s 1; 1986 c 454 s 10; 1987 c 269 s 3; 1988 c 636 s 1,2; 1988 c 647 s 1; 1989 c 140 s 4-5; 1989 c 307 s 1; 1989 c 318 s 4; 1989 c 342 s 1-4; 1990 c 385 s 1; 1990 c 416 s 1; 1990 c 497 s 1; 1990 c 565 s 26,27; 1991 c 112 s 5; 1991 c 284 s 2; 1992 c 578 s 2; 1993 c 117 s 3; 1993 c 323 s 5; 1994 c 510 art 1 s 1; 1994 c 536 s 1; 1994 c 635 art 1 s 41; 1995 c 46 s 1; 1996 c 289 s 1,2; 1996 c 435 s 3; 1997 c 159 art 2 s 11; 1997 c 250 s 1; 1999 c 238 art 2 s 2; 1Sp2001 c 8 art 2 s 28; 2002 c 250 s 1; 2002 c 285 s 1; 2002 c 364 s 7; 2002 c 371 art 1 s 1,2; art 3 s 1;

1Sp2003 c 19 art 2 s 19; 2005 c 64 s 3,4; 2005 c 135 s 2; 1Sp2005 c 6 art 3 s 18-28; 1Sp2005 c 7 s 19; 2006 c 189 s 1,2; 2008 c 287 art 1 s 21; 2008 c 350 art 1 s 5,6; 2009 c 86 art 1 s 90; 2010 c 351 s 15,65; 2010 c 382 s 36; 2011 c 107 s 88; 2011 c 109 s 1-5,22; 2012 c 287 art 3 s 15,16,64; 2014 c 175 s 2; 1Sp2021 c 5 art 4 s 28; 2023 c 68 art 6 s 1; 2024 c 104 art 1 s 11-14

**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: August 25, 2025

INSPECTION ISSUED TO: David Ross

APPLICANT/CONTACT: Abraham Alwan

TELEPHONE NUMBER: 512-775-9355/exoticautomotives@gmail.com

BUSINESS/PLAT NAME: Exotic Automotives LLC

ADDRESS/LOCATION OF INSPECTION: 16909 Baltimore St NE (Parcel addressed as 16905 Baltimore St NE)

APPLICATION FOR: Conditional Use Permit

RECOMMENDATION: _____

DATE: _____

PLANNING COMMISSIONER SIGNATURE: _____



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 8/7/2025 Date of Receipt 8-7-25
Receipt # 103335 Amount \$ 400.00

Meeting Appearance Dates:

Planning Commission 8-25-25 City Council _____

Please check request(s):

- | | |
|---|---|
| <input type="checkbox"/> Metes & Bounds Conveyance | <input type="checkbox"/> Commercial Building Permit |
| <input type="checkbox"/> Sketch Plan | <input type="checkbox"/> Certificate of Occupancy |
| <input type="checkbox"/> Preliminary Plat Approval* | <input type="checkbox"/> Home Occupation Permit |
| <input type="checkbox"/> Final Plat Approval | <input checked="" type="checkbox"/> Conditional Use Permit (New)* |
| <input type="checkbox"/> Rezoning* | <input type="checkbox"/> Conditional Use Permit (Renewal) |
| <input type="checkbox"/> Multiple Dog License* | <input type="checkbox"/> Other _____ |

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: Exotic Automotives LLC

Address/Location of property: 16909 Baltimore St NE, Ham Lake, MN 55304

Legal Description of property: Car Dealership

PIN # 08-32-23-13-0030 Current Zoning CD-2 Proposed Zoning —

Notes: CUP for auto repair and body work

Applicant's Name: Abraham Alwan

Business Name: Exotic Automotives LLC

Address 16909 Baltimore St NE

City Ham Lake State MN Zip Code 55304

Phone 6129402280 Cell Phone 5127759355 Fax _____

Email address exoticautomotives@gmail.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 8/7/2025

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____ PROPERTY TAXES CURRENT YES NO
City Council _____ Any Active/Deferred Assessments YES NO



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

NOTICE OF PUBLIC HEARING CITY OF HAM LAKE COUNTY OF ANOKA STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on August 25, 2025 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE, for the purpose of considering the application of Abraham Alwan, Exotic Automotives LLC, requesting a Conditional Use Permit to operate a service, repair and auto body shop, at 16909 Baltimore Street NE such land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

08-32-23-13-0030

THAT PRT OF S 272 FT, AS MEAS ALG WLY LINE OF PLAT OF BIRCH VIEW ACRES, OF SW1/4 OF NE1/4 OF SEC 8 TWP 32 RGE 23, LYG W OF SD WLY LINE OF SD PLAT & LYG ELY OF FOL DESC C/L: COM AT SW COR OF SD PLAT; TH N 89 DEG 07 MIN 31 SEC W, ASSD BRG ALG S LINE OF SD 1/4 1/4, 273.41 FT TO POB OF C/L TO BE DESC; TH N 0 DEG 52 MIN 29 SEC E, 72.70 FT TO PT OF CURVE; TH NLY ALG A CURVE CONCAVE TO W HAVING A RAD OF 590.41 FT, A CENTRAL ANG OF 9 DEG 40 MIN 53 SEC, AN ARC LENGTH OF 99.76 FT & A CHORD WHICH BEARS N 3 DEG 57 MIN 50 SEC W TO A PT OF REVERSE CURVE; TH NLY ALG A CURVE CONCAVE TO E HAVING A RAD OF 521.57 FT, A CENTRAL ANG OF 10 DEG 57 MIN 07 SEC, AN ARC LENGTH OF 99.70 FT & A CHORD WHICH BEARS N 3 DEG 19 MIN 50 SEC W TO A PT OF TANGENCY; TH N 2 DEG 08 MIN 43 SEC E TO A PT ON N LINE OF SD S 272 FT OF SD 1/4 1/4 & THERE TERM; EX RD, SUBJ TO EASE OF REC.

At such hearing both written and oral comments will be heard.

DATED: August 15, 2025

Jennifer Bohr
Building and Zoning Clerk
City of Ham Lake

From: Hany Omar / YSMN Properties LLC
Date: 6/20/2025

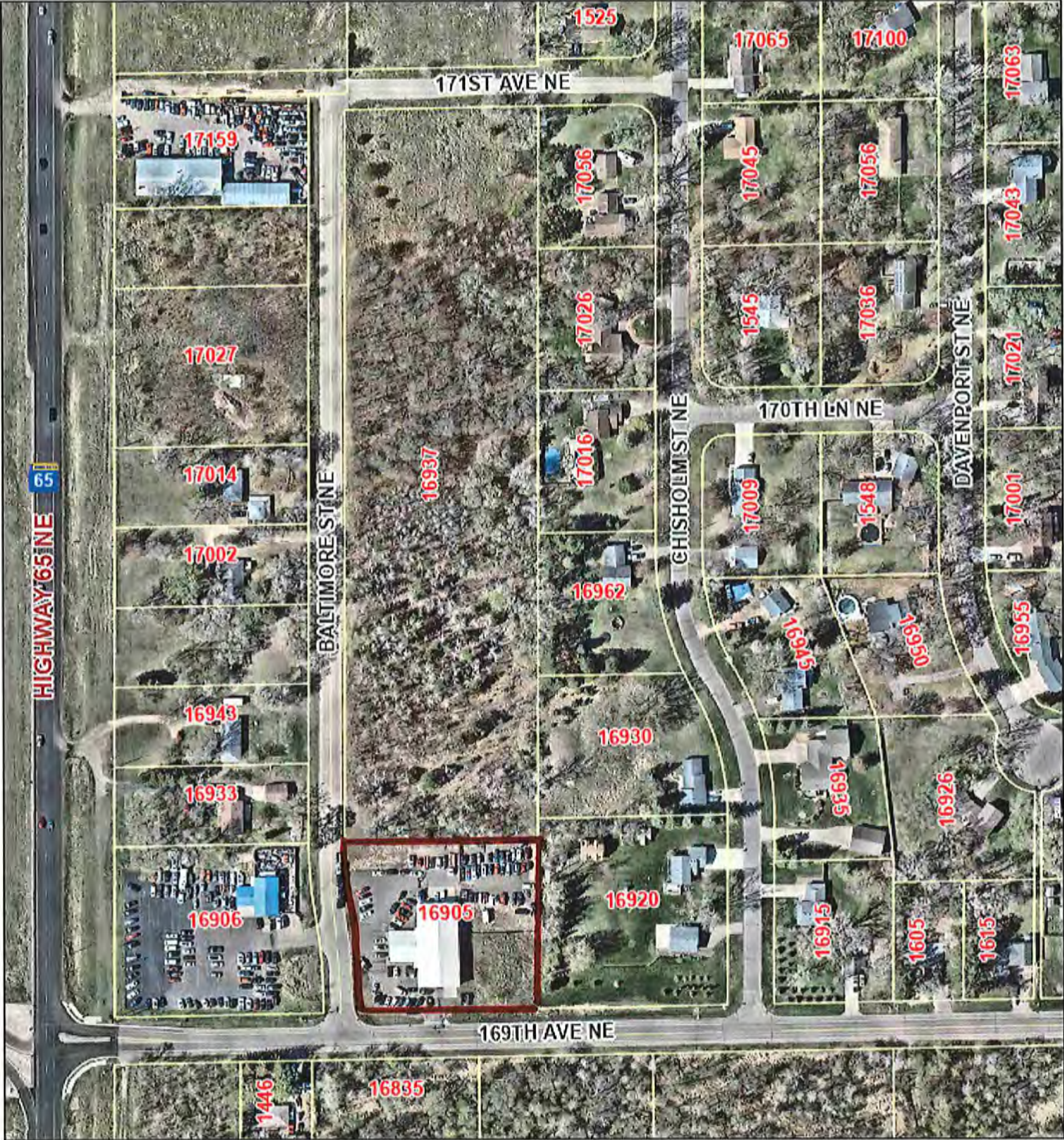
To: City of Ham Lake
To whom it may concern.

I am owner of property 16905/16909 Baltimore
ST. Ham Lake, MN. I approve exotic Automotive
business to open a Mechanic Shop and body
shop at the property located on
16909 Baltimore ST. Ham Lake.

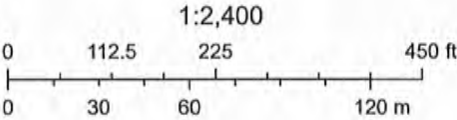
for any questions feel free to reach me at
6127307424 or email me at
hanyomar@gmail.com

Hany Y. Omar

ArcGIS Web Map

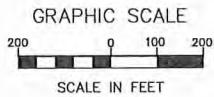


8/20/2025, 11:56:32 AM



N 1/2 SECTION 8, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11
23	24	13	14
32	31	42	41
33	34	43	44

NORTH HALF OF SECTION

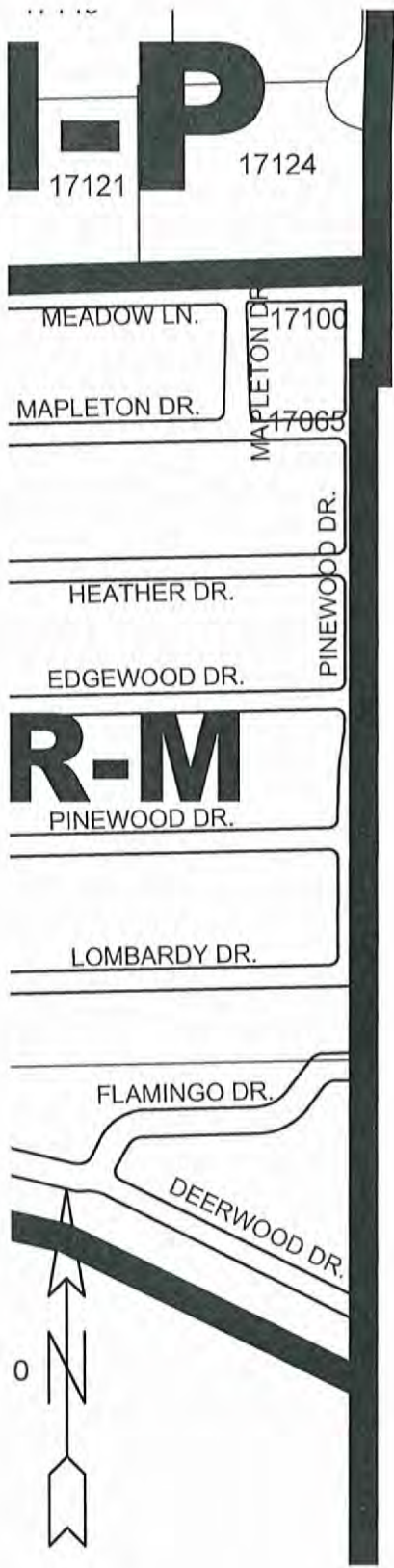
SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

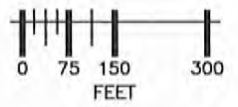
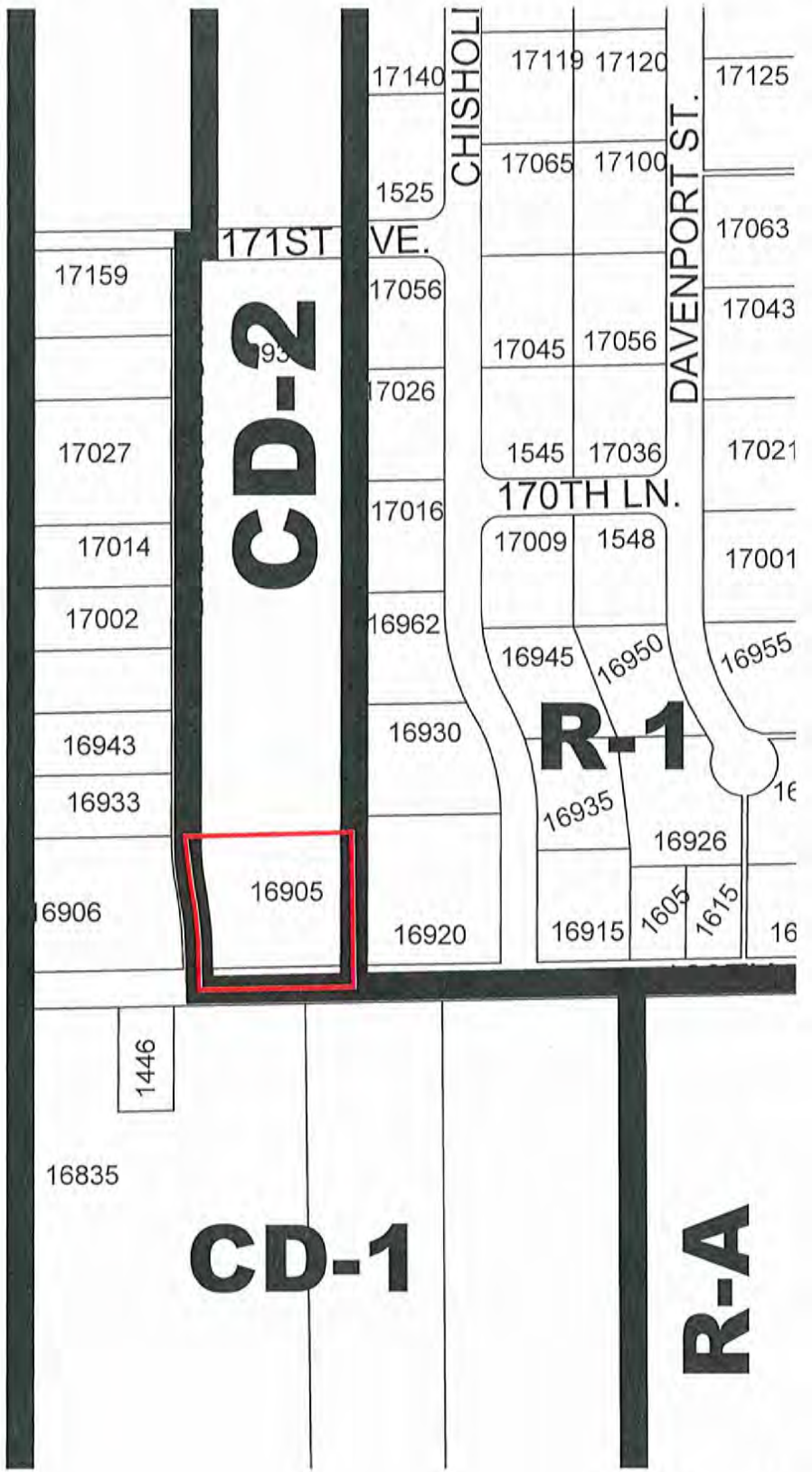
Section Number	Township	Range	Quarter	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 08-32-23-13-0013

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.



STATE TRUNK HIGHWAY NO. 6



August 25, 2025

CITY OF HAM LAKE

STAFF REPORT

To: Members of the Planning Commission

From: Mark Jones, Building Official

Subject: Conditional Use Permit for Exotic Automotives LLC for auto repair at 16909 Baltimore Street NE

Introduction/Discussion:

Exotic Automotives LLC is applying for a Conditional Use Permit for auto repair. Auto repair will include both mechanical and auto body work. Besides auto repair, Exotic Automotives LLC also operates a used car sales dealership at this location. The property is zoned Commercial Development II (CD-2). Per Article 9-220.3 Commercial Development II (CD-2), used vehicle sales is a permitted use in the CD-2 zoning district, but auto repair requires a Conditional Use Permit (CUP). Exotic Automotives LLC will have two full-time employees and will subcontract two technicians as needed. Hours of operation requested are Monday through Friday 10:00 am to 7:00 pm, and Saturday 10:00 am to 5:00 pm. Exotic Automotives LLC identifies 16 parking stalls to the west and north of the building, outside of the fenced area, for business use on the site plan. A minimum of four parking stalls must be reserved for employee parking, four for customer parking and one for handicapped parking. The remaining parking spaces are assumed to be used for the display of used cars that will be for sale.

Per Article 7-905.E and 7-905.F, a business holding a Motor Vehicle Sales Lot License, must ensure *all motor vehicles be currently capable of obtaining applicable licenses, and all motor vehicles shall be completely assembled motor vehicles as customarily delivered from the factory. No junk cars, parts stockpiling or storage of dismantled cars shall be permitted.* Exotic Automotives LLC obtains some vehicles that require repair prior to selling them and wants to be able to do the repair work on-site. The site plan shows sixteen spaces within the fenced area that are to be used to store damaged vehicles waiting to be repaired. A 12-foot drive aisle must be maintained between rows of cars, and at the end of each row, on the gate side, of the screened in area.

Recommendation:

I recommend approval of the Conditional Use Permit (CUP) for Exotic Automotives LLC with these conditions:

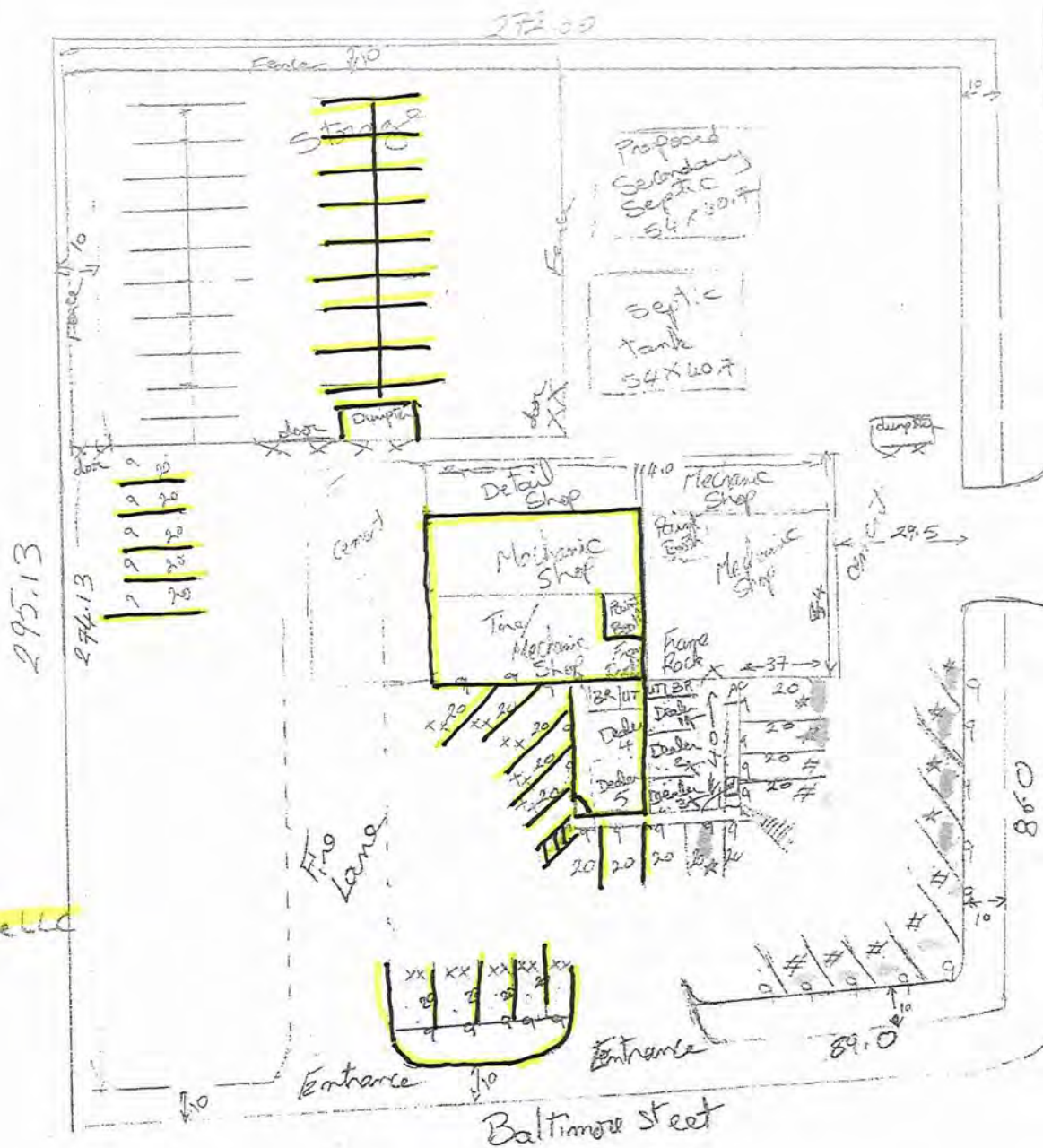
1. That all damaged vehicles be parked within the screened area and that a 12-foot drive aisle be maintained between rows of cars and at the end of each row, on the gate side, of the screened in area.
2. No outside storage of liquids, tires, parts, etc.
3. No "parts" cars (vehicles bought for the sole purposes of removing parts for other vehicles)
4. All repairs need to be done inside the building. This includes any type of repair work such as body work or replacement of headlights, etc.
5. All fluids to be contained and disposed of according to State and County requirements.
6. That proper screening be provided between commercial and residential property and that the primary and secondary septic area and septic tanks be protected.
7. That all auto sales activities be kept separate from the auto repair, and all requirements of Article 7-900 be adhered to for auto sales.
8. Exotic Automotives LLC provide a minimum of four parking stalls for employees, and four parking stalls for customers. The handicap parking space(s) must be properly marked.
9. Exotic Automotives LLC hours of operation are to be, Monday through Friday 10:00 am to 7:00 pm, and Saturday 10:00 am to 5:00 pm.
10. Meeting all City, County, and State requirements.

To whom it may concern
City of Ham Lake

This form is for the below business (property)
Exotic Automotives LLC

16909 Baltimore St. NE
Ham Lake, MN 55304

- This property is being used to buy, sell and repair used cars, This repair includes: Mechanical work, Body repair, oil change, Detailing Paint & Tires.
- Current employees: 2 Plus subcontract (2) certain tasks to skilled Technicians as needed.
- Current Customers: 4 / day, Potential future customer: 8 day
- Work days: Mon - Sat
- Work hours Mon - Fri (10 am - 7 PM)
Sat. (10 am - 5 PM)



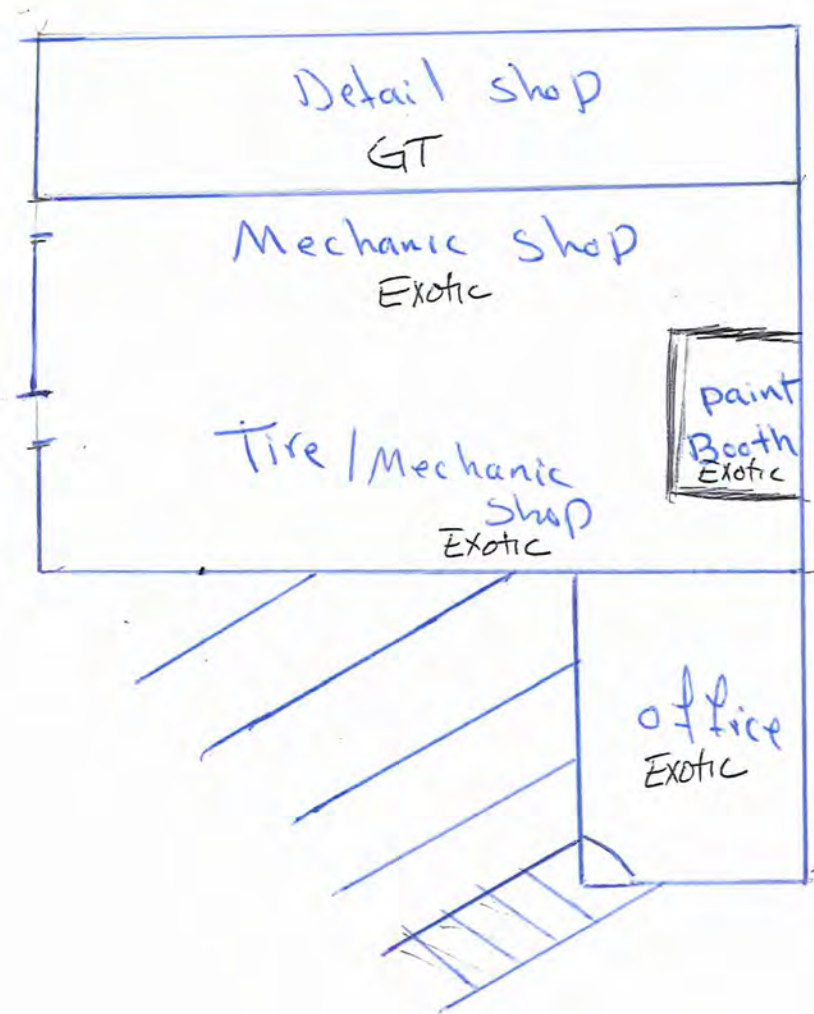
Updated 1-3-24
for Exotic

On Dealers:
 * GT auto Sales Corp
 # GT auto LLC
 XX Exotic Automotive LLC

169

Exotic Automotive LLC

8/7/2025



**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: August 25, 2025

INSPECTION ISSUED TO: Dave Ringler

APPLICANT/CONTACT: Darren Lazan, Landform Prof Services and
Jason Osberg, JD Ham Lake Holdings, LLC

TELEPHONE NUMBER: Darren 612-221-8143/dlazan@landform.net
or Jason, 612-205-1226

BUSINESS/PLAT NAME: Kohler Farms

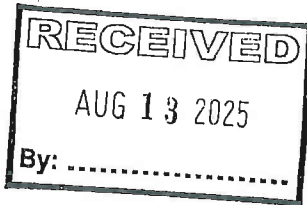
ADDRESS/LOCATION OF INSPECTION: 15946 Lexington Ave/13-32-23-31-
0002/13-32-23-32-0001/13-32-23-33-0001

APPLICATION FOR: Preliminary Plat & Rezoning

RECOMMENDATION: _____

DATE: _____

PLANNING COMMISSIONER SIGNATURE: _____



CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

PLANNING REQUEST

Date of Application 08/12/2025

Date of Receipt _____

Receipt # _____

Amount \$ _____

Meeting Appearance Dates:

Planning Commission 8-25-25

City Council _____

Please check request(s):

☐ Metes & Bounds Conveyance

☐ Commercial Building Permit

☐ Sketch Plan

☐ Certificate of Occupancy

☒ Preliminary Plat Approval*

☐ Home Occupation Permit

☐ Final Plat Approval

☐ Conditional Use Permit (New)*

☒ Rezoning*

☐ Conditional Use Permit (Renewal)

☐ Multiple Dog License*

☐ Other _____

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: JD Ham Lake Holdings, LLC, Project Name: "Kohler Farms" - REVISED Preliminary Plat and Rezoning

Address/Location of property: 4 Parcels, only one address- 15946 LEXINGTON AVE NE, Ham Lake, MN 55304

Legal Description of property: THE NE1/4 OF SW1/4 OF SEC 13 TWP 32 RGE 23 EX THE S 667 FT OF THE E 670 FT THEREOF, EX RD SUBJ TO EASE OF REC, HAM LAKE TWP NW 1/4 OF SW 1/4 13 32 23, HAM LAKE TWP SW 1/4 OF SW 1/4 13 32 23, THE S 667 FT OF E 670 FT OF THE NE1/4 OF SW1/4 OF SEC 13 TWP 32 RGE 23, EX RD SUBJ TO EASE OF REC

PIN # #13-32-23-31-0002, #13-32-23-32-0001, #13-32-23-33-0001, #13-32-23-31-0003

Current Zoning RA

Proposed Zoning R-1 / R-A

Notes: An Narrative had been provided as part of this application package.

Applicant's Name: Darren Lazan (Developer- JD Ham Lake Holdings, LLC: Jason Osberg (612)205-1226)

Business Name: Landform Professional Services, LLC

Address 105 5th Ave S, Suite 513

City Minneapolis

State MN

Zip Code 55401

Phone 612-638-0250

Cell Phone 612-221-8143

Fax _____

Email address dlazan@landform.net

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE _____

DATE 8/12/2025

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____

City Council _____

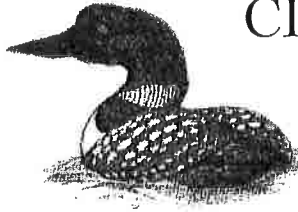
PROPERTY TAXES CURRENT

YES

NO

Any Active/Deferred Assessments YES

NO



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

NOTICE OF PUBLIC HEARING CITY OF HAM LAKE COUNTY OF ANOKA STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, August 25, 2025 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Darren Lazan of Landform Professional Services, LLC, on behalf of Jason Osberg, JD Ham Lake Holdings, LLC, requesting preliminary plat approval and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for Kohler Farms in Section 13, a parcel of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

PARCEL A

The Northeast Quarter of the Southwest Quarter of Section 13, Township 32, Range 23, Anoka County, Minnesota, EXCEPT the South 667 feet of the East 670 feet thereof.

AND

The West Half of the Southwest Quarter of Section 13, Township 32 North, Range 23 West, according to the United States Government thereof, Anoka County, Minnesota.

AND

PARCEL B

The South 667 feet of the East 670 feet of the Northeast Quarter of the Southwest Quarter of Section 13, Township 32, Range 23, Anoka County, Minnesota.

At such hearing both written and oral comments will be heard.


DATED: August 15, 2025

Jennifer Bohr
Building and Zoning Clerk
City of Ham Lake

Memorandum

Date: August 21, 2025

To: Planning Commissioners

From: David A. Krugler, City Engineer 

Subject: Kohler Farms

Introduction:

The Existing Conditions & Demolition, Preliminary Plat & Site Plan, Grading, Drainage, Erosion Control & Storm Sewer, SWPPP, Storm Sewer Plan & Profile, Street Profiles, Civil Construction Details, Livability Map and Tree Preservation Plan were received August 18th for the proposed 43 lot residential development located on 124.3 acres of parcels 13-32-23-31-0002, 13-32-23-31-0003 (15946 Lexington Avenue NE), 13-32-23-32-0001 and 13-32-23-33-0001. The parcels are currently zoned Rural Single Family Residential (R-A) and will be rezoned to Single Family Residential (R-1) except for the southeast parcel, Lot 1 of Block 4 which will remain R-A. There are still comments outstanding that do not meet City Code requirements. A 600-scale aerial photo, a 600-scale zoning map and a 400-scale half-section maps are attached.

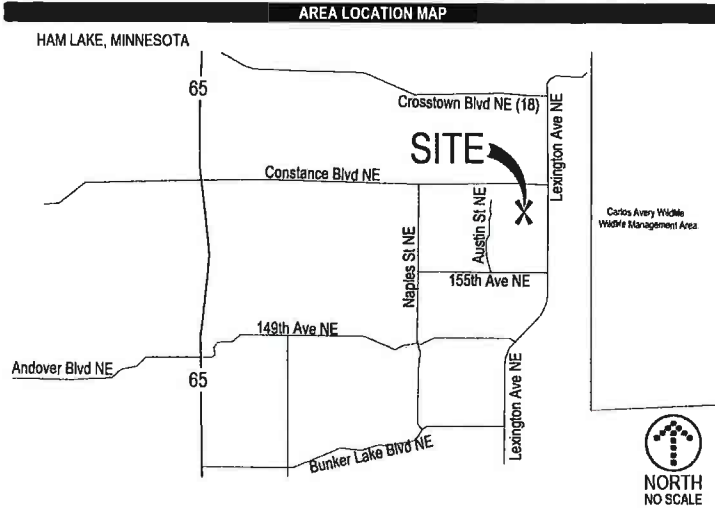
Discussion:

This plat previously received Sketch Plan approval at the special August 11th City Council meeting for a total of 43 lots. The original sketch plan required a lot line adjustment involving parcel 13-32-23-31-0003 (15946 Lexington Avenue) prior to final plat approval. By incorporating this parcel into the plat, the need for a separate lot line adjustment has been eliminated. In accordance with City Code Section 11-450.4(c), a compliance inspection as well will be required for the existing septic system. The plans already show soil borings that indicate a suitable secondary septic location on the 15945 Lexington Avenue parcel. The existing buildings located on the future 10.8-acre Lot 1, Block 4 are in compliance with applicable city and state codes; therefore, no modifications or demolition will be necessary, as confirmed in the attached email from the City Building Official.

There are no FEMA areas within the proposed development. The Coon Creek Watershed District began their review as of August 20th and has not finished their review of the project.

Recommendations:

It is recommended that the Preliminary Plat of Kohler Farms to be tabled until provided plans meet all City, County, State and Coon Creek Watershed District requirements.



KOHLER FARMS

HAM LAKE, MINNESOTA

DEVELOPER
JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070

CITY



ABBREVIATIONS		
D	Angle	LB
A	And	Local Government Unit
100 YR	100 Year Flood Elevation	AL
A.B.	Anchor Bolt	Longitudinal
A.D.	Area Drain	Light / Lighting
AC	Air Conditioning Unit	Maint
ADD	Addendum	MAS
ADDL	Additional	MATL
ADJ	Adjacent / Adjacent	MAX
AHU	Air Handling Unit	MED
ALT	Altitude	MFR
ALUM	Aluminum	MH
AHOD	Approved	MH
APPROX	Approximate	MISC
ARCH	Architect / Architectural	MINDOT
AUTO	Automatic	MOD
AVG	Average	MUL
B.C.	Back of Curb	N
B.G.	Bottom of Wall	Not in Contact
BFE	Basement Floor Elevation	NIC
BIT	Bituminous (Asphaltic)	NO OR A
BLDG	Building	NOM
BM	Benchmark	NTS
BSMT	Basement	NWE
C.F.	Cubic Feet	Normal Water Level
C.F.S.	Cubic Feet Per Second	O.F.
C.G.	Corner Guard	O.G.
C.J.	Control Joint	Outside Dimension
C.L.	Centerline	O.H.
C.M.U.	Concrete Masonry Unit	Overhead
C.O.	Cleanout	Ordinary High Water Level
C.O.E.	U.S. Army Corps Of Engineers	Opening
C.Y.	Cubic Yards	ORIG
CB	Catch Basin	Original
CBM	Catch Basin Manhole	P
CDM	Clear	Point of Curvature
CIP	Cast Iron Pipe	P.I.
CMP	Corrugated Metal Pipe	Point of Intersection
CONC	Concrete (Portland)	PIV
CONR	Construction	Post Indicator Valve
CONT	Continuous	P.L. OR P.L.
CONTR	Contractor	Point of Beginning
COP	Copper	P.D.B.
CUI	Cubic	Pounds Per Square Foot
D.S.	Down Spout	P.S.F.
DEG	Degree	P.S.I.
DEMO	Demolition / Demolish	P.T.
DEPT	Department	Point of Tangency
DET	Detail	P.V.I.
DIA	Diameter	Point of Vertical Intersection
DIAG	Diagonal	P.V.T.
DIAM	Dimension	Point of Vertical Tangency
DIP	Double Iron Pipe	PE
DW	Down	Polyethylene
DWG	Drawing	PE
E	East	PED
E.J.	Expansion Joint	Pedestal / Pedestrian
E.O.	Emergency Overflow	PERF
E.O.S.	Emergency Overflow Swale	Perforated
E.W.	Each Way	PREP
EA	Each El	Preparation
ELEC	Electrical	PROJ
EMER	Emergency	Project
ENGR	Engineer	PROPOSED
ENTR	Entrance	PVC
EQ	Equal	Poly Vinyl Chloride (Piping)
EQUIP	Equipment	PAV
EQUIV	Equivalent	Quarter
EXP	Expansion	QTY
F & I	Furnish and Install	Quantity
F.O.	Furnished by Others	R
F.C.	Face of Curb	Radius
F.D.C.	Fire Department Connection	RAD
F.V.	Field Verify	Rim Elevation (Casting)
FB	Full Basement	RE
FBWO	Full Basement Walk Out	Road Drain
FBO	Full Basement Look Out	R.O.
FR	Foundation	Rough Opening
FES	Flared End Section	R.P.
FLR	Floor	Reinforced Concrete Pipe
FT OR T	Foot	R.S.
FUT	Future	Rough Slab
G.B.	Grade Break	RSD
G.C.	General Contractor	Roof Storm Drain
GAL	Gallon	REG
GALV	Galvanized	Regarding
GFE	Garage Floor Elevation	REIN
GL	Glass	Reinforced
GR	Grade	REQD
H	Height	Required
H.P.	High Point	REV
HDPE	High Density Polyethylene Pipe	Revision / Revised
HGT	Height	RGU
HORIZ	Horizontal	Regulatory Government Unit
HVAC	Heating Ventilation, Air Conditioning	ROW OR RW
HYD	Hydrant	S
I.D.	Inside Dimension OR Identification	S.F.
I.E. or IE	Inside Elevation	SAN
IN OR T	Inches	Sanitary Sewer
INFO	Information	SECT
INL	Inlet Elevation	SECT
INSUL	Insulation	SECT
INV	Invert Elevation	SECT
JT	Joint	SECT
L.F.	Linear Feet	SECT
L.P.	Low Point / Liquid Petroleum	SECT

SYMBOLS			
EXISTING	DESCRIPTION	NEW	DESCRIPTION
	MAJOR CONTOUR		MAJOR CONTOUR
	MINOR CONTOUR		MINOR CONTOUR
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY / OVERHANG		CANOPY / OVERHANG
	CONCRETE		CONCRETE
	BITUMINOUS		BITUMINOUS
	LANDSCAPING		LANDSCAPING
	GRAVEL		GRAVEL
	PAVING BLOCK		PAVING BLOCK
	STORM SEWER LINE		STORM SEWER LINE
	SANITARY SEWER LINE		SANITARY SEWER LINE
	WATER MAIN		WATER MAIN
	OVERHEAD ELECTRIC		OVERHEAD ELECTRIC
	UNDERGROUND TELEPHONE		UNDERGROUND TELEPHONE
	UNDERGROUND FIBER OPTIC		UNDERGROUND FIBER OPTIC
	UNDERGROUND ELECTRIC		UNDERGROUND ELECTRIC
	GAS LINE		GAS LINE
	CONCRETE CURB		CONCRETE CURB
	FENCING		FENCING
	RETAINING WALL		RETAINING WALL
	SET 1/2" X 1/4" IRON PIPE		SET 1/2" X 1/4" IRON PIPE
	IRON MONUMENT FOUND		IRON MONUMENT FOUND
	SURVEY DISK (BENCHMARK)		SURVEY DISK (BENCHMARK)
	POWER POLE		POWER POLE
	GUY WIRE		GUY WIRE
	GUARD POST		GUARD POST
	GAS METER		GAS METER
	TRANSFORMER		TRANSFORMER
	WATER SHUT-OFF VALVE		WATER SHUT-OFF VALVE
	TRAFFIC SIGN		TRAFFIC SIGN
	FLAG POLE		FLAG POLE
	LIGHT POLE		LIGHT POLE
	TREES		TREES
	TREE LINE		TREE LINE
	STORM MANHOLE		STORM MANHOLE
	SANITARY MANHOLE		SANITARY MANHOLE
	CATCH BASIN		CATCH BASIN
	FIRE HYDRANT		FIRE HYDRANT
	WATER VALVE		WATER VALVE
	FLARED END SECTION		FLARED END SECTION
	MAILBOX		MAILBOX
	NOTE NUMBER		NOTE NUMBER
	MEASURED DISTANCE		MEASURED DISTANCE
	DISTANCE PER RECORDED PLAT		DISTANCE PER RECORDED PLAT
	SOIL BORING		SOIL BORING

EROSION CONTROL SYMBOLS	
SYMBOL	DESCRIPTION
	SILT FENCE
	COMPOST BIO LOG
	WHEEL PROTECTION
	EROSION CONTROL BLANKET

DRAWING SYMBOLS	
SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION - ADDENDUM, BULLETIN, ETC
	REVISED AREA (THIS ISSUE)

LEGAL DESCRIPTION

PARCEL A
The Northwest Quarter of the Southwest Quarter of Section 13, Township 32, Range 23, Anoka County, Minnesota, EXCEPT the South 667 feet of the East 870 feet thereof AND
The West Half of the Southwest Quarter of Section 13, Township 32 North, Range 23 West, according to the United States Government thereof, Anoka County, Minnesota.

PARCEL B
The South 667 feet of the East 870 feet of the Northwest Quarter of the Southwest Quarter of Section 13, Township 32, Range 23, Anoka County, Minnesota.

BENCHMARK

Project Benchmark
Name: Anoka County Benchmark No. 2005
Location: Second Order Benchmark set in ground in a covered tube. Benchmark is approximately 35 feet westerly of the centerline of C.S.A.H. No. 17 and 40 feet northerly of the centerline of 155th Avenue N.E.
Elevation = 905.73 (NAVD 88)

Site Benchmark
Type: Nail in Southeast of 18 m oak
Location = +/- 500' West of 1100 S.W. along North line
Elevation = 905.47 (NAVD 88)

RELEVANT SPECIFICATIONS AND ORDER OF PRECEDENCE

If there is a conflict between any of the terms or provisions of the Contract Documents, the Contract Documents shall be generally construed as being complementary with one another with the intent of providing the highest quality to the CLIENT. However, if a conflict cannot be resolved, the ENGINEER shall be consulted and their written directions shall be followed. In general, unless otherwise directed in writing by the ENGINEER, the following order of precedence shall apply from highest precedence (1) to lowest (7):

1. Agreement between OWNER and CONTRACTOR
2. City Standard Specifications and Detail Plates
3. Minnesota Specifications for Construction
4. City Engineer's Association of Minnesota (CEAM) Specifications
5. Conditions of the Contract
6. Plans
7. Digital Model
8. Bid Proposal

ZONING SUMMARY

The Property is Zoned: R A Zone (Residential Rural Single Family)
Proposed Zoning: Single Family Residential (R 1), limited to Blocks 1, 2 & 3

OWNER

JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
MINNEAPOLIS, MINNESOTA 55401
TEL: (612)-252-9070
EMAIL: DLAZAN@LANDFORM.NET
CONTACT: DARREN LAZAN

PROJECT CONTACTS

CIVIL ENGINEER LANDFORM 105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL: 612-252-9070 CONTACT: ERIC LUTH, PE	SURVEYOR LANDFORM 105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL: 612-252-9070 CONTACT: JERROD LESAVAGE, LS
---	---

**LANDSCAPE ARCHITECT
LANDFORM**
105 SOUTH FIFTH AVENUE, SUITE 513
MINNEAPOLIS, MN 55401
TEL: 612-252-9070
CONTACT: JOHN ORTIZ, PLA

CIVIL / LANDSCAPE SHEET INDEX & REVISION MATRIX			
SHEETS ISSUED BY DATE		12/25/2025	08/18/25
SHEET NO.	DESCRIPTION		
C0.1	CIVIL & LANDSCAPE TITLE SHEET	X	X
C1.0	EXISTING CONDITIONS & DEMOLITION INDEX & NOTES	X	X
C1.1	EXISTING CONDITIONS & DEMOLITION INSET 1	X	X
C1.2	EXISTING CONDITIONS & DEMOLITION INSET 2	X	X
C1.3	EXISTING CONDITIONS & DEMOLITION INSET 3	X	X
C1.4	EXISTING CONDITIONS & DEMOLITION INSET 4	X	X
C1.5	EXISTING CONDITIONS & DEMOLITION INSET 5	X	X
C1.6	EXISTING CONDITIONS & DEMOLITION INSET 6	X	X
C2.0	PRELIMINARY PLAT & SITE PLAN INDEX & NOTES	X	X
C2.1	PRELIMINARY PLAT & SITE PLAN INSET 1	X	X
C2.2	PRELIMINARY PLAT & SITE PLAN INSET 2	X	X
C2.3	PRELIMINARY PLAT & SITE PLAN INSET 3	X	X
C2.4	PRELIMINARY PLAT & SITE PLAN INSET 4	X	X
C2.5	PRELIMINARY PLAT & SITE PLAN INSET 5	X	X
C2.6	PRELIMINARY PLAT & SITE PLAN INSET 6	X	X
C3.0	GRADING, DRAINAGE, EROSION CONTROL, STORM SEWER INDEX & NOTES	X	X
C3.1	GRADING, DRAINAGE, EROSION CONTROL, STORM SEWER INSET 1	X	X
C3.2	GRADING, DRAINAGE, EROSION CONTROL, STORM SEWER INSET 2	X	X
C3.3	GRADING, DRAINAGE, EROSION CONTROL, STORM SEWER INSET 3	X	X
C3.4	GRADING, DRAINAGE, EROSION CONTROL, STORM SEWER INSET 4	X	X
C3.5	GRADING, DRAINAGE, EROSION CONTROL, STORM SEWER INSET 5	X	X
C3.6	GRADING, DRAINAGE, EROSION CONTROL, STORM SEWER INSET 6	X	X
C3.7	SWPPP	X	X
C5.0	STORM SEWER INDEX & NOTES	X	X
C5.1	STORM SEWER PLAN & PROFILE	X	X
C5.2	STORM SEWER PLAN & PROFILE	X	X
C5.3	STORM SEWER PLAN & PROFILE	X	X
C5.4	STORM SEWER PLAN & PROFILE	X	X
C5.5	STORM SEWER PLAN & PROFILE	X	X
C5.6	STREET PROFILES INDEX & NOTES	X	X
C6.0	STREET PROFILES	X	X
C6.1	STREET PROFILES	X	X
C6.2	STREET PROFILES	X	X
C6.3	STREET PROFILES	X	X
C7.1	CIVIL CONSTRUCTION DETAILS	X	X
C7.2	CIVIL CONSTRUCTION DETAILS	X	X
C7.3	CIVIL CONSTRUCTION DETAILS	X	X
C7.4	CIVIL CONSTRUCTION DETAILS	X	X
C8.0	LIVABILITY MAP	X	X
L1.0	TREE PRESERVATION INDEX & NOTES	X	X

PROJECT
KOHLER FARMS
HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
DATE	ISSUE / REVISION	REVIEW
17 JUL 2025	PRE PLAT SUBMITTAL	ETL
26 JUL 2025	SKETCH PLAN RE-SUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
29 JUL 2025	PRE PLAT RE-SUBMITTAL	ETL
19 AUG 2025	PRE PLAT RE-SUBMITTAL	ETL

CERTIFICATION

PRELIMINARY
NOT FOR
CONSTRUCTION

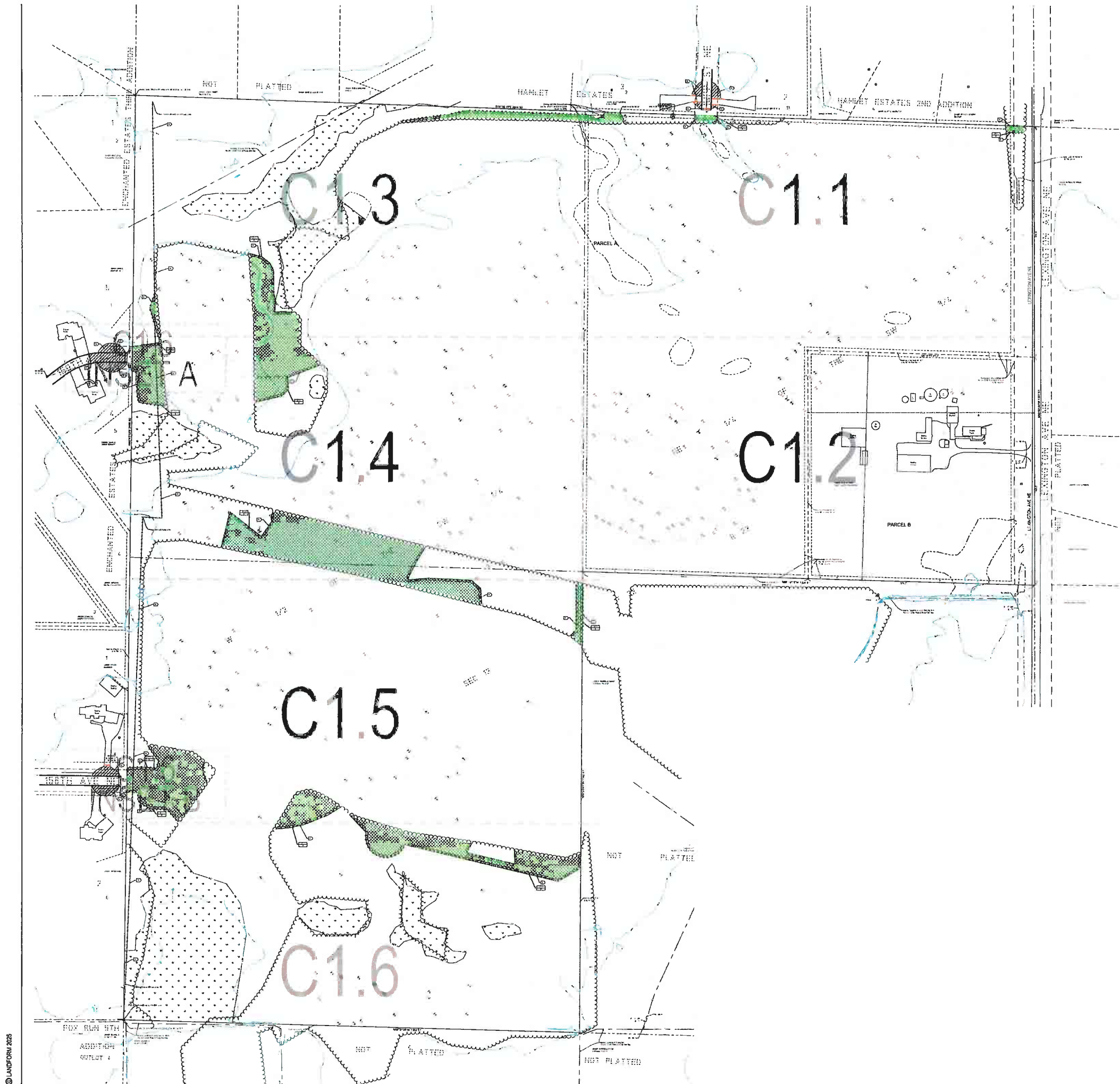
IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BY PHOTOGRAPHY. REPRODUCIBILITY HAS NOT BEEN VERIFIED. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

LANDFORM			
From Site to Finish			
105 South Fifth Avenue	Tel	612-252-9070	
Suite 513	Far	612-252-9077	
Minneapolis, MN 55401	Web	landform.net	

FILE NAME: C001LDP010.DWG
PROJECT NO.: LDP24010

CIVIL & LANDSCAPE TITLE SHEET
C0.1



GENERAL NOTES

- For construction staking and surveying services contact Landform at 612-252-9070
- Wetland delineation completed by Kibbey Environmental Services. MOD completed on August 8, 2025

EXISTING CONDITIONS

- Background information shown is from survey by Landform, Minneapolis, MN, on April 5, 2025 expressly for this project, City of Ham Lake, MN record drawings, and utility service providers. Landform offers no warranty, expressed or written, for information provided by others. Existing project conditions shall be verified prior to beginning construction. Errors, inconsistencies or omissions discovered shall be reported to the Engineer IMMEDIATELY.
- Geotechnical boring locations are approximate and are based on information provided in the Geotechnical Report prepared by Braun Interfac Corporation, Minneapolis, MN on July 9, 2025
- Parcel(s) 13 32 23 31-0002 13 32 23 32-0001 13 32 23 33-0001 Existing zoning: R-A Zone (Residential Rural Single Family)

LEGAL DESCRIPTION

PARCEL A
The Northeast Quarter of the Southwest Quarter of Section 13, Township 32, Range 23, Anoka County, Minnesota EXCEPT the South 667 feet of the East 670 feet thereof
AND
The West Half of the Southwest Quarter of Section 13, Township 32 North, Range 23 West according to the United States Government, Ironwood, Anoka County, Minnesota
PARCEL B
The South 667 feet of the East 670 feet of the Northeast Quarter of the Southwest Quarter of Section 13, Township 32, Range 23, Anoka County, Minnesota

BENCHMARK

Project Benchmark
Name: Anoka County Benchmark No. 2005
Location: Second Order Benchmark set in ground in a covered tube. Benchmark is approximately 35 feet westerly of the centerline of C S A 11 No. 17 and 40 feet northerly of the centerline of 155th Avenue N.E.
Elevation = 905.73 (NAVD 88)
Site Benchmark
Type: Iron In Ground of 18 in. oak
Location: +/- 50ft West of Hupp St NE along North line
Elevation = 905.47 (NAVD 88)

DEMOLITION AND CLEARING NOTES

- Obtain permits for demolition, clearing, and disposal prior to beginning
- Contact utility service providers for field location of services 72 hours prior to beginning demolition and clearing
- See Sheet C3.0 C3.6 for erosion prevention and sediment control measures that must be in place prior to disturbances to site
- Reserved
- Dimensions shown for removal are approximate. Coordinate with new construction to ensure appropriate removal of existing facilities
- Pavement sawcut. Remove concrete walks and curbing to the nearest existing joint beyond construction limits
- Complete demolition with minimal disruption of traffic. Coordinate lane closures with the regulatory authority and provide advance notification to affected emergency response providers
- Provide barricades, lights, signs, traffic control, and other measures necessary for protection and safety of the public and maintain throughout construction
- Protect structures, utilities, trees, plant material, soil, and adjacent property from damage during construction unless noted for removal. Damage shall be repaired to equal or better condition at no additional cost.
- Remove existing site features including, but not limited to, underground utilities, paving, curbing, walkways, fencing, retaining walls, screen walls, aprons, lighting, related foundations, signage, bollards, landscaping, and stairways within the construction limits unless noted otherwise
- Coordinate removal, relocation, termination, and re-use of existing private and public utility services and appurtenances with the utility companies. Restore electric handholes, pullboxes, powerpoles, guylines, and structures disturbed by construction in accordance with utility owner requirements.
- Haul demolition debris off-site to a facility approved by regulatory authorities for the handling of demolition debris, unless noted otherwise
- Remove existing storm sewer

LEGEND

EXISTING	EXISTING	EXISTING
STORM MANHOLE	STRUCTURE & OR PAVEMENT REMOVAL	
SAWITARY MANHOLE	SOIL BORING	
CATCH BASIN	UTILITY LINE & FENCE REMOVAL	
FIRE HYDRANT	MASS TREE REMOVAL	
WATER VALVE	TREE PROTECTION FENCE	
FLARED END SECTION	WETLAND	
STORM SEWER	SAWCUT	
SAWITARY SEWER	FLOODPLAIN	
WATERMAIN	FARMED SEASONAL WET LAND AREA	
WATER SERVICE		
EASEMENT		
SPOT ELEVATION		

DEVELOPER

JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070

CITY



PROJECT

KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
12 JUL 2025	SWITCHING IN RE-SUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
26 JUL 2025	PRE PLAT RE-SUBMITTAL	ETL
18 AUG 2025	PRE PLAT RE-SUBMITTAL	ETL

CERTIFICATION

I hereby certify that the plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

IF THE SIGNATURE, SEAL OR FOUR LINEAR DIMENSIONAL ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BY XEROX OR OTHER MEANS. THE ENGINEER'S LIABILITY IS NOT TRANSFERRED TO THE REPRODUCER. THE ENGINEER IS REQUESTING REPRODUCTION DOCUMENTS.

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025



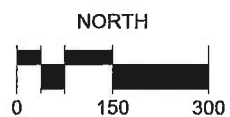
105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

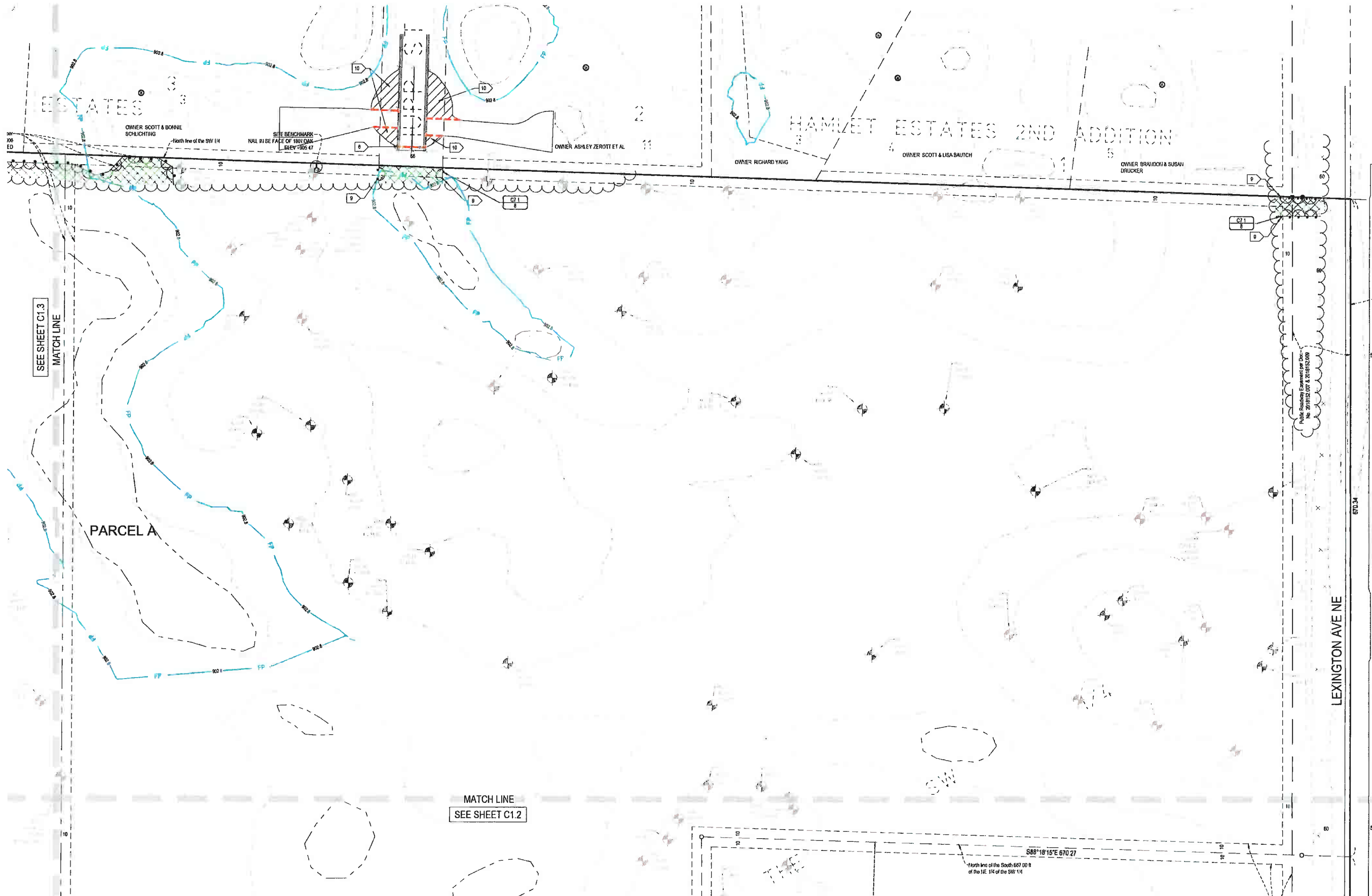
FILE NAME: C100LDP010.DWG
PROJECT NO.: LDP24010

EXISTING CONDITIONS & DEMOLITION INDEX & NOTES
C1.0



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DEVELOPER
JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRELIM PLAT SUBMITTAL	ETL
25 JUL 2025	SKETCH PLAN RE-SUBMITTAL	ETL
29 JUL 2025	WATERSHED SUBMITTAL	ETL
29 JUL 2025	PRELIM PLAT RE-SUBMITTAL	ETL
18 AUG 2025	PRELIM PLAT RE-SUBMITTAL	ETL

C1.3	C1.1
C1.4	C1.2
C1.5	
C1.6	

CERTIFICATION
I hereby certify that the plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Eng. T. L. W. PE
License No. 50075
Signature of Engineer
Signature of Professional Engineer
Landform Professional Services, Inc. is a duly authorized agent.

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED WITHOUT AUTHORITY. REPRODUCIBILITY IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

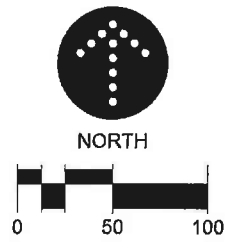


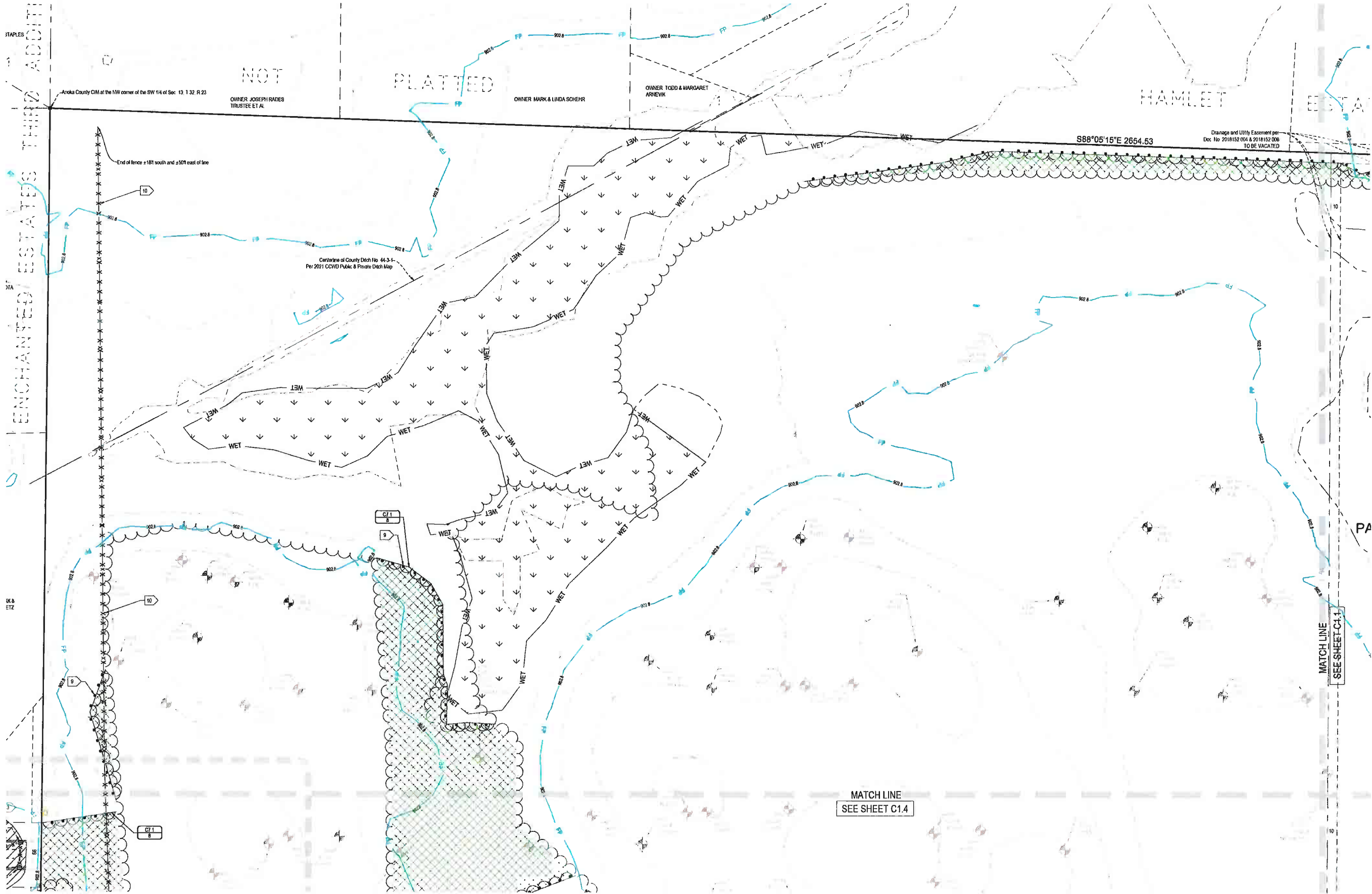
105 South Fifth Avenue
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Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME: C100LDP010.DWG
PROJECT NO.: LDP24010

EXISTING CONDITIONS & DEMOLITION
INSET 1
C1.1

LEGEND	
EXISTING	EXISTING
	STORM MANHOLE
	SANITARY MANHOLE
	CATCH BASIN
	FIRE HYDRANT
	WATER VALVE
	FLARED END SECTION
	STORM SEWER
	SANITARY SEWER
	WATERMAIN
	WATER SERVICE
	EASEMENT
	SPOT ELEVATION
	STRUCTURE &/OR PAVEMENT REMOVAL
	SOIL BORING
	UTILITY LINE & FENCE REMOVAL
	MASS TREE REMOVAL
	TREE PROTECTION FENCE
	WETLAND
	SAWCUT
	FLOODPLAIN
	FARMED SEASONAL





DEVELOPER
JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070
CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
CONTACT ENGINEER FOR ANY PRIOR HISTORY		
DATE	ISSUE / REVISION	REVIEW
16 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SWITCH PLAN RE-SUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
26 JUL 2025	PRE PLAT RE-SUBMITTAL	ETL
18 AUG 2025	PRE PLAT RE-SUBMITTAL	ETL

C1.3	C1.1
C1.4	C1.2
C1.5	
C1.6	

CERTIFICATION
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

PRELIMINARY
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IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED RESPONSIBILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025



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Suite 513
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

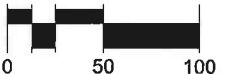
FILE NAME: C100LDP010.DWG
PROJECT NO: LDP24010

EXISTING CONDITIONS & DEMOLITION
INSET 3
C1.3

LEGEND			
EXISTING		EXISTING	
STORM MANHOLE	STRUCTURE & OR PAVEMENT REMOVAL	SOIL BORING	UTILITY LINE & FENCE REMOVAL
SANITARY MANHOLE			MASS TREE REMOVAL
CATCH BASIN			
FIRE HYDRANT			
WATER VALVE			
FLARED END SECTION			
STORM SEWER			
SANITARY SEWER			
WATERMAIN			
WATER SERVICE			
EASEMENT			
SPOT ELEVATION			



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DEVELOPER
JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRELIMINARY SUBMITTAL	ETL
22 JUL 2025	SWITCH PLAN RE-SUBMITTAL	ETL
27 JUL 2025	WATERSHED SUBMITTAL	ETL
29 JUL 2025	PRELIMINARY SUBMITTAL	ETL
18 AUG 2025	PRELIMINARY SUBMITTAL	ETL

C1.3	C1.1
C1.4	C1.2
C1.5	
C1.6	

CERTIFICATION
I hereby certify that the plan was prepared by me or under my direct supervision, and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Eric T. Loh, PE
License No. 50073
Signature must be accompanied by the Professional Engineer's Seal and the Professional Engineer's Stamp.

IF THE SIGNATURE, SEAL OR YOUR LINE DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND ITS INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025



105 South Fifth Avenue
Suite 513
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Fax: 612-252-9077
Web: landform.net

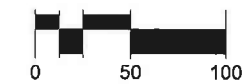
FILE NAME: C100LDP010.DWG
PROJECT NO.: LDP24010

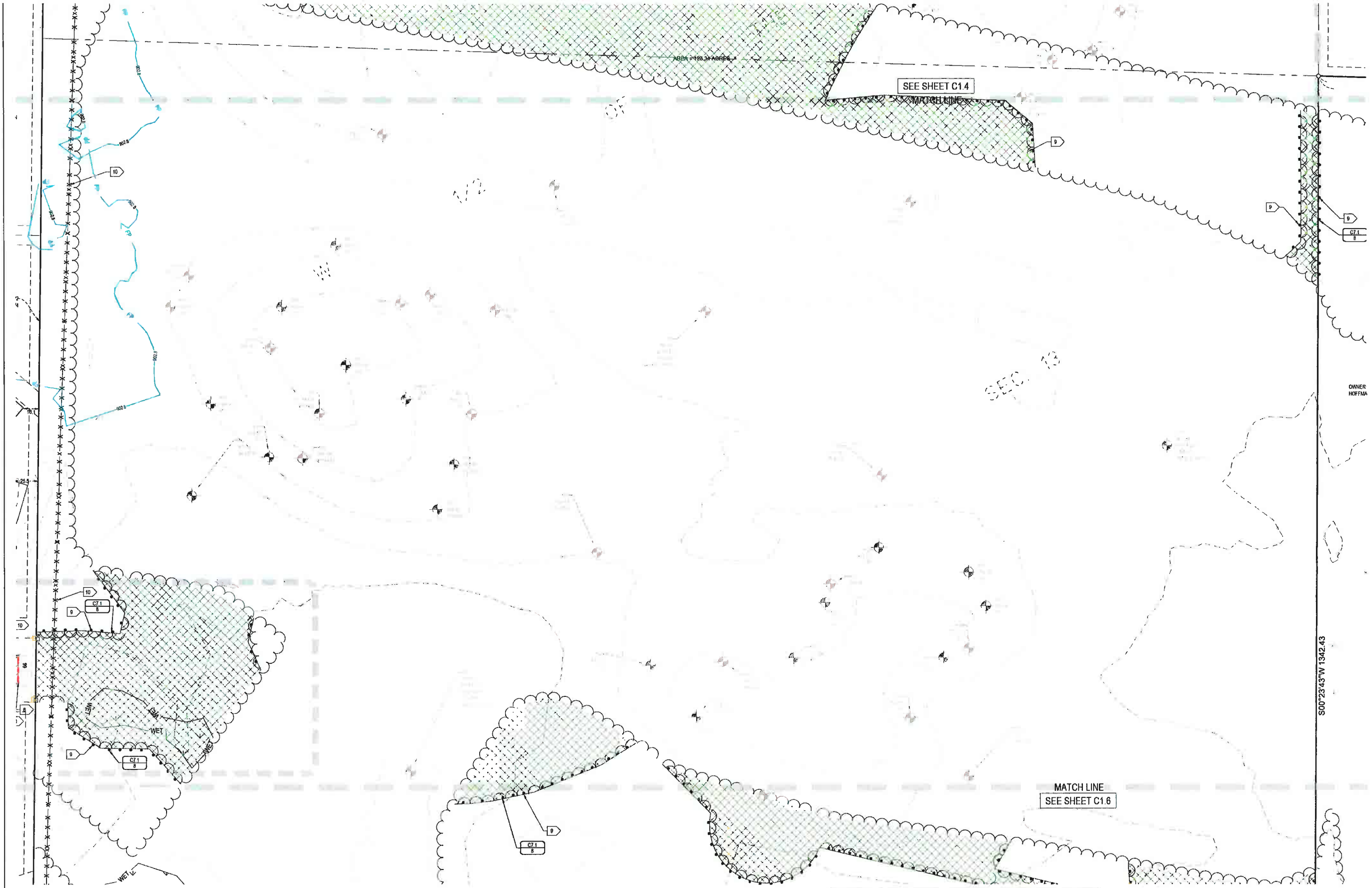
EXISTING CONDITIONS & DEMOLITION
INSET 4
C1.4

LEGEND	
EXISTING	EXISTING
	STORM MANHOLE
	SANITARY MANHOLE
	CATCH BASIN
	FIRE HYDRANT
	WATER VALVE
	FLARED END SECTION
	STORM SEWER
	SANITARY SEWER
	WATERMAIN
	WATER SERVICE
	EASEMENT
	SPOT ELEVATION
	STRUCTURE AND/OR PAVEMENT REMOVAL
	SOIL BORING
	UTILITY LINE & FENCE REMOVAL
	MASS TREE REMOVAL
	TREE PROTECTION FENCE
	WETLAND
	SAWCUT
	FLOODPLAIN
	FARMED SEASONAL



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DEVELOPER
JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PFE PLAN RE-SUBMITTAL	ETL
25 JUL 2025	SKETCH PLAN RE-SUBMITTAL	ETL
29 JUL 2025	WATERSHED SUBMITTAL	ETL
29 JUL 2025	PFE PLAN RE-SUBMITTAL	ETL
18 AUG 2025	PFE PLAN RE-SUBMITTAL	ETL

OWNER
HOFFMA

C1.3	C1.1
C1.4	C1.2
C1.5	
C1.6	

CERTIFICATION
I hereby certify that the plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Enc 1: LULU PE
License No: 5005
Signature: [Signature]
Landform Professional Services, Inc.

PRELIMINARY
NOT FOR
CONSTRUCTION

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BY VOID AUTHORIZED. RESPONSIBILITY HAS NO UNDER A VARIOUS LICENSE. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025



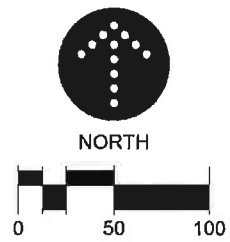
105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

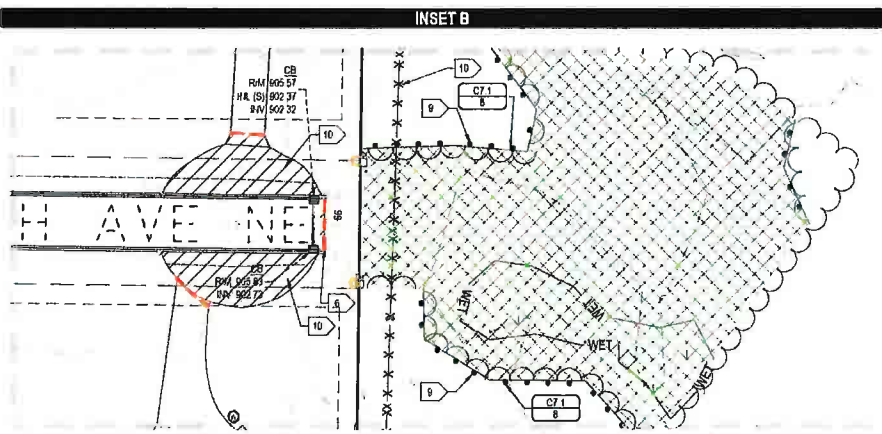
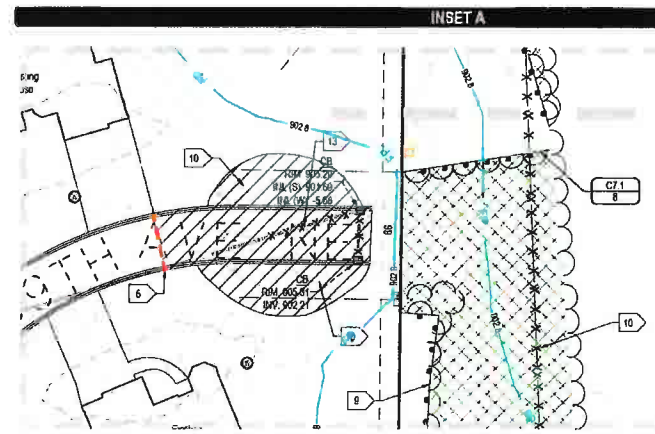
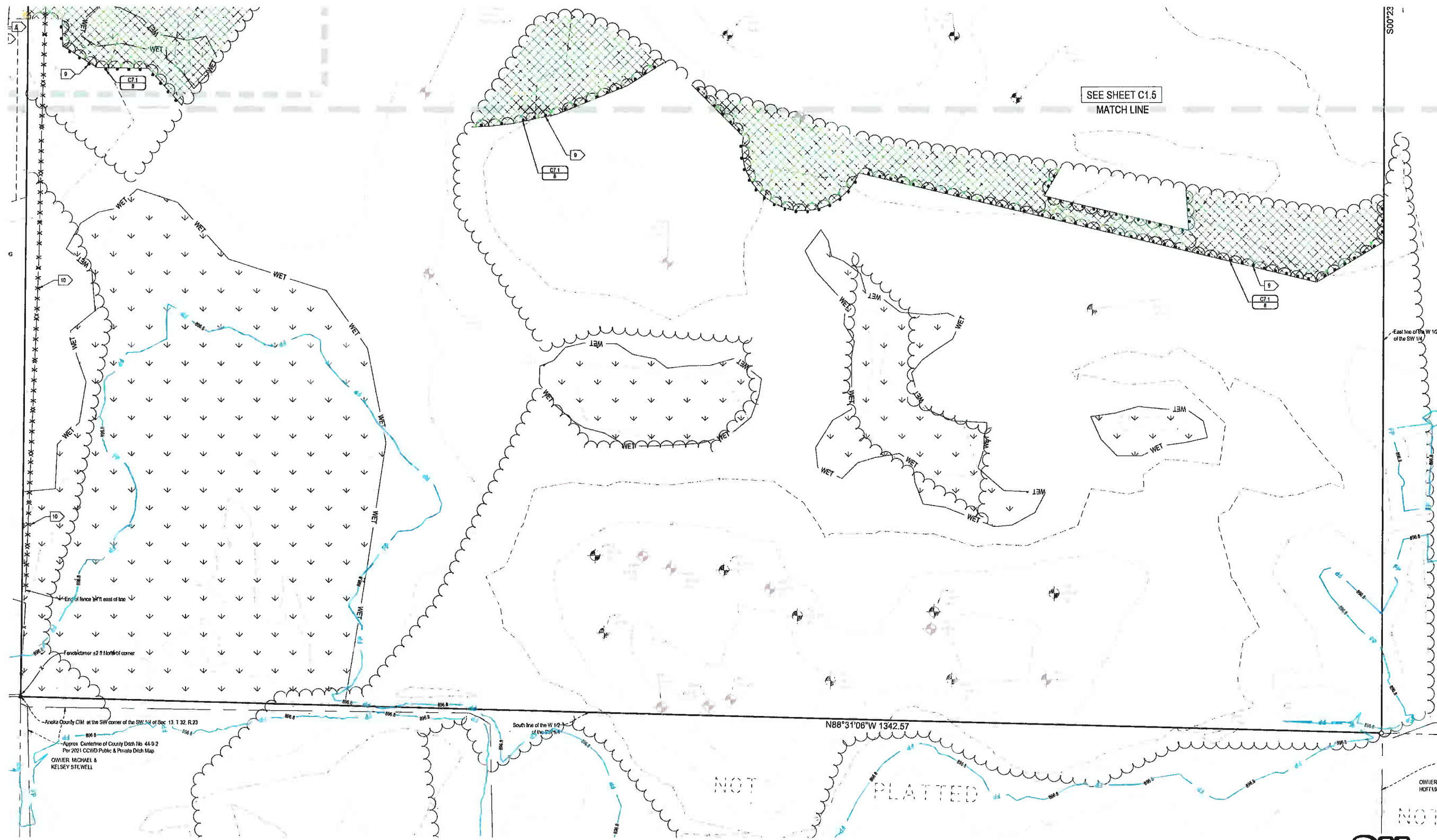
Tel: 612-252-9070
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Web: landform.net

FILE NAME: C100LDP010.DWG
PROJECT NO.: LDP24010

EXISTING CONDITIONS & DEMOLITION
INSET 5
C1.5

LEGEND	
EXISTING	EXISTING
STORM MANHOLE	STRUCTURE &/OR PAVEMENT REMOVAL
SANITARY MANHOLE	SOIL BORING
CATCH BASIN	UTILITY LINE & FENCE REMOVAL
FIRE HYDRANT	MASS TREE REMOVAL
WATER VALVE	TREE PROTECTION FENCE
FLARED END SECTION	WETLAND
STORM SEWER	SAWCUT
SANITARY SEWER	FLOODPLAIN
WATERMAIN	FARMED SEASONAL
WATER SERVICE	
EASEMENT	
SPOT ELEVATION	





LEGEND	
EXISTING	EXISTING
STORM MANHOLE	STRUCTURE &/OR PAVEMENT REMOVAL
SANITARY MANHOLE	SOIL BORING
CATCH BASIN	UTILITY LINE & FENCE REMOVAL
FIRE HYDRANT	MASS TREE REMOVAL
WATER VALVE	TREE PROTECTION FENCE
FLARED END SECTION	WETLAND
STORM SEWER	SAWCUT
SANITARY SEWER	FLOODPLAIN
WATERMAIN	FARMED SEASONAL WETLAND AREA
WATER SERVICE	
EASEMENT	
SPOT ELEVATION	



DEVELOPER
JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
CONTACT ENGINEER FOR ANY PRIOR HISTORY		
DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN RE-SUBMITTAL	ETL
23 JUL 2025	WETLANDS SUBMITTAL	ETL
26 JUL 2025	PRE PLAT RE-SUBMITTAL	ETL
18 AUG 2025	PRE PLAT RE-SUBMITTAL	ETL

C1.3	C1.1
C1.4	C1.2
C1.5	
C1.6	

CERTIFICATION
I hereby certify that the plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Enc 1: LUL, PE
License No.: 50415
Date: 08/18/2025
Signature shown is a copy of the original signature of the engineer who prepared this plan. The original signature must be attached to the plan for the plan to be valid.

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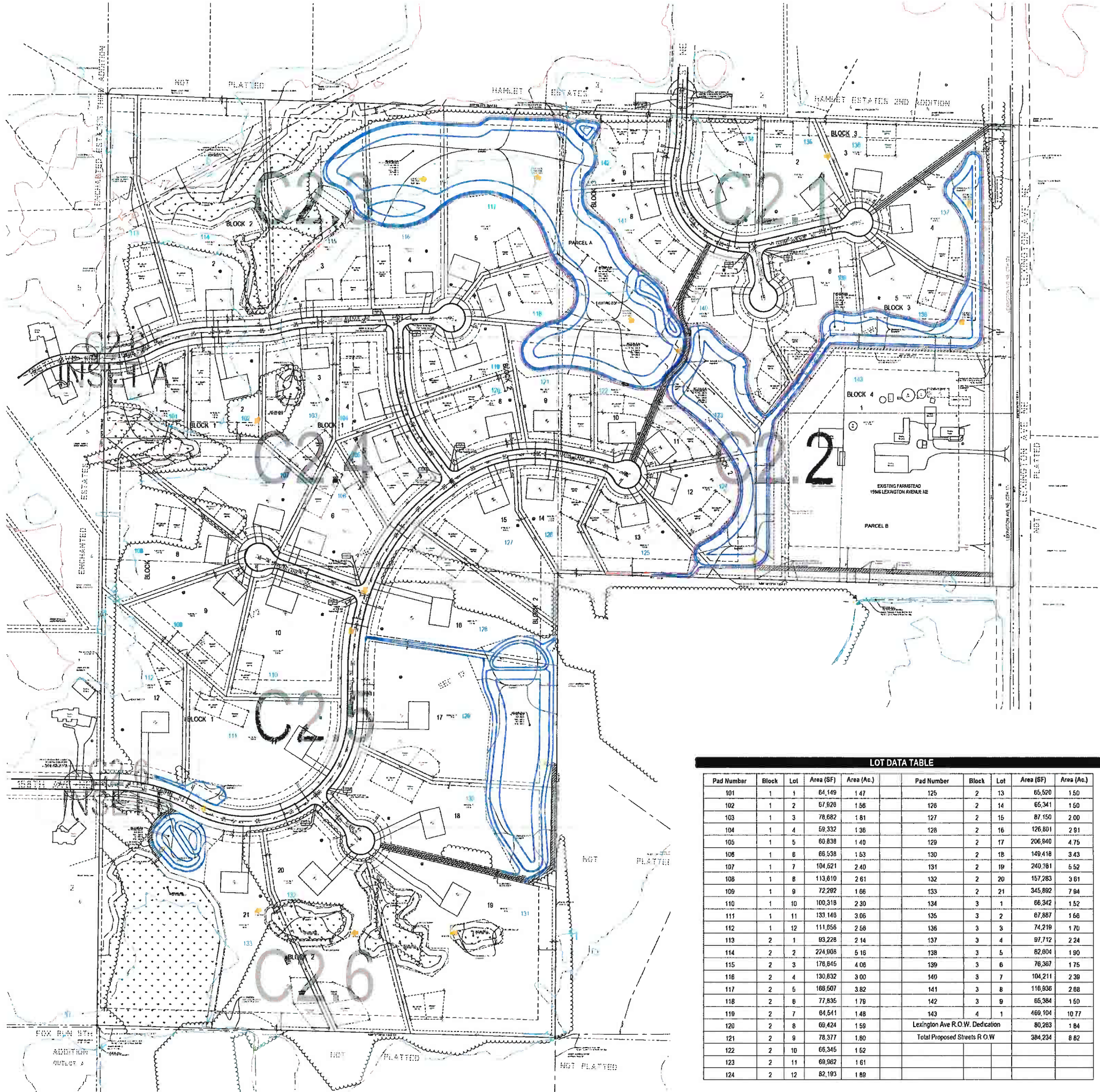
PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

LANDFORM
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C100LDP010.DWG
PROJECT NO.: LDP24010

EXISTING CONDITIONS & DEMOLITION
INSET 6
C1.6



LOT DATA TABLE									
Pad Number	Block	Lot	Area (SF)	Area (Ac.)	Pad Number	Block	Lot	Area (SF)	Area (Ac.)
101	1	1	64,149	1.47	125	2	13	65,520	1.50
102	1	2	57,826	1.36	126	2	14	65,341	1.50
103	1	3	78,682	1.81	127	2	15	87,150	2.00
104	1	4	58,332	1.36	128	2	16	126,801	2.91
105	1	5	60,838	1.40	129	2	17	206,840	4.75
106	1	6	66,538	1.53	130	2	18	149,418	3.43
107	1	7	104,621	2.40	131	2	19	240,381	5.52
108	1	8	113,810	2.61	132	2	20	157,283	3.61
109	1	9	72,282	1.66	133	2	21	345,892	7.94
110	1	10	100,318	2.30	134	3	1	66,342	1.52
111	1	11	133,146	3.06	135	3	2	67,887	1.56
112	1	12	111,856	2.58	136	3	3	74,219	1.70
113	2	1	83,228	2.14	137	3	4	97,712	2.24
114	2	2	224,908	5.16	138	3	5	82,804	1.90
115	2	3	176,845	4.06	139	3	6	76,387	1.75
116	2	4	130,832	3.00	140	3	7	104,211	2.39
117	2	5	168,507	3.82	141	3	8	116,936	2.68
118	2	6	77,835	1.79	142	3	9	66,384	1.50
119	2	7	64,541	1.48	143	4	1	469,104	10.77
120	2	8	69,424	1.59	Lexington Ave R.O.W. Dedication		80,283	1.84	
121	2	9	78,377	1.80	Total Proposed Streets R.O.W.		384,234	8.82	
122	2	10	66,345	1.52					
123	2	11	69,962	1.61					
124	2	12	82,193	1.88					

GENERAL NOTES

- For construction staking and surveying services contact Landform at 612-252-9070

SITE PLAN NOTES

- Obtain all necessary permits for construction within or use of public right-of-way
- The digital file, which can be obtained from the Engineer, shall be used for staking. Discrepancies between the drawings and the digital file shall be reported to the Engineer. The building footprint, as shown on these drawings, and the digital file, shall be compared to the structural drawings prior to staking
- Building layout angles are parallel with or perpendicular to the property line at the location indicated
- Dimensions shown are to back of curb unless noted otherwise
- Home sites shown are conceptual only. Houses may be built in custom location approved by the City

LEGAL DESCRIPTION

PARCEL A
The Northeast Quarter of the Southwest Quarter of Section 13, Township 32, Range 23, Anoka County, Minnesota, EXCEPT the South 667 feet of the East 670 feet thereof
AND
The West Half of the Southwest Quarter of Section 13, Township 32, Range 23, West, according to the United States Government thereof, Anoka County, Minnesota
PARCEL B
The South 667 feet of the East 670 feet of the Northeast Quarter of the Southwest Quarter of Section 13, Township 32, Range 23, Anoka County, Minnesota

BENCHMARK

Project Benchmark
Name: Anoka County Benchmark (to 2005)
Location: Second Order Benchmark set in ground in a covered tube. Benchmark is approximately 35 feet west of the centerline of C.S.A. 11 to 17 and 40 feet north of the centerline of 155th Avenue NE
Elevation = 805.73 (NAVD 88)

Site Benchmark
Type: Nail in Southeast of 18 m oak
Location = +/- 50 ft. West of Hupp St NE along North line
Elevation = 805.47 (NAVD 88)

ZONING AND SETBACK SUMMARY

The Property is Zoned: R-A Zone (Residential Rural Single Family)
Proposed Zoning: Single Family Residential (R-1) limited to blocks 1, 2 & 3

Adjacent Properties Zoning
North: R-1 Residential Single Family
South: R-A Residential Rural Single Family
East: R.O.W. (R-A Residential Rural Single Family)
West: R-1 Residential Single Family

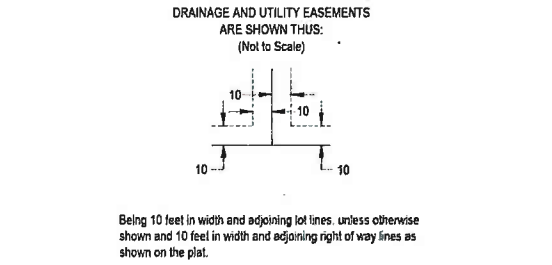
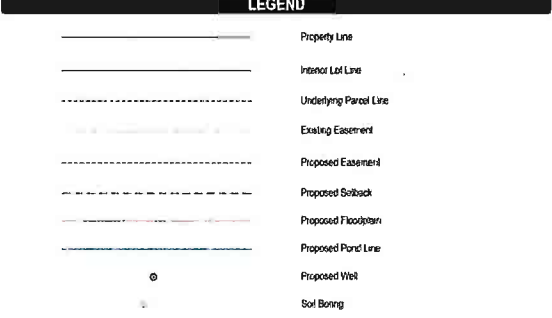
Building Setback Information is as follows
Front Yard = 30 ft
Rear Yard = 50 ft
Side Yard (Interior) = 10 ft
Side Yard (Corner) = 30 ft

Lot Coverage Information is as follows
Lot Area Minimum = 43,569 s.f. = 1.0 ac
Lot Width Minimum = 200 ft
Lot Width Minimum (cul-de-sac) = 60 ft

Right-of-way Width = 66 ft
Wayland Buffer Width = 16.5 ft

Total Site Area = 5,372,831 s.f. = 124.34 ac
Wayland & Floodplain Area = 659,166 s.f. = 22.02 ac
Net Developable Site Area = 4,413,665 s.f. = 101.32 ac

AREA SUMMARY				
Existing				
Permeous	5,371,775	s.f.	123.32	ac
Impermeous	1,056	s.f.	0.02	ac
Total	5,372,831	s.f.	123.34	ac
Proposed				
Permeous	4,932,439	s.f.	113.23	ac
Impermeous	440,392	s.f.	10.11	ac
Total	5,372,831	s.f.	123.34	ac



811
Know what's Below.
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NORTH

0 150 300

DEVELOPER
JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
CONTACT ENGINEER FOR ANY PROJECT HISTORY		
DATE	ISSUE / REVISION	REVIEW
10.01.2024	PRE-PLAN SUBMITTAL	ETL
22.01.2025	SKETCH PLAN SUBMITTAL	ETL
23.01.2025	WATERSHED SUBMITTAL	ETL
25.01.2025	PRE-PLAN SUBMITTAL	ETL
18.01.2025	PRE-PLAN SUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

ENC 1: LHM, PE
License No.: 56075
PRELIMINARY NOT FOR CONSTRUCTION

Signature of Engineer: [Signature]
Landform Professional Services, Inc. is a subsidiary of Landform.

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

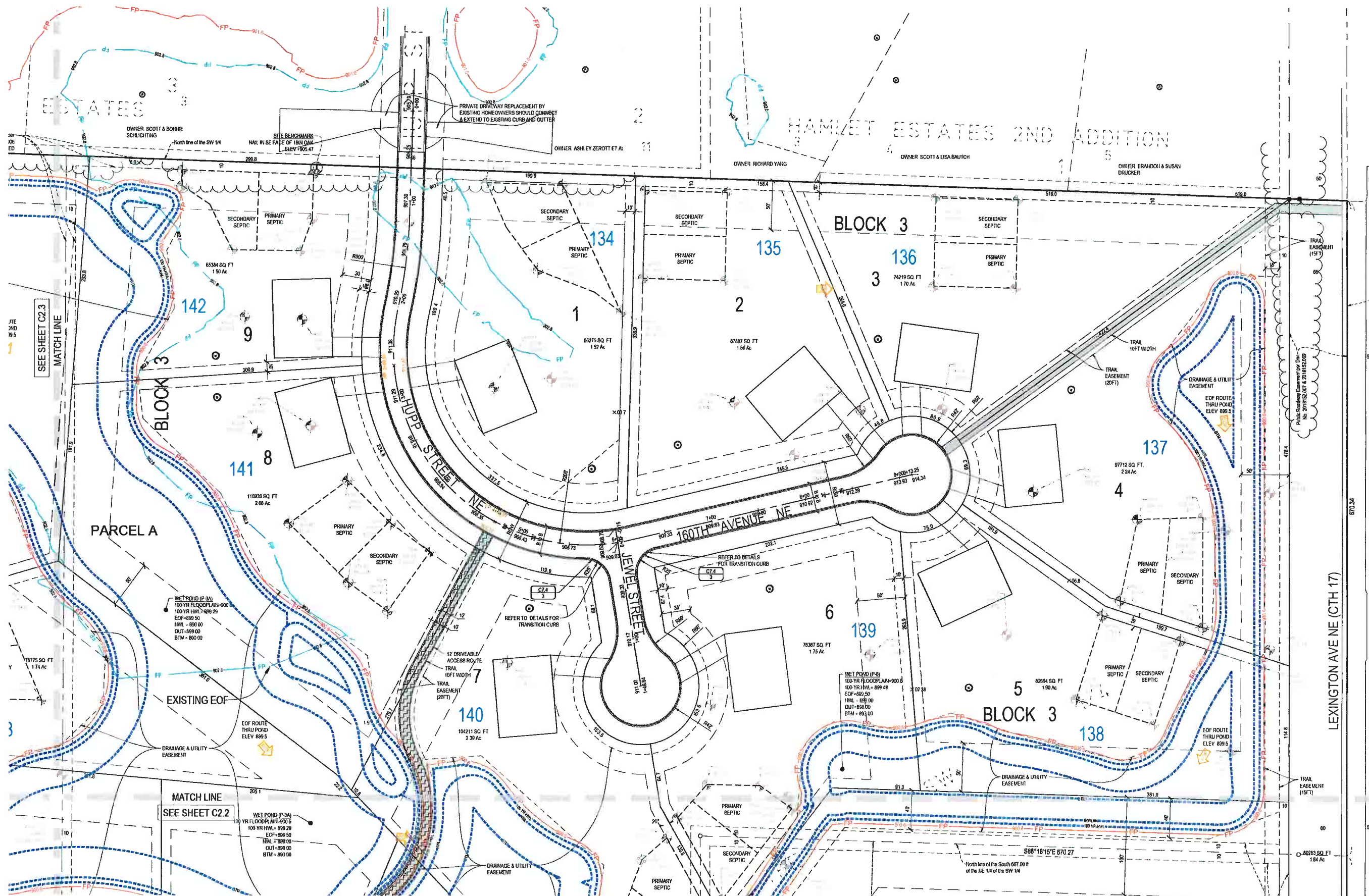
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From Site to Finish

105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME: C200LDP010.DWG
PROJECT NO.: LDP24010

PRELIMINARY PLAT & SITE PLAN INDEX & NOTES
C2.0



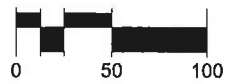
LEGEND

	PROPERTY LINE
	INTERIOR LOT LINE
	UNDERLYING PARCEL LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED SETBACK
	WETLAND LINE
	EXISTING FLOODPLAIN
	PROPOSED FLOODPLAIN
	PROPOSED POND LINE
	PROPOSED WELL

SOIL BORING



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PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY			
DATE	ISSUE / REVISION	BY	REVIEW
10 JUL 2025	PRE-PLAT SUBMITTAL	ETL	ETL
22 JUL 2025	SKETCH PLAN PRE-SUBMITTAL	ETL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL	ETL
24 JUL 2025	PRE-PLAT PRE-SUBMITTAL	ETL	ETL
18 AUG 2025	PRE-PLAT PRE-SUBMITTAL	ETL	ETL

C2.3	C2.1
C2.4	C2.2
C2.5	
C2.6	

CERTIFICATION
I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Eric T. Lutz, PE
License No. 55015
Signature of Professional Engineer
Landform Professional Services, Inc. is a duly Licensed Professional Engineering Firm

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PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025



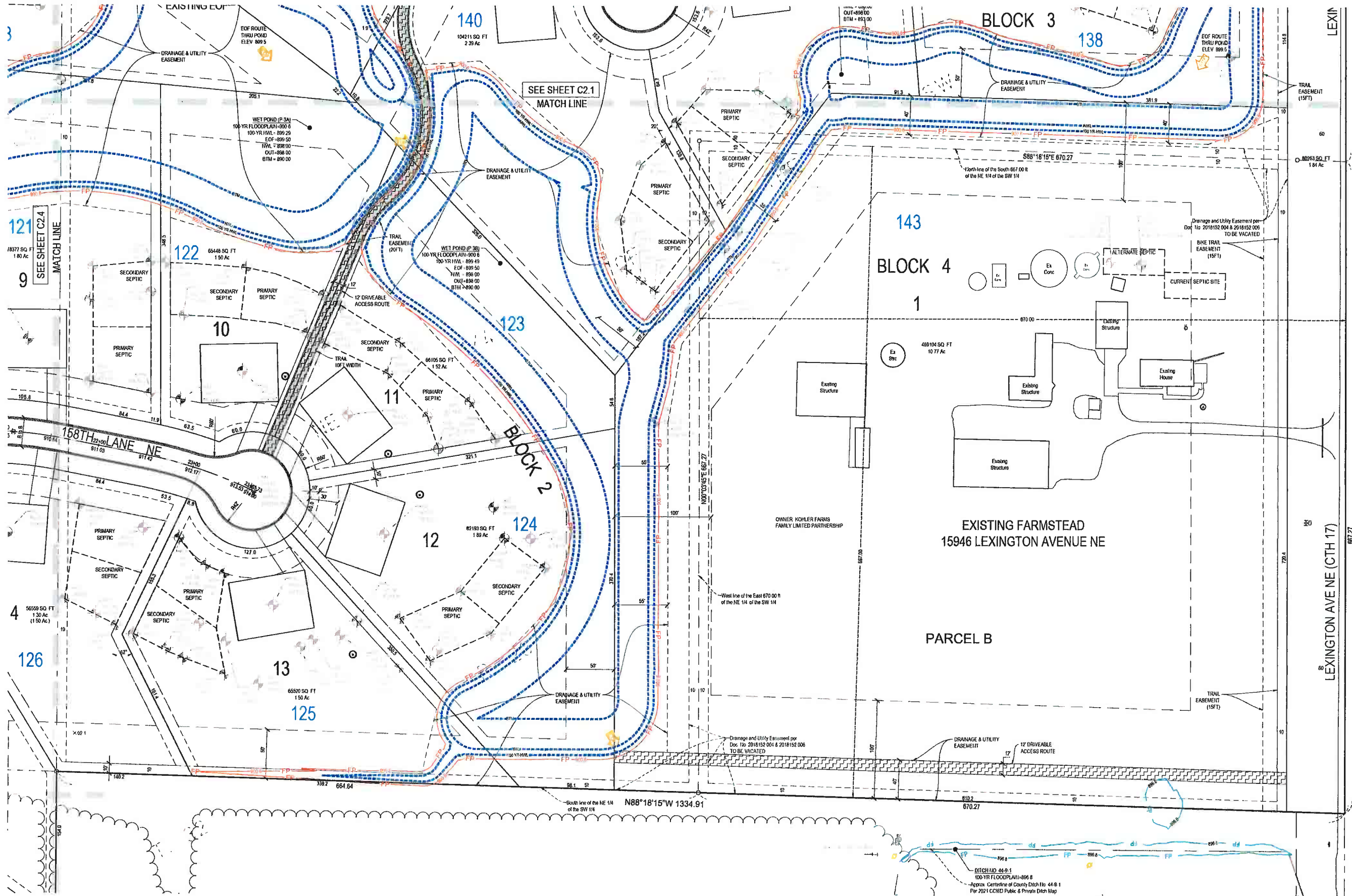
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FILE NAME: C200LDP010.DWG
PROJECT NO.: LDP24010

PRELIMINARY PLAT & SITE PLAN INSET

C2.1



LEGEND

---	PROPERTY LINE
---	INTERIOR LOT LINE
---	UNDERLYING PARCEL LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
---	PROPOSED SETBACK
---	WETLAND LINE
---	EXISTING FLOODPLAIN
---	PROPOSED FLOODPLAIN
---	PROPOSED POND LINE
---	PROPOSED WELL

WET

FP

FP

SOIL BORING

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PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN RE-SUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
26 JUL 2025	PRE PLAT RE-SUBMITTAL	ETL
18 AUG 2025	PRE PLAT RE-SUBMITTAL	ETL

C2.3	C2.1
C2.4	C2.2
C2.5	
C2.6	

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PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

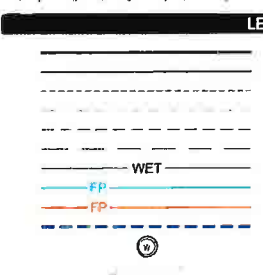
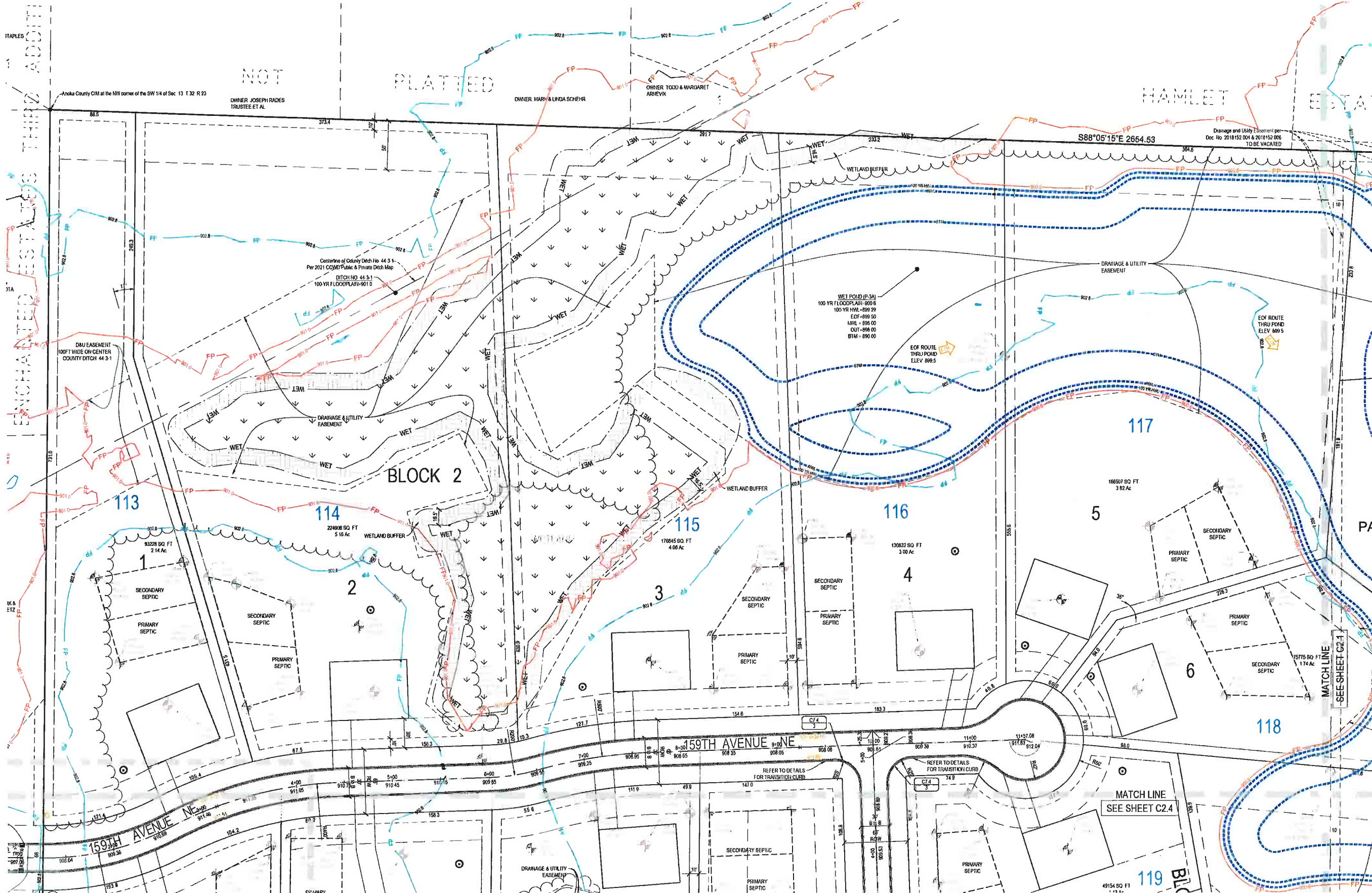
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FILE NAME: C200LDP010.DWG
PROJECT NO: LDP24010

PRELIMINARY PLAT & SITE PLAN INSET
2
C2.2



DEVELOPER
JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070
CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
20 JUL 2025	SKETCH PLAN RE SUBMITTAL	ETL
20 JUL 2025	WATERWORKS SUBMITTAL	ETL
20 JUL 2025	PRE PLAT RE SUBMITTAL	ETL
19 JUL 2025	PRE PLAT RE SUBMITTAL	ETL

C2.3	C2.1
C2.4	C2.2
C2.5	
C2.6	

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PRELIMINARY
NOT FOR
CONSTRUCTION

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

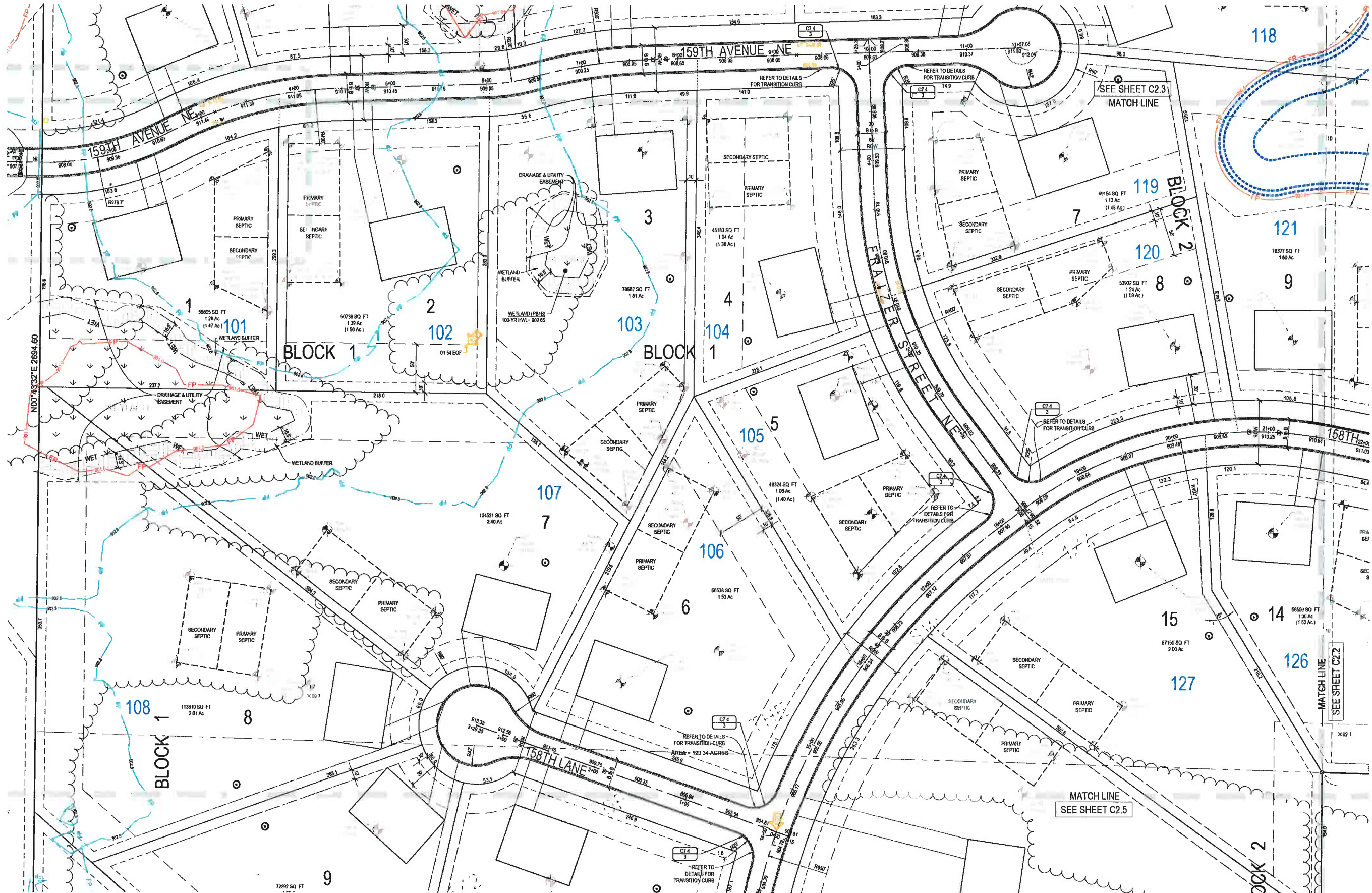


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Fax: 612-252-9077
Web: landform.net

FILE NAME: C200LDP010.DWG
PROJECT NO.: LDP24010

PRELIMINARY PLAT & SITE PLAN INSET

C2.3



LEGEND

- PROPERTY LINE
- INTERIOR LOT LINE
- UNDERLYING PARCEL LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- PROPOSED SETBACK
- WETLAND LINE
- EXISTING FLOODPLAIN
- PROPOSED FLOODPLAIN
- PROPOSED POUD LINE
- SOIL BORING



DEVELOPER
JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
CONTRACT ENGINEER FOR ANY PRIOR HISTORY		
DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PFE PLAT SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN RE SUBMITTAL	ETL
23 JUL 2025	UNIFIED SUBMITTAL	ETL
26 JUL 2025	PFE PLAT RE SUBMITTAL	ETL
18 AUG 2025	PFE PLAT RE SUBMITTAL	ETL

C2.3	C2.1
C2.4	C2.2
C2.5	
C2.6	

CERTIFICATION

I hereby certify that the plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Eric T. Lutz, PE
License No. 50415
Professional Seal
Signature shown is a digital reproduction of the original signature of the Engineer or Licensed Professional Engineer. The Engineer or Licensed Professional Engineer is responsible for the accuracy of the information provided in this document.

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PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025



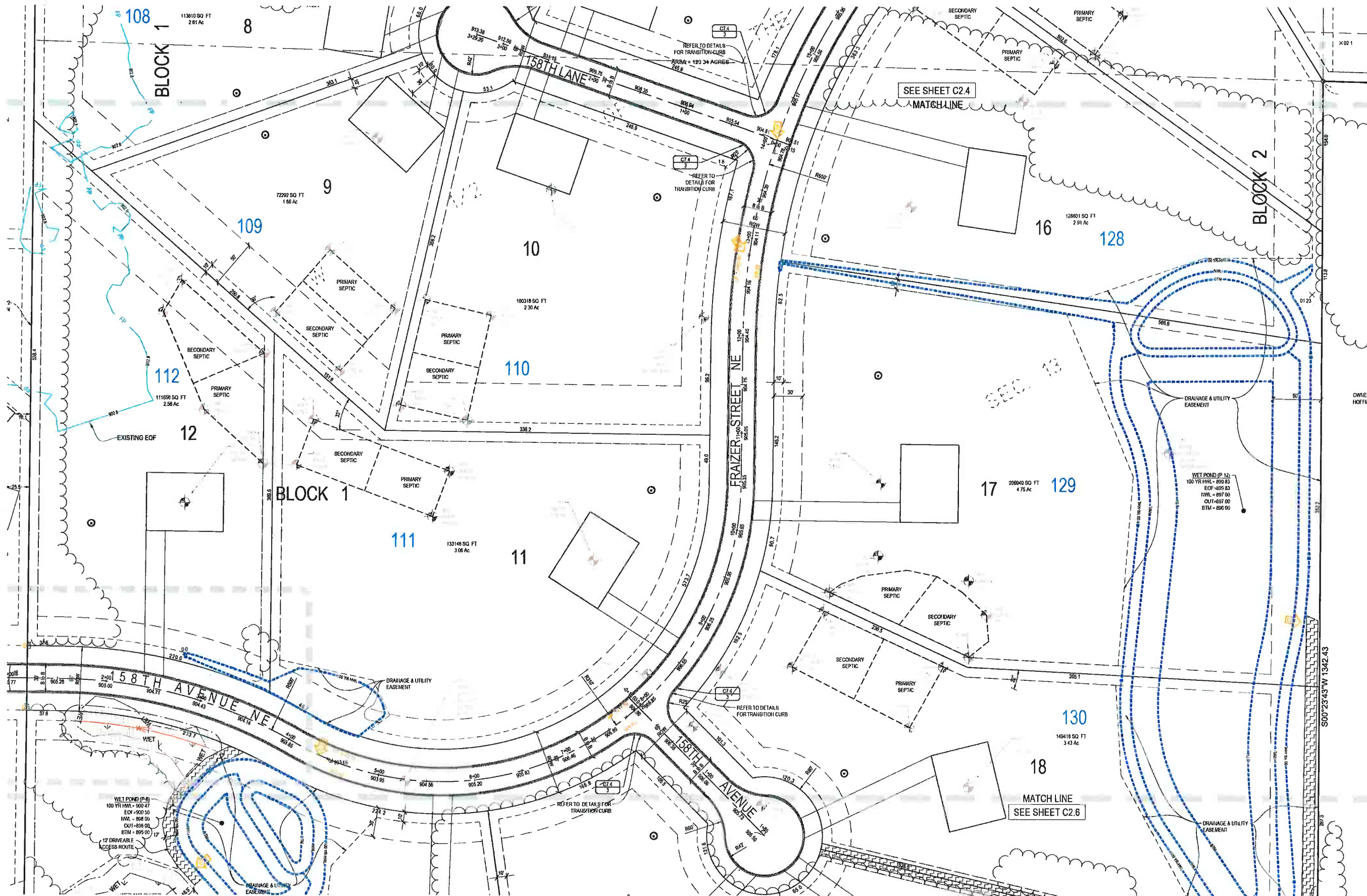
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FILE NAME: C200LDP010.DWG
PROJECT NO.: LDP24010

PRELIMINARY PLAT & SITE PLAN INSET

C2.4



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MINNEAPOLIS, MN 55401
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CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
CONTACT ENGINEER FOR ANY PRIOR HISTORY		
DATE	ISSUE / REVISION	REVIEW
10.03.2026	PRIE PLAT SUBMITTAL	ETL
25.03.2026	SKETCH PLAN RE SUBMITTAL	ETL
23.04.2026	UNIFIED SUBMITTAL	ETL
26.05.2026	PRIE PLAT RE SUBMITTAL	ETL
18.06.2026	PRIE PLAT RE SUBMITTAL	ETL

OWNER
HOFFMAN

C2.3	C2.1
C2.4	C2.2
C2.5	
C2.6	

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PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025



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Minneapolis, MN 55401 Web: landform.net

FILE NAME: C200LDP010.DWG

PROJECT NO.: LDP24010

PRELIMINARY PLAT & SITE PLAN INSET
5

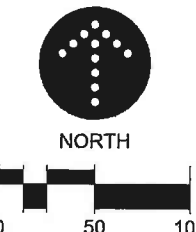
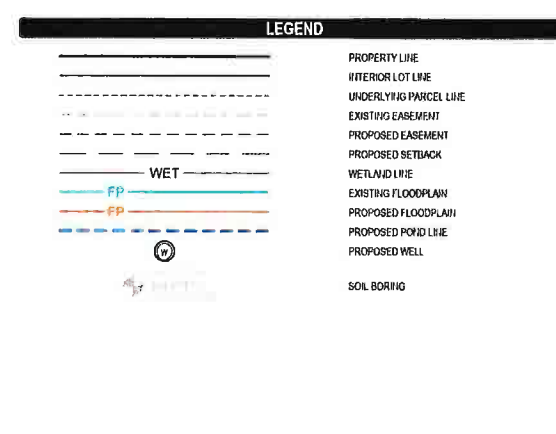
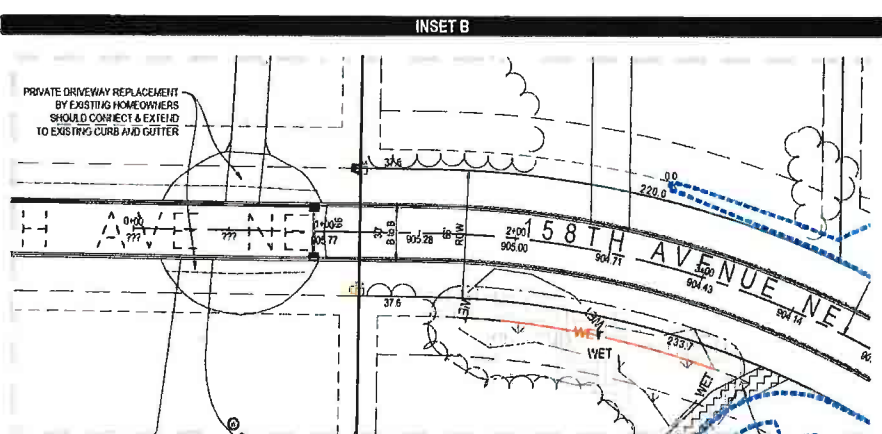
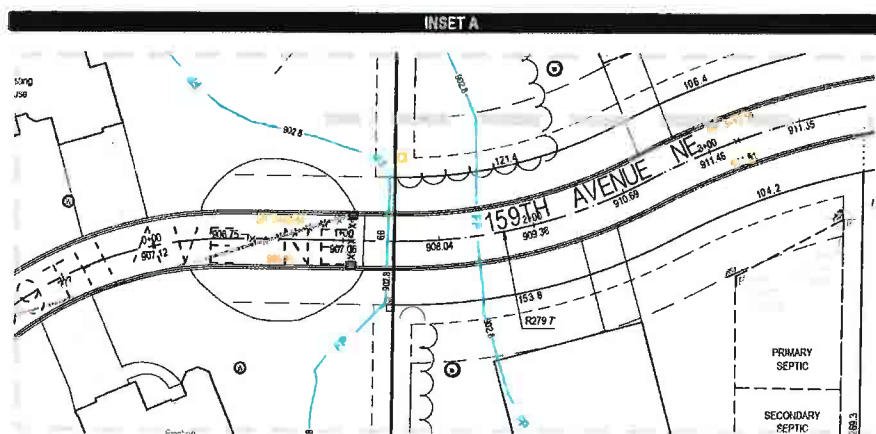
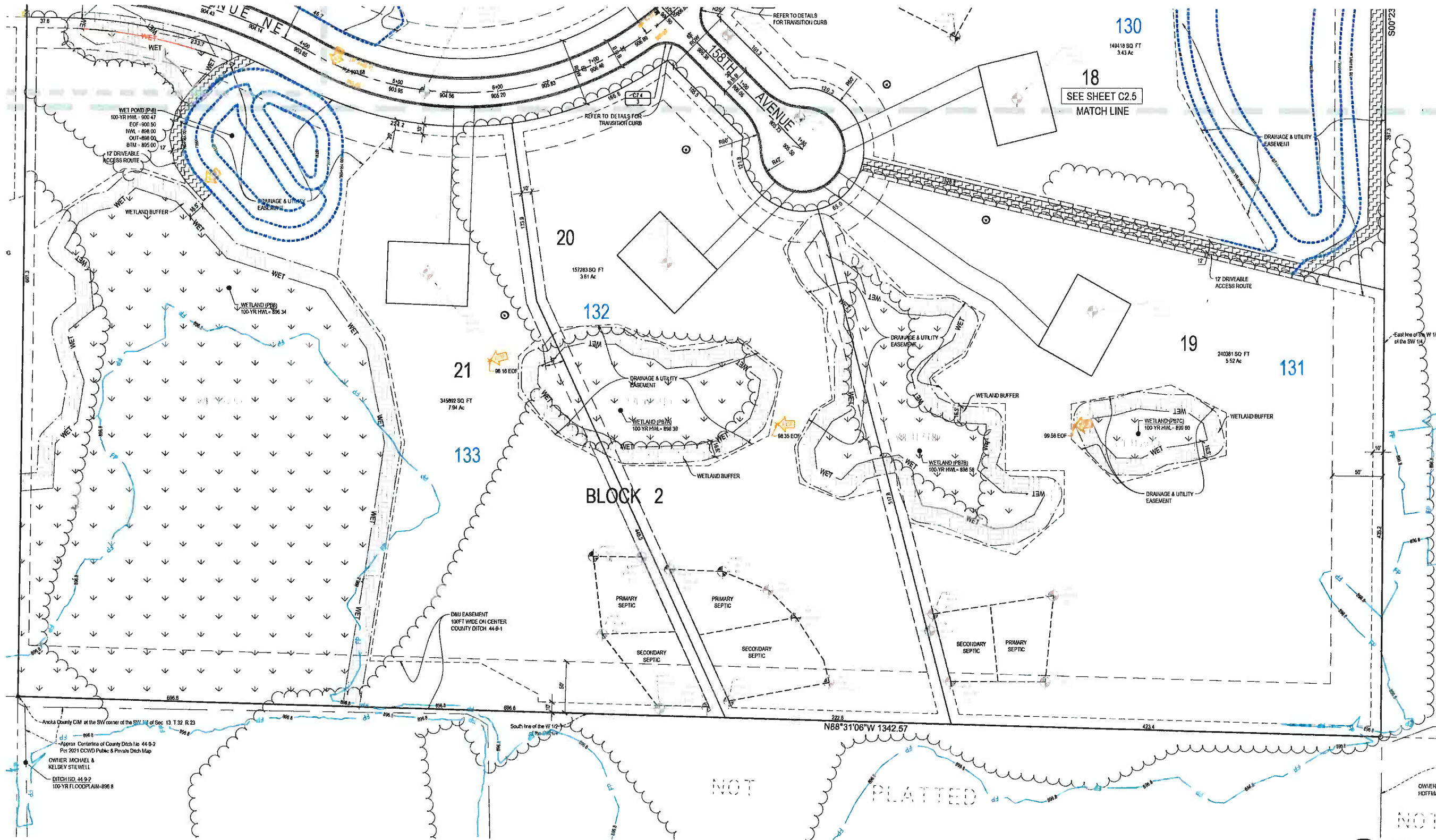
C2.5

LEGEND	
	PROPERTY LINE
	INTERIOR LOT LINE
	UNDERLYING PARCEL LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED SETBACK
	WETLAND LINE
	EXISTING FLOODPLAIN
	PROPOSED FLOODPLAIN
	PROPOSED POND LINE
	PROPOSED WELL
	SOL. BORING



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DEVELOPER
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SUITE 513
MINNEAPOLIS, MN 55401
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CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
CONTACT ENGINEER FOR ANY FURTHER HISTORY		
DATE	ISSUE / REVISION	REVIEW
10.23.2025	PRE PLAT SUBMITTAL	ETL
22.07.2025	SKETCH PLAN RE-SUBMITTAL	ETL
23.07.2025	UNWATERED SUBMITTAL	ETL
26.08.2025	PRE PLAT RE-SUBMITTAL	ETL
18.09.2025	PRE PLAT RE-SUBMITTAL	ETL

C2.3	C2.1
C2.4	C2.2
C2.5	
C2.6	

CERTIFICATION

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PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

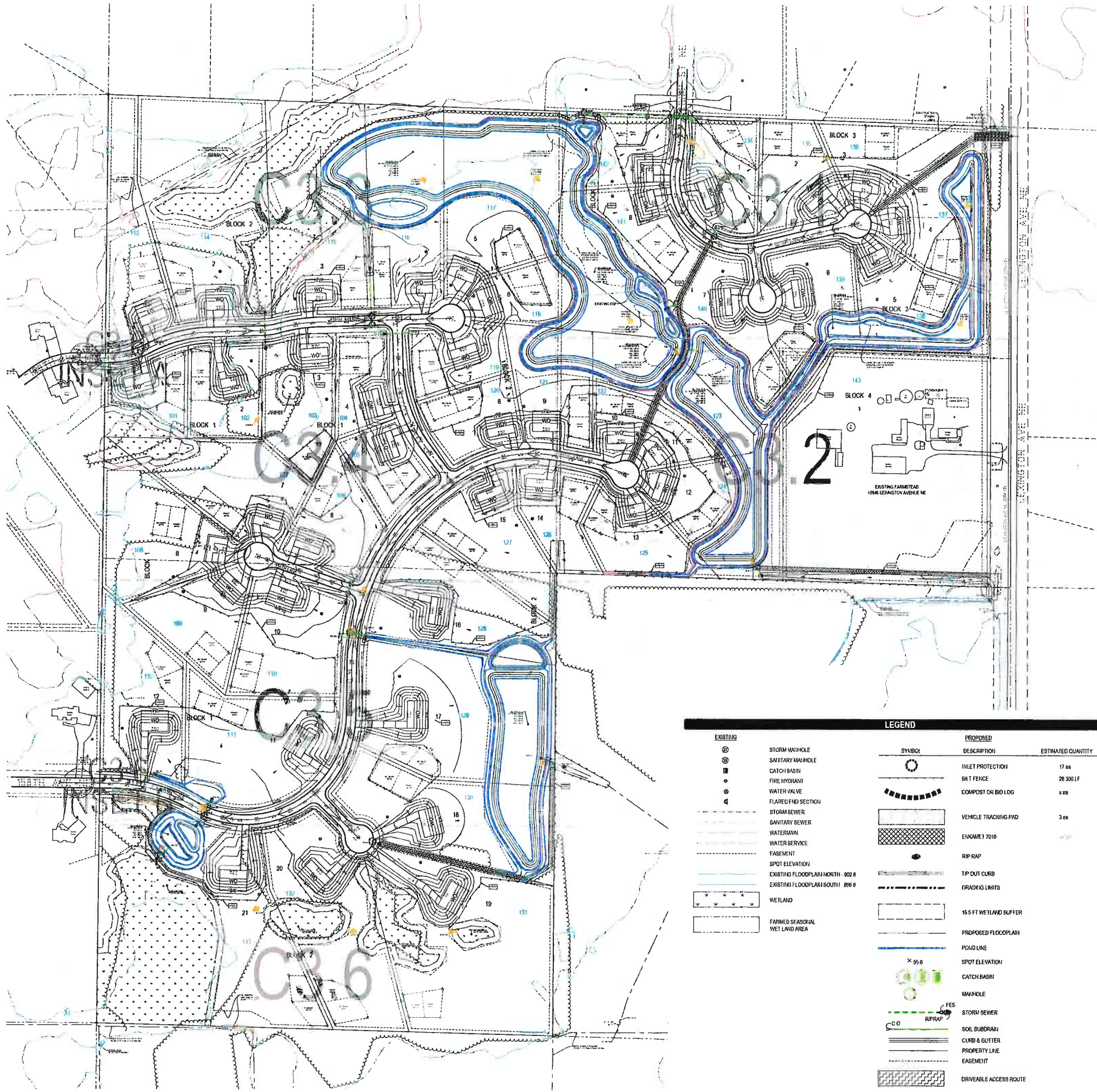
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FILE NAME: C200LDP010.DWG
PROJECT NO.: LDP24010

PRELIMINARY PLAT & SITE PLAN INSET
C2.6



LEGEND		
EXISTING	PROPOSED	ESTIMATED QUANTITY
	INLET PROTECTION	17 ea
	BLT FENCE	26 300 LF
	COMPOST ON BIO LOG	x ea
	VEHICLE TRACKING PAD	3 ea
	ENHANCEMENT 7010	x ea
	RIP RAP	
	TP OUT CURB	
	GRADING LIGHTS	
	16.5 FT WETLAND BUFFER	
	PROPOSED FLOODPLAIN	
	POUND LINE	
	SPOT ELEVATION	
	CATCH BASIN	
	MANHOLE	
	STORM SEWER	
	SOIL SUBDRAIN	
	CURB & GUTTER	
	PROPERTY LINE	
	EASEMENT	
	DRIVEABLE ACCESS ROUTE	

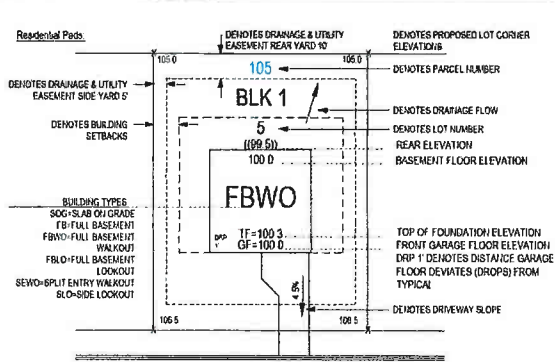
GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.
- Contact utility service providers for field location of services 72 hours prior to beginning grading.
- Background information shown is from survey by Landform, Minneapolis, MN, on April 5, 2025, expressly for this project. City of Ham Lake, MN record drawings, and utility service providers. Landform offers no warranty expressed or written for information provided by others. Existing project conditions shall be verified prior to beginning construction. Errors, inaccuracies, or omissions discovered shall be reported to the Engineer IMMEDIATELY.
- Remove topsoil from grading areas and stockpile sufficient quantity for reuse. Materials may be mined from landscape areas for use on site and replaced with excess organic material with prior Owner approval.
- Remove surface and ground water from excavations. Provide initial lifts of stable foundation material if exposed soils are wet and unstable.
- Refer to the Geotechnical Report prepared by Braun Interier, dated July 9, 2025, for additional information on backfill material and groundwater conditions.
- Refer to Structural Specifications for earthwork requirements for building pads.
- An Independent Testing Firm shall verify the removal of organic and unstable soils, soil correction, and compaction and provide periodic reports to the Owner.
- Remove topsoil from grading areas and stockpile sufficient quantity for reuse. No organic material shall be placed in the Right of Way or Drainage & Utility Easement along the roadway. In location of potential building pads consider using as topsoil material, if suitable. Areas of mining require approval by the City prior to excavation.
- Place and compact fill using lift thicknesses matched to soil type and compaction equipment to obtain specified compaction throughout the lift.
- Compact cohesive soils in paved areas to 95% of maximum dry density. Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. Compact to 98% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 90% of Modified Proctor Density (ASTM D1557).
- Avoid soil compaction of infiltration practices. Any equipment used in infiltration areas should be small scaled and tracked.
- Provide site stabilization, including for stockpiles in accordance to SWPPP requirements. Refer to sheet, C3.7.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- Install perimeter sediment controls prior to beginning work and maintain for duration of construction. Remove controls after areas contributing runoff are permanently stabilized and dispose of off site.
 - Install silt protection. Winco HD or CG models as appropriate, or approved equal. Maintain protection until project is stabilized.
 - Limit soil disturbance to the grading limits shown. Schedule operations to minimize length of exposure of disturbed areas.
 - Management practices shown are the minimum requirement. Install and maintain additional controls as work proceeds to prevent erosion and control sediment carried by wind or water.
 - Refer to SWPPP Notes on Sheet C3.7 for additional requirements.
 - Excavate ponds early in the construction sequence. Remove sediment from ponds periodically and after areas contributing runoff are permanently stabilized.
 - Contractor shall prevent sediment laden water from entering the reserved system until the site is completely stabilized.
 - Stabilization must be started immediately to limit soil erosion when the construction activity in that portion of the site has temporarily or permanently ceased and will not resume for 14 calendar days.
 - Seed, Sod, Mulch, Erosion Control Blanket, and Fertilizer shall meet the following Specifications, as modified. Seeded areas without erosion control blanket shall be disc mulched.
- | EROSION CONTROL QUANTITIES | | Estimated Quantities |
|----------------------------|--|----------------------|
| Item | Specification Number | |
| Seed | MNDOT 3676 | |
| | MH Type 21-112 @ 100 lb./ac. - Temporary Erosion Control, May 1 - Jul 31 | xx lbs |
| | MH Type 21-112 @ 100 lb./ac. - Temporary Erosion Control, Aug 1 - Oct 31 | xx lbs |
| Mulch | MNDOT 3882 (MNDOT Type 1 @ 2 ton/ac. Disc Anchored) | xx sq y |
| E.C. Blanket | MNDOT 3885 (MNDOT Type 317) | xx sq y |
| General Placement | MNDOT 3575 | xx sq y |
- See Landscape Sheets for permanent turf and landscape establishment.
 - Scrape adjacent streets clean daily and sweep clean weekly.

KEY



NOTES
1 GARAGE LOCATION INDICATED BY DRIVEWAY

TYPICAL LOT DETAIL

NO SCALE

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NORTH

0 150 300

DEVELOPER
JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

ISSUE / REVISION HISTORY			
DATE	ISSUE / REVISION	REVIEW	
10 JUL 2025	PRE-PLAY SUBMITTAL	ETL	
25 JUL 2025	SKETCH PLAN RE-SUBMITTAL	ETL	
25 JUL 2025	WATERWORKS SUBMITTAL	ETL	
26 JUL 2025	PRE-PLAY RE-SUBMITTAL	ETL	
18 AUG 2025	PRE-PLAY RE-SUBMITTAL	ETL	

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Ex: 1, Luth, PE
License No. 50433

Signature of Professional Engineer
Landform Professional Services, Inc. is a registered professional engineering firm.

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PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

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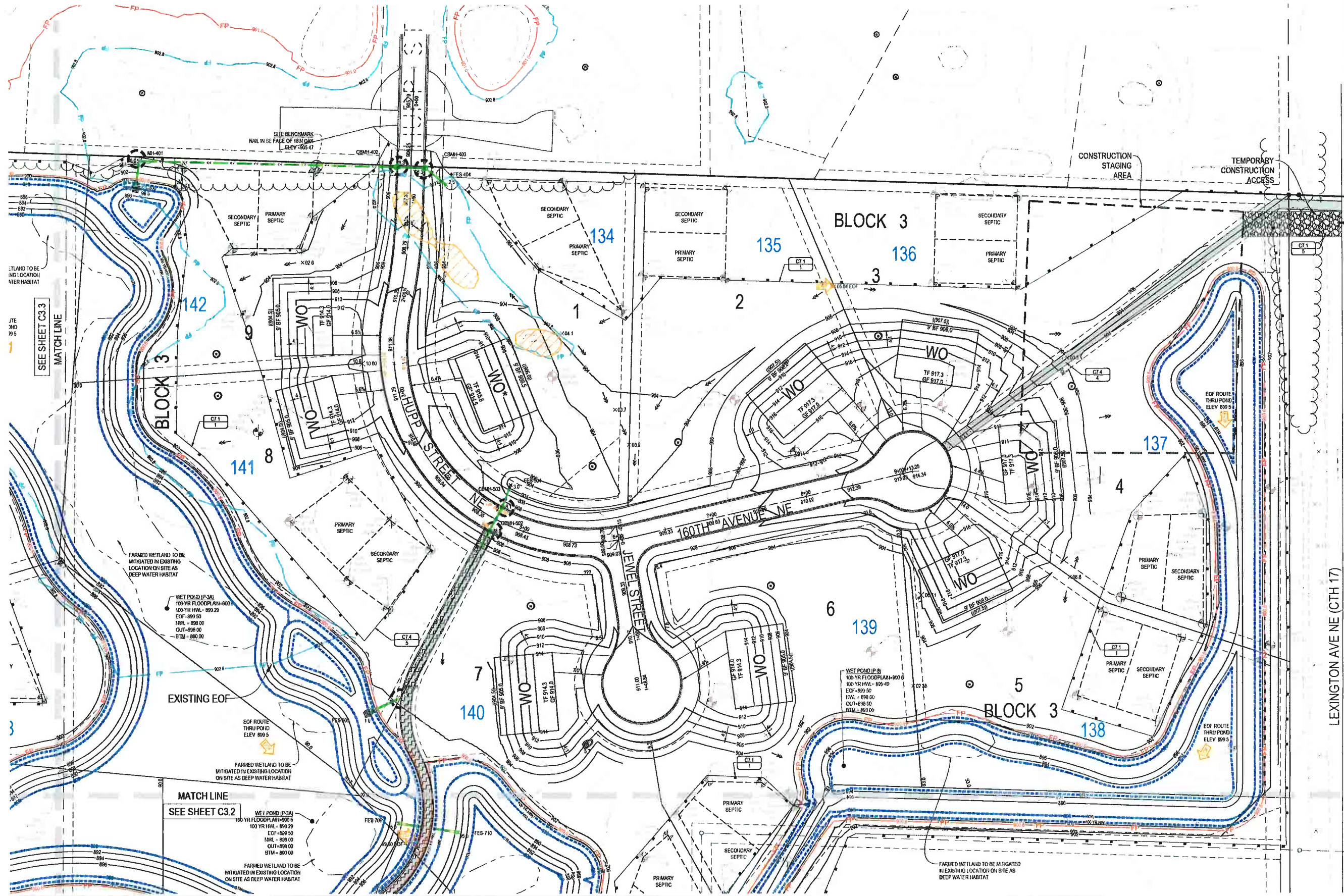
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FILE NAME: C300LDP010.DWG

PROJECT NO.: LDP24010

GRADING, DRAINAGE, EROSION
CONTROL & STORM SEWER INDEX

C3.0



DEVELOPER
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SUITE 513
MINNEAPOLIS, MN 55401
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CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE-PLAT SUBMITTAL	ETL
22 JUL 2025	SWITCH PLAN RE-SUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
24 JUL 2025	PRE-PLAT RE-SUBMITTAL	ETL
18 AUG 2025	PRE-PLAT RE-SUBMITTAL	ETL

C3.3	C3.1
C3.4	C3.2
C3.5	
C3.6	

CERTIFICATION

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CONSTRUCTION

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PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025



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Minneapolis, MN 55401

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Fax: 612-252-9077
Web: landform.net

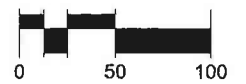
FILE NAME: C300LDP010.DWG
PROJECT NO.: LDP24010

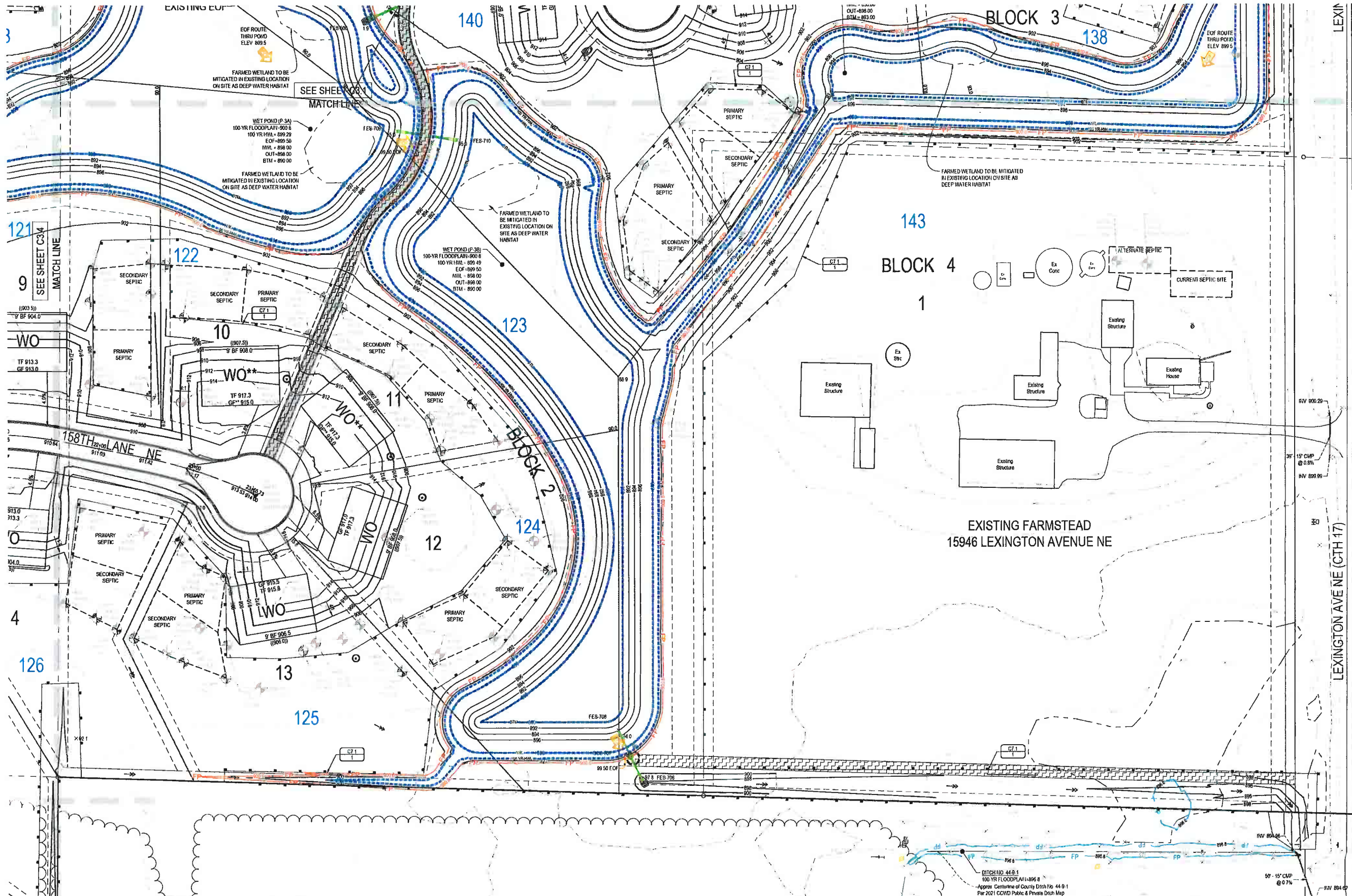
GRADING, DRAINAGE, EROSION
CONTROL & STORM SEWER INSET 1

C3.1



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HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY			
DATE	ISSUE / REVISION	BY	REVIEW
10 JUL 2025	PRE-PLAT SUBMITTAL	ETL	ETL
22 JUL 2025	SKETCH PLAN RE-SUBMITTAL	ETL	ETL
29 JUL 2025	WATERSHED SUBMITTAL	ETL	ETL
29 JUL 2025	PRE-PLAT RE-SUBMITTAL	ETL	ETL
18 AUG 2025	PRE-PLAT RE-SUBMITTAL	ETL	ETL

C3.3	C3.1
C3.4	C3.2
C3.5	
C3.6	

CERTIFICATION
I hereby certify that the plans prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Enc 1 LUP PE
License No. 55413
Signature of Engineer
Landform Professional Services, LLC
105 South Fifth Avenue, Suite 513, Minneapolis, MN 55401
Tel: (612) 252-9070
Fax: (612) 252-9077
Web: landform.net

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025



105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME: C300LDP010.DWG
PROJECT NO.: LDP24010

GRADING, DRAINAGE, EROSION
CONTROL & STORM SEWER INSET 2

C3.2

LEGEND			
EXISTING	EXISTING	PROPOSED	PROPOSED
	STORM MANHOLE		INLET PROTECTION
	SANITARY MANHOLE		SILTY FENCE
	CATCH BASIN		COMPOST OR BIO LOG
	FIRE HYDRANT		VEHICLE TRACKING PAD
	WATER VALVE		ERIQAMET 7010
	FLARED END SECTION		RIP RAP
	STORM SEWER		
	SANITARY SEWER		
	WATERMAIN		
	WATER SERVICE		
	EASEMENT		
	SPOT ELEVATION		
	EXISTING FLOODPLAIN NORTH - 902.6		
	EXISTING FLOODPLAIN SOUTH - 896.8		
	WETLAND		
	FARMED SEASONAL WETLAND AREA		



Know what's Below.
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DEVELOPER
JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2024	PRE PLAT SUBMITTAL	ETL
22 JUL 2024	PRE PLAT SUBMITTAL	ETL
23 JUL 2024	WATERFLOOD SUBMITTAL	ETL
26 JUL 2024	PRE PLAT SUBMITTAL	ETL
16 AUG 2024	PRE PLAT SUBMITTAL	ETL

C3.3	C3.1
C3.4	C3.2
C3.5	
C3.6	

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

PRELIMINARY
NOT FOR
CONSTRUCTION

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PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

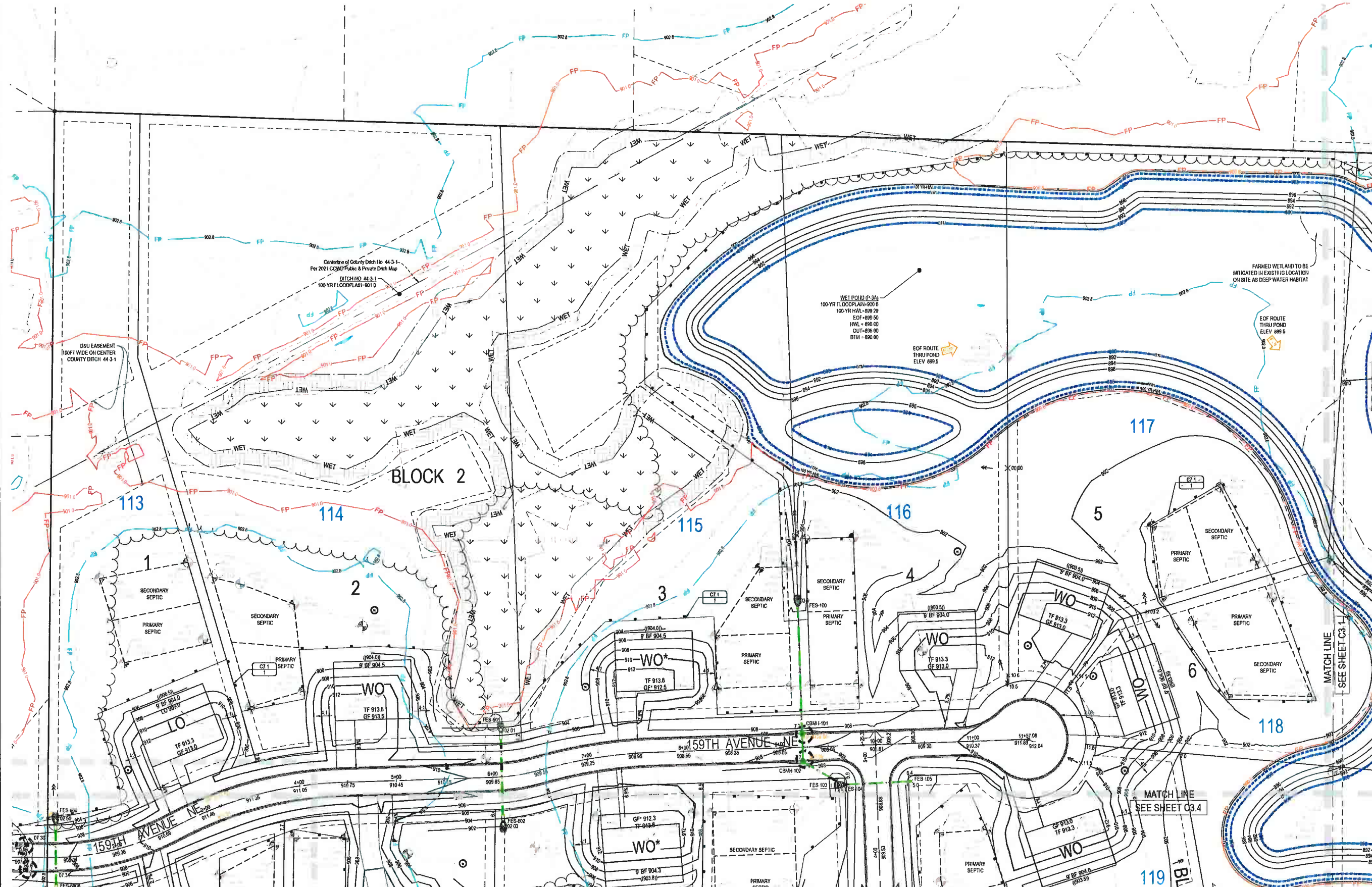
LANDFORM
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Minneapolis, MN 55401 Web: landform.net

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PROJECT NO. LDP24010

GRADING, DRAINAGE, EROSION
CONTROL & STORM SEWER INSET 3

C3.3

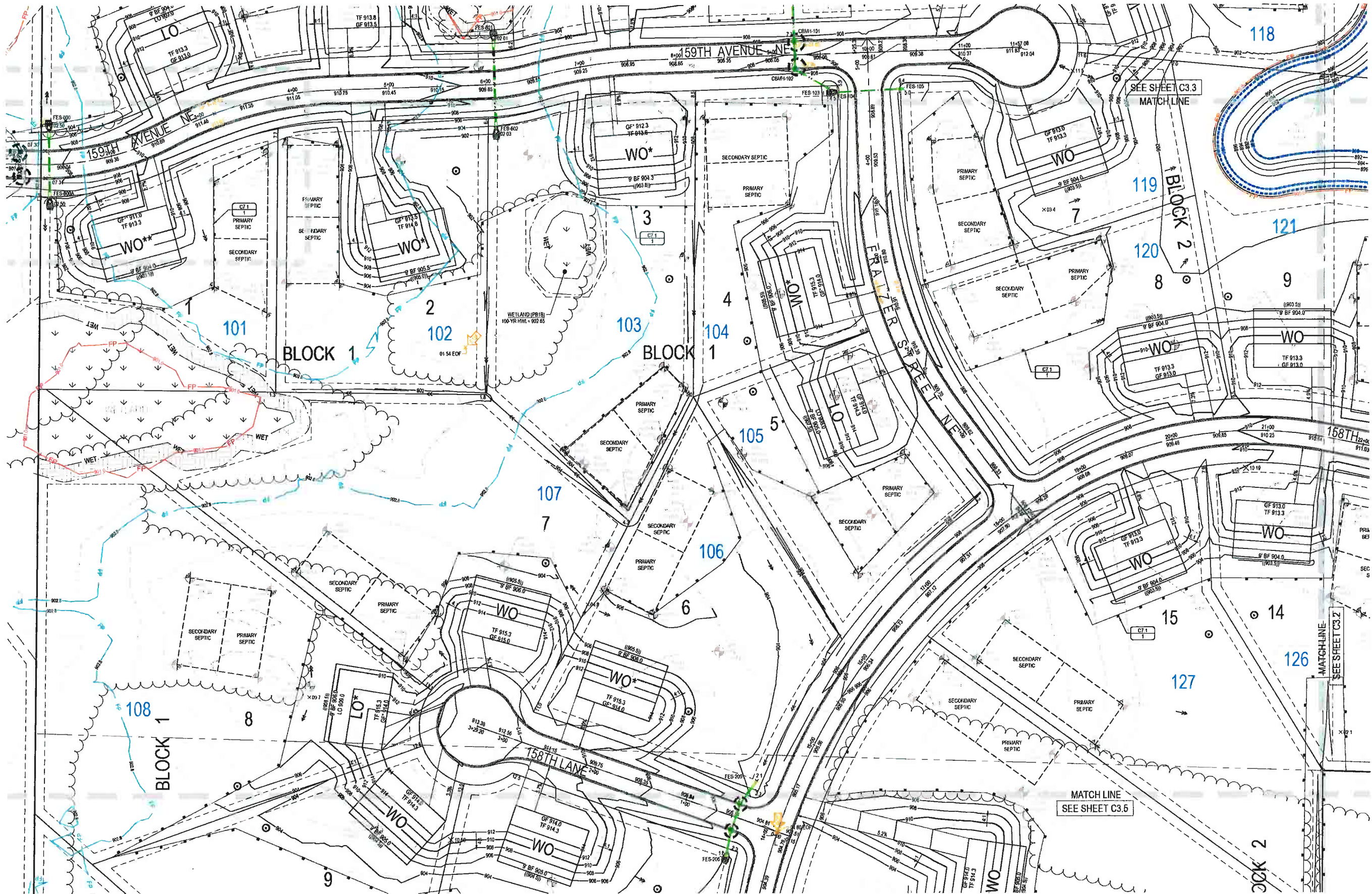


LEGEND				LEGEND			
EXISTING	EXISTING	EXISTING	EXISTING	PROPOSED	PROPOSED	PROPOSED	PROPOSED
	STORM MAINHOLE		EASEMENT		WET PROTECTION		CATCH BASIN
	SANITARY MAINHOLE		SPOT ELEVATION		SALT FENCE		MANHOLE
	CATCH BASIN		EXISTING FLOODPLAIN NORTH - 902.6		COMPOST OR BIO LOG		16.5 FT WETLAND BUFFER
	FIRE HYDRANT		EXISTING FLOODPLAIN SOUTH - 896.6		VEHICLE TRACKING PAD		POND LINE
	WATER VALVE		WETLAND		ENKAMAT 7010		SPOT ELEVATION
	FLARED END SECTION		FARMED SEASONAL WETLAND AREA		RIP RAP		STORM SEWER
	STORM SEWER						SOIL SUBDRAIN
	SANITARY SEWER						CURB & GUTTER
	WATERMAIN						PROPERTY LINE
	WATER SERVICE						EASEMENT



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EXISTING			PROPOSED			PROPOSED			PROPOSED		
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY	SYMBOL	DESCRIPTION	ESTIMATED QUANTITY	SYMBOL	DESCRIPTION	ESTIMATED QUANTITY	SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	STORM MANHOLE			WETLAND			CATCH BASIN			STORM SEWER	
	SANITARY MANHOLE			EASEMENT			RIPRAP			SOIL SUBDRAIN	
	CATCH BASIN			SALT FENCE			CURB & GUTTER			PROPERTY LINE	
	FIRE HYDRANT			COMPOST OR BIO LOG			EASEMENT			EASEMENT	
	WATER VALVE			VEHICLE TRACKING PAD			EASEMENT			EASEMENT	
	FLARED END SECTION			ENKAMET 7010			EASEMENT			EASEMENT	
	STORM SEWER			RIPRAP			EASEMENT			EASEMENT	
	SANITARY SEWER						EASEMENT			EASEMENT	
	WATERMAN						EASEMENT			EASEMENT	
	WATER SERVICE						EASEMENT			EASEMENT	

DEVELOPER
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CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SWITCH FROM PRELIMINARY	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
26 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL

C3.3	C3.1
C3.4	C3.2
C3.5	
C3.6	

CERTIFICATION
I hereby certify that this plan was prepared by me or under my direct supervision, and I am a duly Licensed Professional Engineer in the State of Minnesota.

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PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

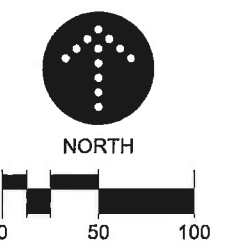
LANDFORM
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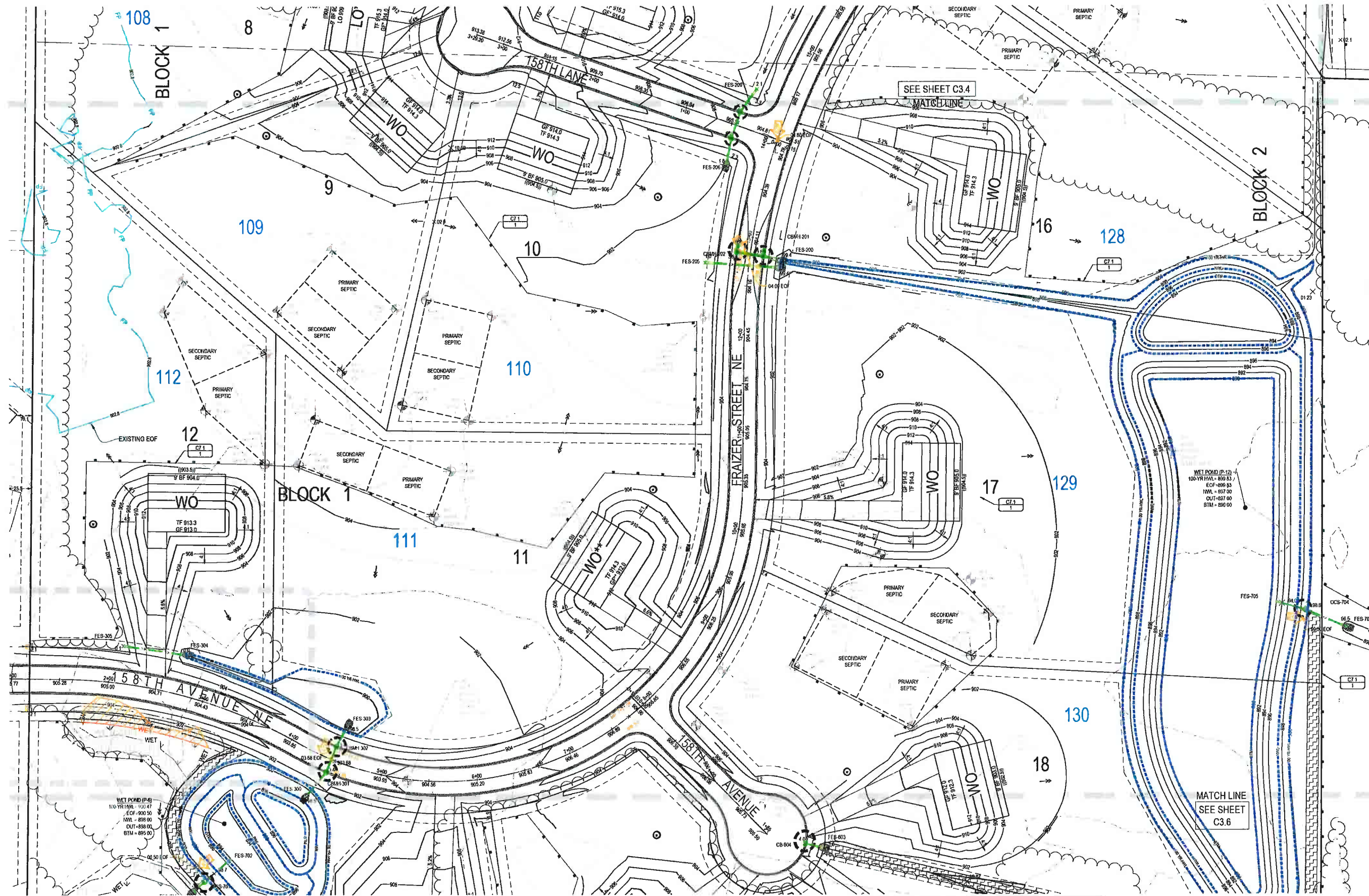
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Fax: 612-252-9077
Web: landform.net

FILE NAME: C300LDP010.DWG
PROJECT NO.: LDP24010

GRADING, DRAINAGE, EROSION
CONTROL & STORM SEWER INSET 4

C3.4





DEVELOPER
JD HAM LAKE
HOLDINGS, LLC
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MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
DATE	ISSUE / REVISION	REVIEW
12 JUL 2020	PRE PLAT SUBMITTAL	ETL
22 JUL 2020	SWITCH PLAN RE-SUBMITTAL	ETL
23 JUL 2020	WATERSHED SUBMITTAL	ETL
25 JUL 2020	PRE PLAT RE-SUBMITTAL	ETL
18 AUG 2020	PRE PLAT RE-SUBMITTAL	ETL

C3.3	C3.1
C3.4	C3.2
C3.5	
C3.6	

CERTIFICATION
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PRELIMINARY
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CONSTRUCTION

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

LANDFORM
From Site to Finish

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Minneapolis, MN 55401
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Fax: 612-252-5077
Web: landform.net

FILE NAME: C300LDP010.DWG
PROJECT NO: LDP24010

GRADING, DRAINAGE, EROSION
CONTROL & STORM SEWER INSET S
C3.5

WETLAND IMPACTS

WETLAND IMPACT = 1,974 SF

WETLAND IMPACTS

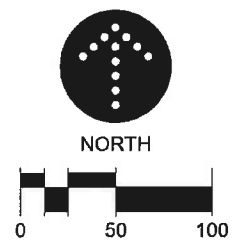
LEGEND

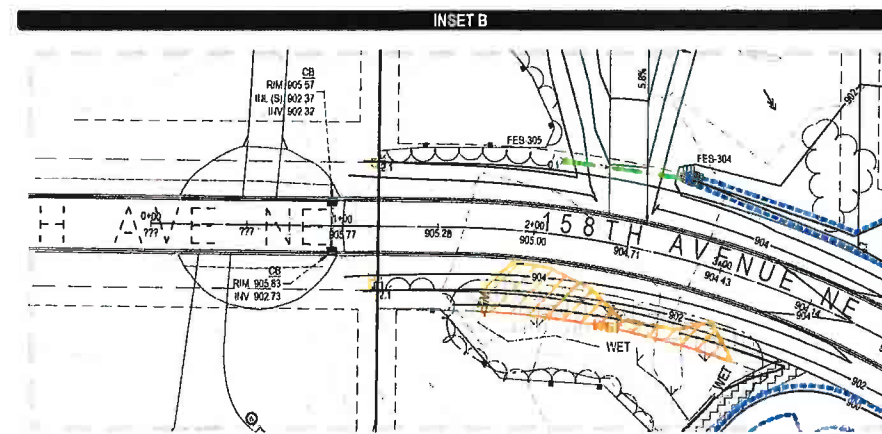
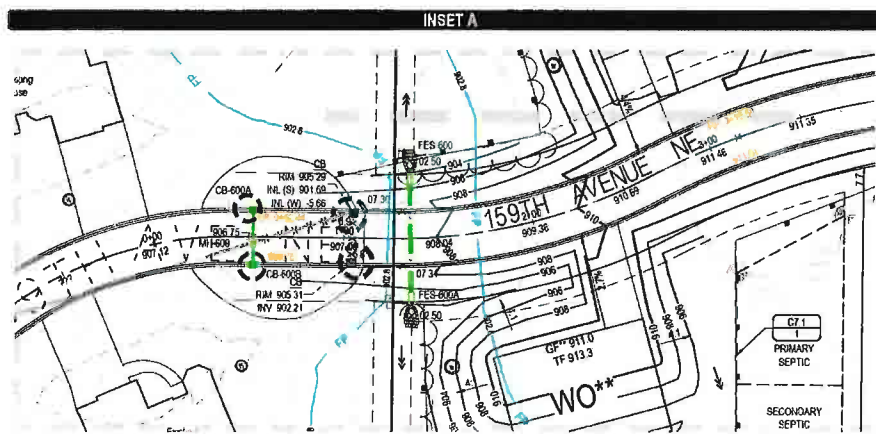
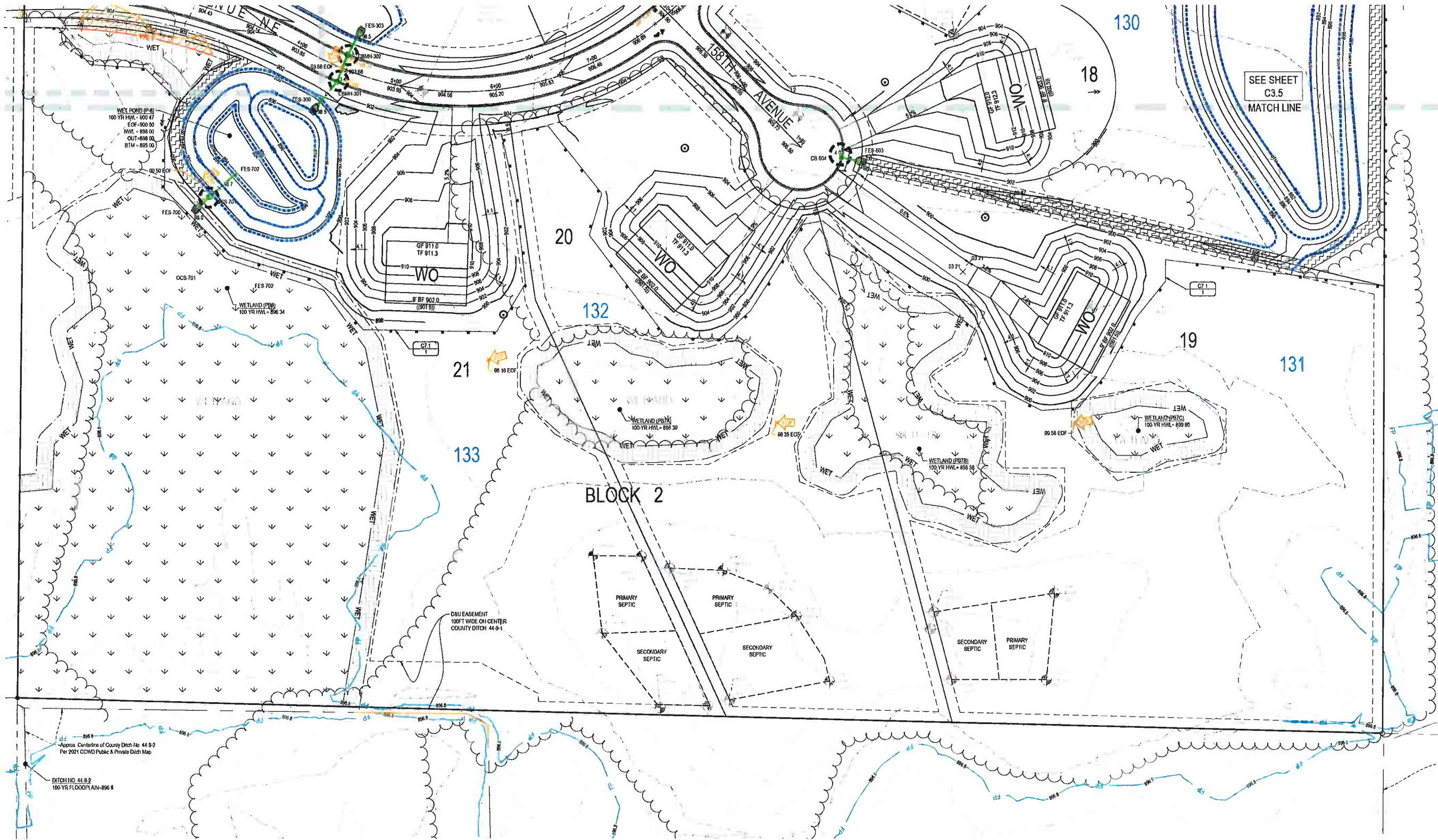
EXISTING	PROPOSED	ESTIMATED QUANTITY	PROPOSED
STORM MAINHOLE	WET PROTECTION	17 ea	CATCH BASIN
SANITARY MAINHOLE	SPOT ELEVATION	28,300 LF	MANHOLE
CATCH BASIN	EXISTING FLOODPLAIN NORTH - 902.6		STORM SEWER
FIRE HYDRANT	EXISTING FLOODPLAIN SOUTH - 898.6		SOIL SUBDRAIN
WATER VALVE	WETLAND		CURB & GUTTER
FLARED END SECTION	FARMED SEASONAL WET LAND AREA		PROPERTY LINE
STORM SEWER			EASEMENT
SANITARY SEWER			
WATER SERVICE			

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
WET	WETLAND	16.5 FT WETLAND BUFFER	16.5 FT WETLAND BUFFER
VEHICLE TRACKING PAD	VEHICLE TRACKING PAD	PROPOSED FLOODPLAIN	PROPOSED FLOODPLAIN
EQUIPMENT LOT	EQUIPMENT LOT	POND LINE	POND LINE
RIP RAP	RIP RAP	SPOT ELEVATION	SPOT ELEVATION

NOTE:

LOTS 18, 19, 20, & 21 OF BLOCK 2 WILL BE CUSTOM GRADED BY BUILDER. CONTOURS SHOWN REFLECT ACCEPTABLE CONFIGURATION.





NOTE: LOTS 18, 19, 20, & 21 OF BLOCK 2 WILL BE CUSTOM GRADED BY BUILDER. CONTOURS SHOWN REFLECT ACCEPTABLE CONFIGURATION.

DEVELOPER
JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-8070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
CONTACT ENGINEER FOR ANY PRIOR HISTORY		
DATE	ISSUE / REVISION	REVIEW
10 JUL 2024	PRELIMINARY SUBMITTAL	ETL
29 JUL 2024	SKETCH PLAN RE-SUBMITTAL	ETL
29 JUL 2024	WATERWORKS RE-SUBMITTAL	ETL
29 JUL 2024	PRELIMINARY RE-SUBMITTAL	ETL
18 AUG 2025	PRELIMINARY RE-SUBMITTAL	ETL

C3.3	C3.1
C3.4	C3.2
C3.5	
C3.6	

CERTIFICATION

I hereby certify that the plans were prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Eric T. Luth, PE
License No. 50413

Signature should be placed on all sheets of the project and on the title sheet of the project.

IF THE SIGNATURE SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BY XEROGRAPHIC REPRODUCTION AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025



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Minneapolis, MN 55401 Web: landform.net

FILE NAME: C300LDP010.DWG

PROJECT NO.: LDP24010

GRADING, DRAINAGE, EROSION CONTROL & STORM SEWER INSET 6

C3.6



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NPDES PERMIT AND SWPPP COMPONENTS

- 1 The current Minnesota Construction Stormwater General Permit (Permit) dated August 1, 2018 is referenced in this document as the Permit.
- The SWPPP includes the following components:
- Construction Documents prepared by Landform
 - Stormwater Management Plan prepared by Landform
 - Maintenance Plan for permanent stormwater BMPs
 - Geotechnical Report prepared by Braun Intertec
- All components must be kept onsite, or electronically available onsite, by the Operator during regular work hours. The Operator shall contact CMV Engineer if they do not have all of the above documents.

SITE INFORMATION

Site location: Latitude: 45.259213, Longitude: -93.157884
Disturbed area = 54.51 ac
Pre-construction impervious area within disturbed area = 0.01 ac
Post-construction impervious area within disturbed area = 10.11 ac
Net change in impervious area within disturbed area = 10.10 ac

Type of stormwater management:

- Wet sedimentation

Erosion prevention and sediment control quantities are on sheets C3.0 - C3.6

SITE EVALUATION / ASSESSMENT / PLANNING

- 1 The Operator shall have primary responsibility and significant authority for the development, implementation, maintenance, inspection and amendments to the approved SWPPP. Duties include but are not limited to:
- Ensuring full compliance with the SWPPP and the Permit
 - Implementing all elements of the SWPPP, including but not limited to:
 - Implementing proper and effective erosion and sediment control measures
 - Implementing all non-storm water management, and good housekeeping BMPs ensuring that no materials other than storm water are discharged in quantities which will have an adverse effect on receiving waters or storm drain systems, etc.
 - Conducting routine inspections and maintenance
 - Ensuring elimination of all unauthorized discharges
 - Coordinating to ensure all of the necessary corrections / repairs are made immediately, and that the project complies with the SWPPP, the Permit, and approved plans at all times.
- 2 The Operator shall minimize the exposure to stormwater of any of the products, material, or wastes stored on site that may wash downstream or contaminate stormwater.
- 3 Building products that have the potential to leach pollutants must be under cover.
- 4 Chemicals and landscape materials shall be under cover to prevent the discharge of pollutants.
- 5 Operator to track progress of the following items on site maps, portable toilets, material storage areas, vehicle and equipment fueling and maintenance areas, concrete washouts, paint and sludge washouts, dumpsters or other trash and debris containers, spill kits, stockpiles, any other non-structural non-storm water management BMPs, any temporarily removed structural BMPs, any changes to the structural BMPs.
- 6 Solid waste, collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
- 7 Hazardous waste, oil, gasoline, paint and any hazardous substances must be properly stored in sealed containers to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste or materials must be in compliance with Minn. R. Ch. 7045 including secondary containment as applicable.
- 8 Portable toilets must be positioned so that they are secure and will not be tipped or knocked over.
- 9 Concrete and other washout waste, operator must provide effective containment for all liquid and solid wastes generated by washout operations. The liquid and solid wastes must not contact the ground, and the containers must be designed so that it does not result in runoff from the washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA rules. A sign must be installed adjacent to each washout facility that requires site personnel to utilize the proper facilities for disposal of concrete and other washout wastes.
- 10 External vehicle washing, external washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed on site.
- 11 Operator shall take reasonable steps to prevent the discharge of spilled or leaked chemicals, including fuel, from any area where they will be loaded or unloaded as detailed in the Permit.

SWPPP CONTACT AND TRAINING INFORMATION

- 1 Owner
- JD Ham Lake Holdings, LLC
attn: Jason Osberg
105 5th Ave. S., Suite 513
Minneapolis, MN 55401
Phone: 612-252-1226
Email Address: jason@crsabwe.com or jason@landform.com
- 2 Operator
- To Be Determined. Contact Owner until Contractor Is Selected.
- 3 Long Term Maintenance And Operation
- To Be Determined. Contact Owner until Contractor Is Selected.
- 4 SWPPP Designer
- John Ortiz, R.L.A.
Landform Professional Services
105 South Fifth Avenue, Suite 513
Minneapolis, MN 55401
612-252-9070
jortiz@landform.net
Certification: U of MN, Design of Construction SWPPP, Exp. May 31, 2027
- 5 SWPPP Inspector / Manager
- Citra Olson, CA
Landform Professional Services
105 South Fifth Avenue, Suite 513
Minneapolis, MN 55401
612-638-0238, colson@landform.net
Certification: U of MN, Design of Construction SWPPP, Exp. May 31, 2027
- 6 BMP Installation And Repair
- To Be Determined. Contact Owner until BMP Installer And Maintainer is selected.
Certification: Exp.

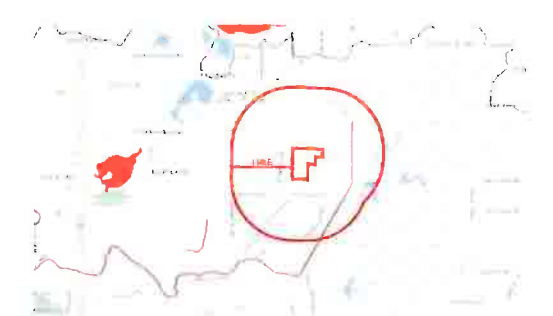
DESCRIPTION OF CONSTRUCTION ACTIVITY

- 1 Construction activity includes erosion and sediment control BMPs installation, clearing and grubbing, site grading, utility installation, building construction, paving, and landscaping.

SCHEDULE OF BMP INSTALLATION AND CONSTRUCTION ACTIVITY

- 1 Install perimeter sediment control BMPs prior to start of other site work. Refer to Grading, Drainage, Paving and Erosion Control sheet(s) for initial locations of BMPs.
- 2 Protect infiltration areas with construction fencing. Install fencing prior to site grading or within 24 hours of excavating an infiltration basin.
- 3 Construct temporary / permanent sedimentation basins prior to upland disturbance. Install perimeter sediment control BMPs around normal water levels within 48 hours of completion of basin grading.
- 4 Stabilize outlets from temporary / permanent sedimentation basins within 24 hours of outlet construction.
- 5 Perform work in phases to minimize disturbed area at any one time. Operator to develop phasing plan prior to start of work. Open work areas should be limited to those that can be managed and inspected within required time frames.
- 6 Strip topsoil from areas to be disturbed and stockpile with perimeter sediment control BMPs. Provide stabilization if stockpile is left longer than 14 days.
- 7 Rough grade site.
- 8 Install utilities.
- 9 Install small utilities (gas, electric, communications).
- 10 Final grade pavement areas and compact subgrade.
- 11 Lay down pavement aggregate and compact.
- 12 Install curb and gutter. Backfill after a minimum of three days and provide a minimum of two rolls of soil at the back of curb.
- 13 Construct building / addition and site features.
- 14 Construct site walks and paths.
- 15 Provide final stabilization.
- 16 Connect infiltration / filtration practices to storm sewer inlets.
- 17 Remove temporary BMPs and dispose of properly.

WATERS WITHIN ONE MILE OF SITE



MIN SPECIAL (PROHIBITED, RESTRICTED, OTHER) & IMPAIRED WATERS

- 1 A Coon Creek is impaired based on the current USEPA 303(d) clean water act list. It is within 1 mile of this site, and stormwater does not discharge to it. Impairments are for E. Coli.
- B TMDLs have been established for this impaired water for E. coli, Fishes/Bio, Invertebio, TSS.
- C This site will meet these TMDLs using the following methods: Wet Sedimentation Basins.

DRINKING WATER SUPPLY MANAGEMENT AREA

- 1 The site is not within a Drinking Water Supply Management Area (DWSMA).

EROSION PREVENTION AND SEDIMENT CONTROL

- 1 See Grading, Drainage, Paving and Erosion Control sheets for the location and type of temporary erosion prevention and sediment control BMPs. See Grading and Drainage, Utility, and Landscape sheets for the location and type of permanent erosion prevention and sediment control BMPs.
- 2 Minimize Disturbed Areas and Protect Natural Features and Soil.
- Appropriate construction practices (e.g. construction phasing, vegetative buffer strips, horizontal slope grading) shall be used to minimize erosion.
- Areas not to be disturbed (buffers, infiltration basins, etc.) shall be protected with construction or silt fence before work begins.
- Operator shall develop methods to minimize soil compaction outside of building pads, pavement areas and utility trenches and shall use tracked equipment whenever practicable.
- Topsoil shall be salvaged and reseed to the extent practicable.
- 3 Phase Construction Activity.
- Operator must not disturb more land than can be effectively inspected and maintained.
- Sediment control practices shall be established on all down gradient perimeters before any upgradient land disturbing activities begin. These practices shall remain in place until final stabilization has been established in accordance with the Permit.
- The timing of the installation of sediment control practices may be adjusted to accommodate short term activities such as clearing or grubbing, or passage of vehicles. Any short term activity must be completed as quickly as possible and the sediment control practices shall be installed immediately after the activity is completed. However, sediment control practices shall be installed before the next precipitation event even if the activity is not complete.
- 4 Control Stormwater Flowing onto and Through the Project.
- The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or dyes water around the site, shall be stabilized within 200 linear feet from the property edge, or from the point of discharge into any surface water.
- Stabilization of the last 200 linear feet shall be completed within 24 hours after connecting to a surface water.
- Stabilization of the remaining portions of any temporary or permanent ditches or swales shall be complete within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
- Temporary or permanent ditches or swales that are being used as a sediment containment system (with properly designed rock ditch checks, bio rolls, silt dikes, etc.) do not need to be stabilized. These areas shall be stabilized within 24 hours after no longer being used as a sediment containment system.
- 5 Stabilize Soils.
- All exposed soil areas, including stockpiles, must be stabilized.
- Stabilization must be started immediately to limit soil erosion when the construction activity in that portion of the site has temporarily or permanently ceased and will not resume for 14 calendar days. Stabilization must be complete within 14 days of cessation of construction activity.
- Temporary soil stockpiles shall have silt fence or other effective sediment controls, and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the storm water.
- Temporary stockpiles without significant silt, clay, or organic components (e.g. clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces, are exempt from this requirement.
- Perimeter sediment control measures must be in place prior to the placement of any stockpiles.
- Any erosion control netting shall be "wildlife friendly" and of a natural type that can decompose and shall have non-welded movable joints.
- Any sediment control device made of soil must be stabilized within 24 hours.

- Protect Slopes**
- Operator shall avoid work on slopes with a grade of 3:1 or greater when practicable. Grading on slopes with a grade of 3:1 or steeper will require techniques such as phasing and stabilization practices designed for steep slopes (e.g. slope draining and terracing).
- Prevent Storm Drain Inlets**
- All storm drain inlets shall be protected by appropriate BMPs during construction until all sources with potential for discharge to the inlet have been stabilized. Inlet protection may be temporarily removed if a specific safety concern has been identified.
- Provide Energy Dissipation at all Pipe Outlets within 24 Hours**
- After connection to a surface water or permanent stormwater treatment system.
- Establish Perimeter Controls and Sediment Barriers**
- Prior to disturbing soils on a project site, establish sediment control BMPs on all down-gradient perimeters and where site discharges to public waters.
- Retain Sediment On-site and Control Offwatering Practices**
- Discharge shall not cause nuisance conditions, erosion in receiving channels, adversely affect receiving water or impact wetlands or downstream properties. Discharge points shall be adequately protected from erosion and scour by accepted energy dissipation measures.
- Discharge water containing oil or grease shall be treated to remove oil or grease prior to discharge to surface waters.
- Refer to Permit requirements for temporary or permanent sediment basins.
- Discharge shall be photographed at the beginning of discharge and at least every 24 hours afterward, while discharge is occurring. If nuisance conditions result from dewatering, dewatering shall be stopped until nuisance condition can be remedied.
- Establish Stabilized Construction Exits**
- Vehicle tracking pads shall be established as shown on the Grading, Drainage, Paving and Erosion Control sheet(s) to minimize tracking of sediment from the construction site onto adjacent streets.
- Infiltration Basin Protection**
- Operator must not excavate infiltration systems to final grade or within three (3) feet of final grade until the contributing drainage area has been constructed and fully stabilized unless rigorous erosion prevention and sediment controls have been installed.
- When excavating an infiltration system to within three (3) feet of final grade, operator shall mark off and protect the area from heavy construction equipment to prevent compaction of soils.
- Dewatering and Basin Draining**
- Permittees must discharge turbid or sediment-laden waters related to dewatering or basin draining to a temporary or permanent sediment basin. Discharges must not cause erosion or scour near the discharge points.
- Remove Sediment from Surface Waters**
- All sediment deposits and debris must be removed from surface waters including drainage ways, catch basins, and other drainage systems, and the removal areas reestablished within seven (7) days.

SURFACE WATER BUFFERS

- 1 50 foot buffers from Surface Waters have been maintained. Therefore double silt fence has been included within 50' of the Surface Waters.

TEMPORARY SEDIMENTATION BASIN(S)

- 1 This project does have more than ten (10) disturbed acres draining to a common location and the site does not drain to an impaired or special water, therefore a temporary sediment basin is not required. Refer to sheets C3.0-C3.6 for further information.
- 2 Temporary sediment basins shall provide treatment to runoff before it leaves the construction site or enters surface waters. The contractor shall comply with the following requirements:
- A Sedimentation basins must provide live storage of runoff resulting from the 2-year 24-hour rainfall event from each acre drained to the basin with a minimum of 1,800 cubic feet live storage volume. (Where no calculation has been performed, each basin shall provide at least 3,600 cubic feet live storage.) Sedimentation basins must include a stabilized emergency overflow to prevent basin integrity failure.
 - B Discharge from temporary sedimentation basins will be withdrawn from the surface in order to minimize the discharge of pollutants.
- Discharge from basin draining shall not adversely affect the receiving water or downstream properties. Contractor will visually check to ensure adequate treatment has been obtained and that nuisance conditions will not result from the discharge.
- 3 Any discharge observed to be occurring during the inspection shall be recorded, described, and photographed.
- 4 If any proposed temporary BMPs are not working as intended refer to the "Stormwater Compliance Assistance Toolkit for Small Construction Operators" (MPCA, 2017) for additional information. Operator shall contact the SWPPP Designer for additional requirements and information.

POST CONSTRUCTION / PERMANENT BMPs

- 1 See Grading and Drainage, Utility, and Landscape sheets for post construction and permanent stormwater BMPs.

INSPECTIONS AND MAINTENANCE

- 1 Permittees must ensure that a trained person will inspect the entire construction site at least once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours.
- 2 Records of inspections shall include all maintenance activities and must be recorded within 24 hours of the inspection and retained with the SWPPP.
- 3 Inspectors shall include stabilized areas, erosion prevention and sediment control BMPs, and wet sedimentation areas. Additionally, areas adjacent to the project shall be inspected.
- 4 Surface waters on or adjacent to the site must be inspected for evidence of erosion or sediment deposition.
- 5 Permittees must record all inspection and maintenance activities within 24 hours of being conducted as detailed in the Permit.
- Inspection Records content shall include:
- A Date and time of inspection.
 - B Name of persons conducting inspections.
 - C Findings of inspections, including specific locations where corrective actions are needed.
 - D Corrective actions taken including dates, times, and the party taking the corrective action.
 - E Dates of all rainfall events greater than 0.2 inch in 24 hours (refer to Permit for measurement requirements).
 - F Any discovered discharge must be recorded, including photographs, descriptions of discharge (color, odor, settled or suspended solids, oil, sheen, or other obvious indicators of pollution), and specific location of discharge location.
 - G Any amendments to the Permit as a result of inspections must be documented within seven calendar days as described in the Permit.
 - H All photographs of dewatering activities and documentation of nuisance conditions resulting from dewatering.
- 6 BMP Maintenance
- A Nonfunctional BMPs must be repaired or replaced by the end of the next business day after discovery unless a different time frame is indicated.
 - B Follow the designer's or manufacturer's recommended maintenance procedures for all BMPs.
 - C Remove sediment from BMPs when the depth of sediment has reached 1/2 the height of the BMP and properly dispose of sediment into controlled areas to prevent soil from returning to the BMP during subsequent rain events.
 - D Remove sediment from paved roadways within one calendar day of discovery.
 - E Remove sediment from around BMPs protecting storm drain inlets.
 - F Surface waters with evidence of sediment deposition must be stabilized and sediment removed within seven calendar days of discovery, or as stated by the Permit.
 - G Ensure that construction support activities, including borrow areas, waste areas, contractor work areas, and material storage areas and discolored concrete and asphalt batch plants are cleaned and maintained.
 - H Replace damaged BMPs that no longer operate effectively.
- 7 Add BMPs as needed during construction to minimize erosion and prevent sediment from leaving the site. Any basin that has the water quality volume reduced by half shall be drained and have the sediment removed within 72 hours of discovery.
- 8 Any temporary or permanent sediment basin that has the water quality volume reduced by half shall be drained and have the sediment removed within 72 hours of discovery.

RECORD KEEPING / RECORD RETENTION

- 1 The SWPPP (original or copies), including all changes to it, and inspections and maintenance records, shall be kept at the site during construction by the Owner / Operator who has operational control of that portion of the site. The SWPPP can be kept in either the field office or in an on site vehicle during normal working hours.
- 2 All Owner(s) must keep the SWPPP, along with the following additional records, on file for three (3) years after submittal of the Notice of Termination (NOT). This does not include any records after submittal of the NOT.
- 3 The following is a list of records that shall be kept at the project site available for inspectors to review:
- Copy of the SWPPP, with any modifications,
 - Inspection and maintenance records,
 - Permanent operation and maintenance agreements,
 - Calculations for the design of temporary and permanent stormwater management systems,
 - Any other permits required for the project,
 - Records of all inspection and maintenance conducted during construction, and
 - All permanent operation and maintenance agreements that have been implemented, including all right-of-way, covenants, covenants and other binding requirements regarding perpetual maintenance.

LOG OF CHANGES TO THE SWPPP / AMENDMENTS

- 1 The Owner / Operator(s) must amend the SWPPP within seven (7) days to include additional requirements, such as additional or modified BMPs, designs to correct problems identified during inspections, or address situations as detailed in the Permit.

FINAL STABILIZATION

- 1 The Owner / Operator(s) must ensure final stabilization of the site. Final stabilization includes:
- A Ensuring all areas have permanent cover.
 - B Vegetative areas must have perennial cover with a density of 70% of expected final growth.

TERMINATION OF COVERAGE

- 1 Owner / Operator(s) wishing to terminate coverage under the Permit must submit a Notice of Termination (NOT) to the MPCA. Compliance with the Permit is required until a NOT is submitted. Refer to the Permit for details. Conditions for submitting a NOT include:
- A Site must have achieved final stabilization (refer to section above).
 - B The permanent stormwater treatment and conveyance systems must be clean and all accumulated sediment removed.
 - C All temporary synthetic erosion prevention and sediment control BMPs must be removed from the site and disposed of properly.
 - D Single Family Residential only - Permit termination on individual lots occurs once building construction is complete, permanent or temporary erosion prevention and downgradient perimeter control is complete, the residence sells to the homeowner, and the permittee distributes the MPCA's "Homeowner Fact Sheet" to the homeowner.
 - E Agricultural Land only - Return the disturbed land to its preconstruction agricultural use.

DEVELOPER

JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070

CITY



PROJECT

KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

CONTACT ENGINEER FOR ANY PRIOR HISTORY			
DATE	ISSUE / REVISION	REVIEW	
10 JUL 2025	PRE-PLAT SUBMITTAL	ETL	
22 AUG 2025	DRAWING RE-SUBMITTAL	ETL	
22 AUG 2025	WATERSHED SUBMITTAL	ETL	
22 AUG 2025	PRE-PLAT RE-SUBMITTAL	ETL	
18 AUG 2025	PRE-PLAT RE-SUBMITTAL	ETL	

CERTIFICATION

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Eric T. Lutz, PE
License No. 50413
Professional Engineer
Signature shown on this document is for the use of the Engineer in the preparation of this document. The Engineer is not responsible for the use of this document for any other purpose.

IF THE SIGNATURE, SEAL, OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED WITHOUT INDOUBT. READABILITY AND NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

LANDFORM
From Site to Finish

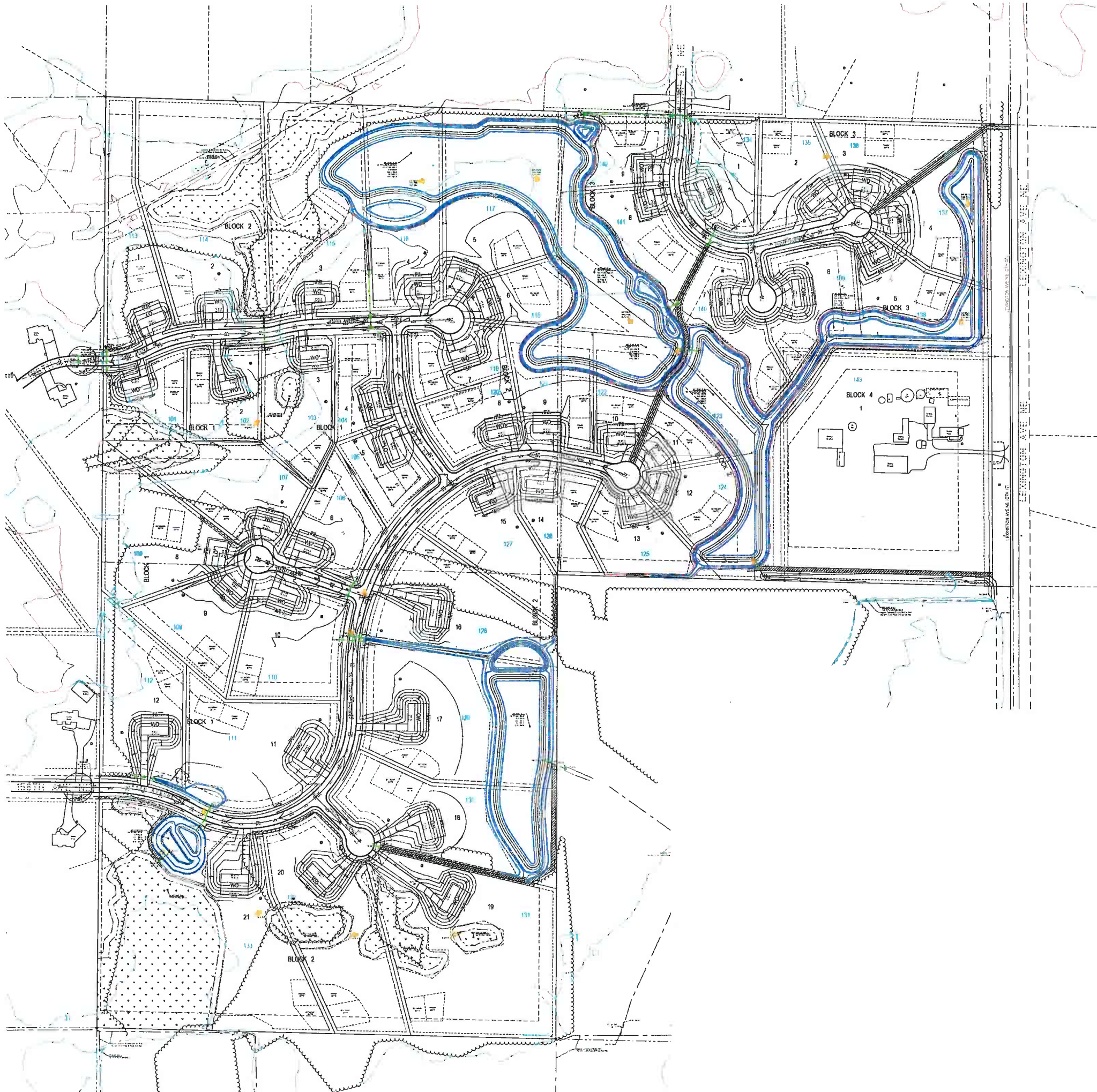
105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C307LDP010.DWG

PROJECT NO.: LDP24010

SWPPP

C3.7



GENERAL NOTES

1 For construction staking and surveying services contact Landform at 612-252-9070

UTILITY NOTES

2 Pipe Materials
Watermain I/A
Water Service I/A
Private Sanitary Sewer RCP 12"-18" Class 5 (ASTM C76)
Storm Sewer RCP 21" Class 4 (ASTM C76)
RCP 24"-48" Class 3 (ASTM C76)

- 3 Contact utility service providers for field location of services 72 hours prior to beginning
- 4 Contractor to field verify location and elevation of all utility points of connection prior to construction of any proposed utilities. Contractor to notify Engineer immediately if there is any discrepancy
- 5 Contractor to protect all utility crossings prior to construction of new utilities to verify depths of existing lines. Contact Engineer immediately if any conflicts are discovered
- 6 Provide means and measures to protect adjacent property from damage during utility installation
- 7 Pipe lengths shown are from center of structure to center of structure or end of end section
- 8 Install tracer wire with all non-conductive utilities in accordance with City of Ham Lake Standards
- 9 Connect to City utilities in accordance with City of Ham Lake Standards
- 10 Contact Mark Jones at 763-235-1691 for wet lap inspection
- 11 Contact Mark Jones, City of Ham Lake Department, at 763-235-1691 for flushing and pressure test inspections
- 12 All joints and connections in the storm sewer system shall be gas-tight or water-tight. Approved resilient rubber joints must be used to make watertight connections to manholes, catch basins, and other structures
- 13 Catch basins in curb and gutter are sumped 2 inches below the gutter grade. Refer to Detail #56.7.8 on Sheet C7.2 and #1 on sheet C7.3
- 14 Provide conduits for cable television and other electronic communication
- 15 Compact cohesive soils in paved areas to 95% of maximum dry density. Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. compact to 95% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557)
- 16 Adjust structures to final grade where disturbed. Comply with requirements of Utility. Meet requirements for traffic loading in paved areas

INFILTRATION / FILTRATION BASIN REQUIREMENTS

17 Refer to the C3.0 sheet notes for requirements

LEGEND

EXISTING	PROPOSED	
⊕	STORM MANHOLE	CATCH BASIN
⊙	SANITARY MANHOLE	MANHOLE
⊠	CATCH BASIN	STORM SEWER
⊙	FIRE HYDRANT	SOIL SUBDRAIN
⊙	WATER VALVE	CURB & GUTTER
⊙	FLARED END SECTION	PROPERTY LINE
---	STORM SEWER	EASEMENT
---	SANITARY SEWER	POUND LINE
---	WATERMAIN	LIMITS OF DISTURBANCE
---	WATER SERVICE	SPOT ELEVATION
---	EASEMENT	
---	SPOT ELEVATION	

DEVELOPER

JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070

CITY



PROJECT

KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRELIMINARY SUBMITTAL	ETL
22 JUL 2025	SWITCH PLAN RE-SUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
24 JUL 2025	PRELIMINARY SUBMITTAL	ETL
18 JUL 2025	PRELIMINARY SUBMITTAL	ETL

CERTIFICATION

I hereby certify that the plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Eric T. Luth, PE

License No. 95417

Signature showing a duly registered Professional Engineer under the laws of the State of Minnesota.

IF THE SIGNATURE, SEAL, OR FINGERPRINTS DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED REPRODUCIBILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025



105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C500LDP010 P&P.DWG

PROJECT NO. LDP24010

STORM SEWER INDEX & NOTES

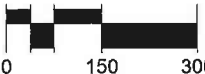
C5.0

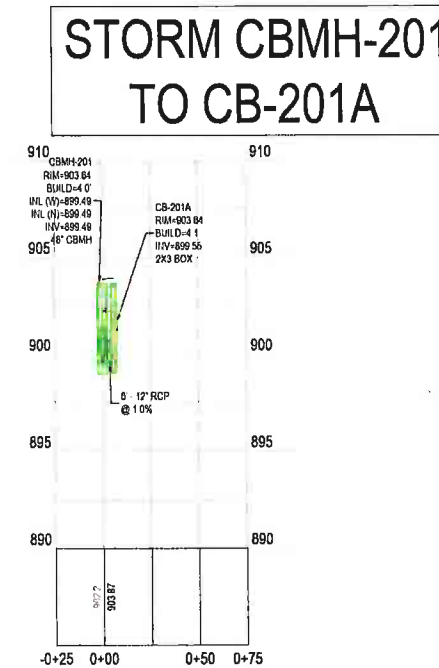
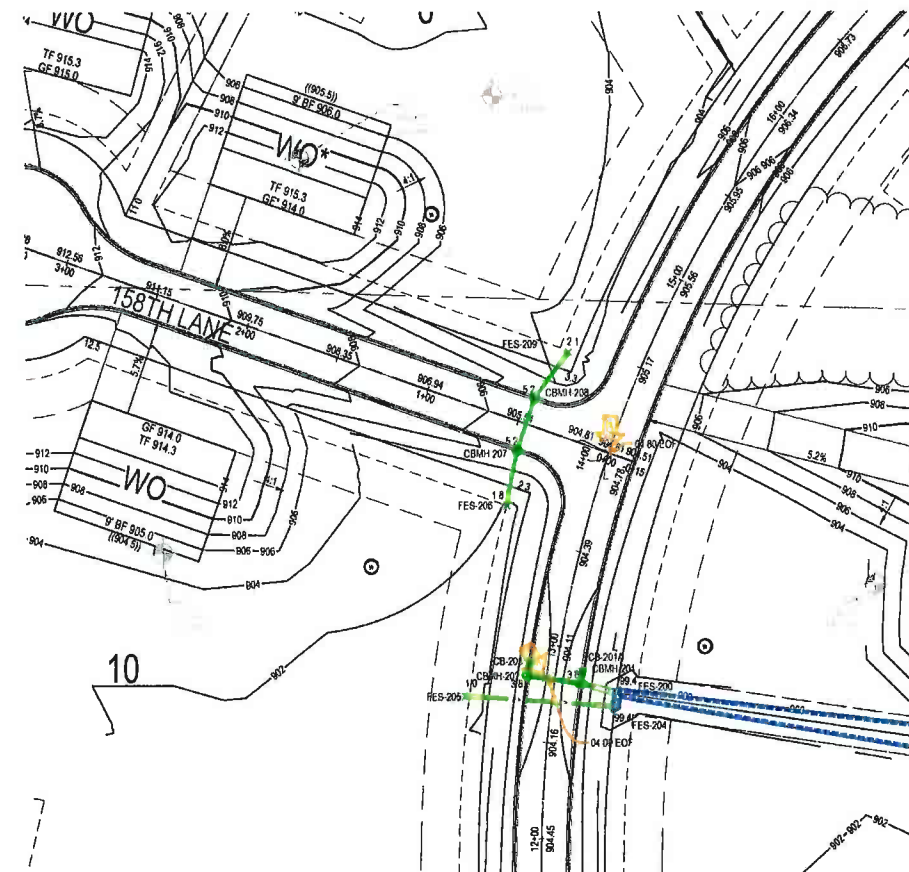
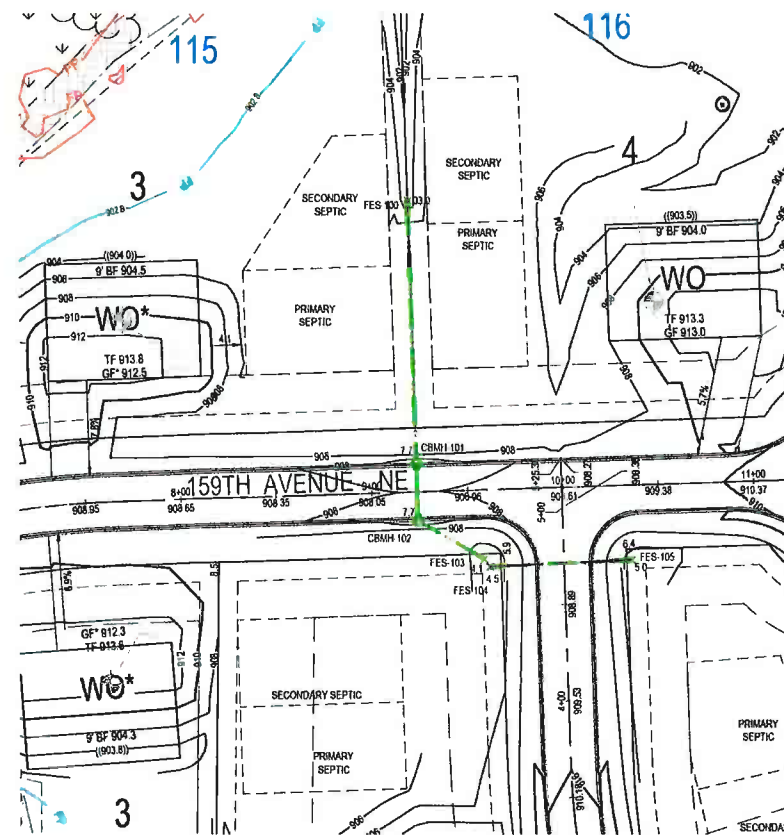


Know what's Below.
Call before you dig.

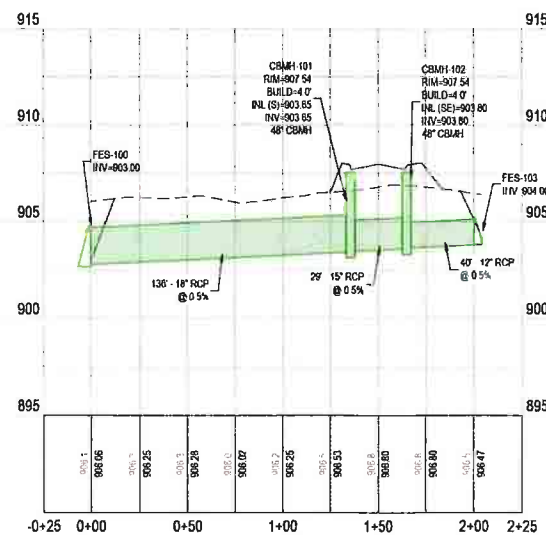


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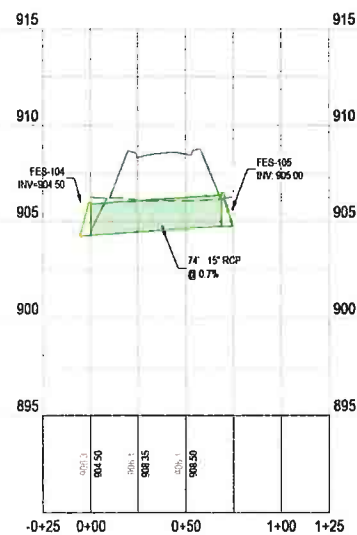




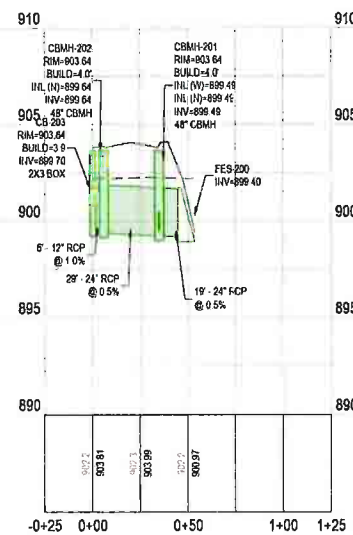
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VERT. SCALE: 1"=5'



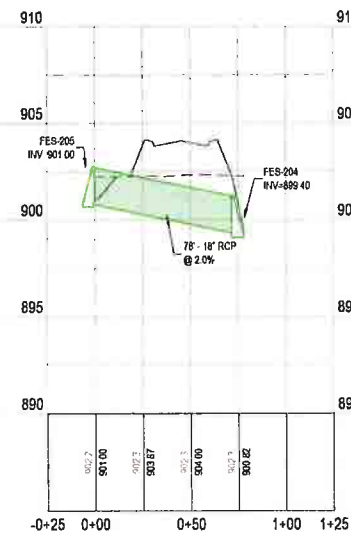
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VERT. SCALE: 1"=5'



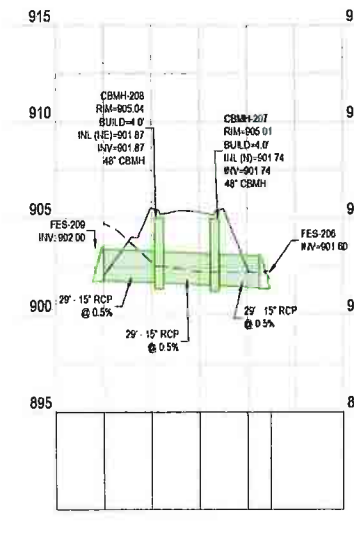
STORM FES-104 TO FES-105
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VERT. SCALE: 1"=5'



STORM FES-200 TO CB-203
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



STORM FES-204 TO FES-205
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



STORM FES-206 TO FES-209
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'

DEVELOPER
D HAM LAKE
OLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-0070
CITY



PROJECT KOHLE FIELDS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
CONTACT ENGINEER FOR ANY PRIOR HISTORY		
DATE	ISSUE / REVISION	REVIEW
10 JUL 2006	PRE PLAT SUBMITTAL	ETL
22 JUL 2006	SKETCH PLAN RE-SUBMITTAL	ETL
23 JUL 2006	WATERSHED SUBMITTAL	ETL
26 JUL 2006	PRE PLAT RE-SUBMITTAL	ETL
16 AUG 2006	PRE PLAT RE-SUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly licensed Professional Engineer under the laws of the State of MINNESOTA.

Enc 1 List, PE
 Licensed No. 50475
 Signature: _____
 Signature should be a digital reproduction of original. Not signed copy of this page may be at
 Lanford Professional Services, Ltd. (see also at available upon request)

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PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

LANDFORM
From Site to Finish

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Suite 513
Minneapolis, MN 55401

Tel 612-252-9070
Fax 612-252-9077
Web landform.net

FILE NAME C500LDP010 P&P.DWG

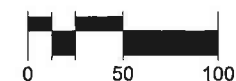
PROJECT NO. LDP24010

STORM SEWER PLAN & PROFILE

C5.1



Know what's **Below**.
Call before you dig.



EXISTING

- STORM MANHOLE
- SANITARY MANHOLE
- CATCH BASIN
- FIRE HYDRANT
- WATER VALVE
- FLARED END SECTION
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- WATER SERVICE
- EASEMENT
- SPOT ELEVATION

PROPOSED

- CATCH BASIN
- MANHOLE
- STORM SEWER
- SOIL SUBDRAIN
- CURB & GUTTER
- PROPERTY LINE
- EASEMENT
- POUD LINE
- LIMITS OF DISTURBANCE



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
12 JUL 2025	PRELIMINARY SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN RE-SUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
24 JUL 2025	PRELIMINARY SUBMITTAL	ETL
18 AUG 2025	PRELIMINARY SUBMITTAL	ETL

CERTIFICATION
I hereby certify that the plans were prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Enc 1: LDP PE
License No: 50015
Signature: [Signature]
Landform Professional Services, Inc.

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PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025



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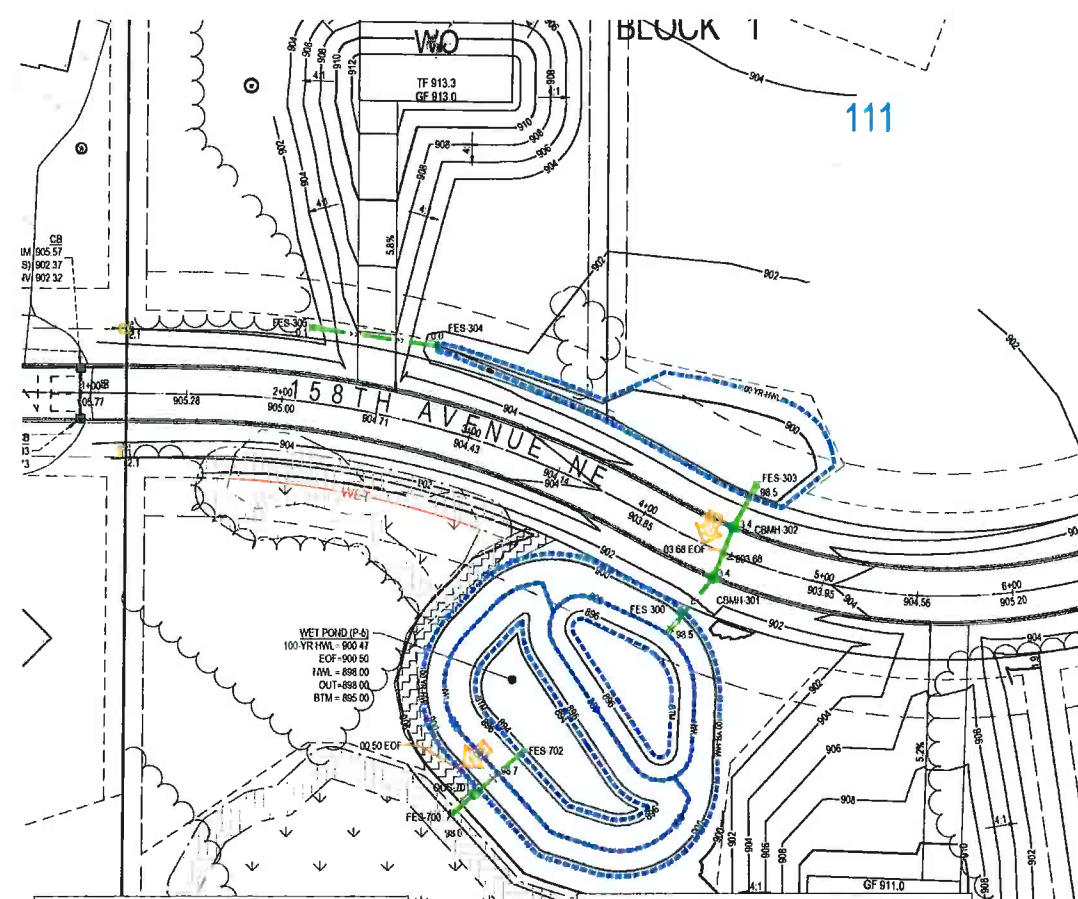
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME: C500LDP010 P&P.DWG

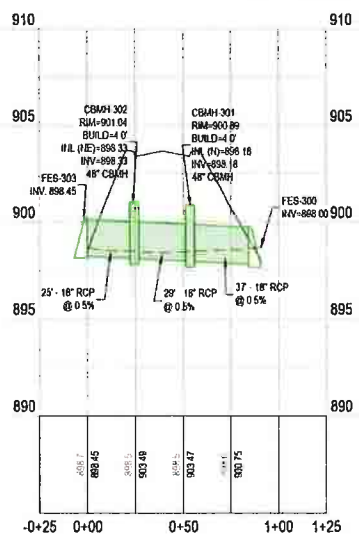
PROJECT NO: LDP24010

STORM SEWER PLAN & PROFILE

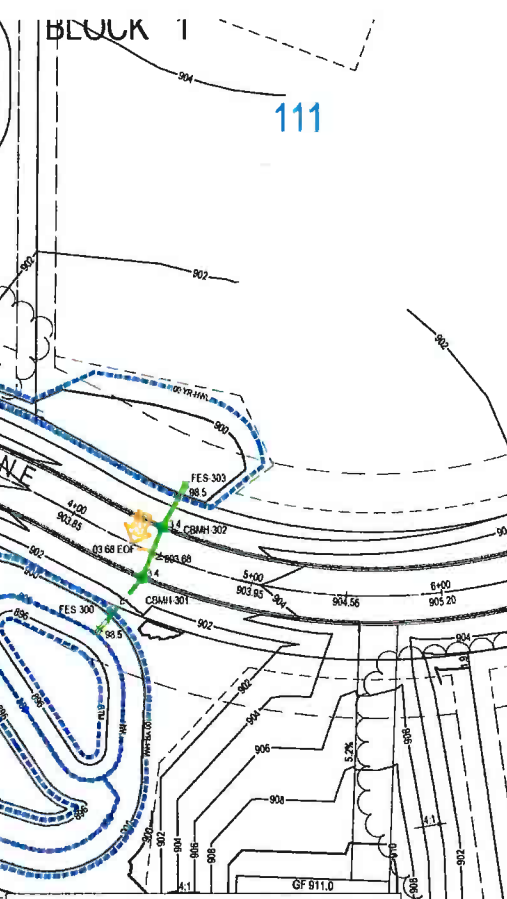
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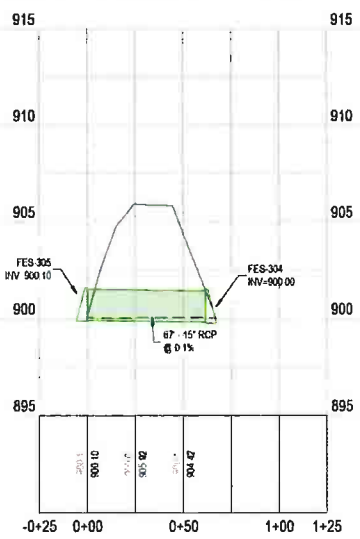
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TO FES-303



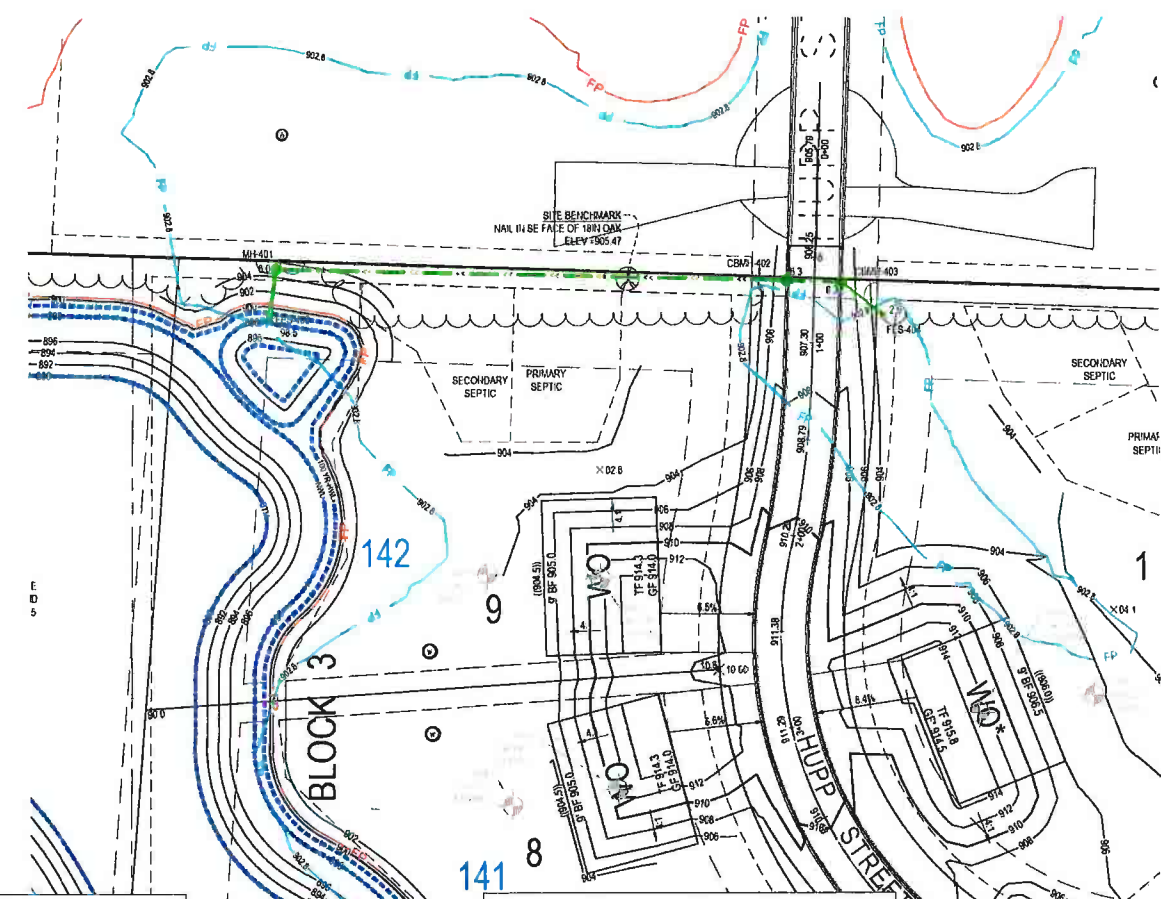
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VERT. SCALE: 1"=5'



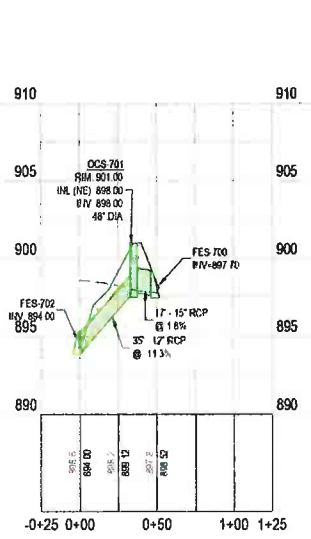
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TO FES-305



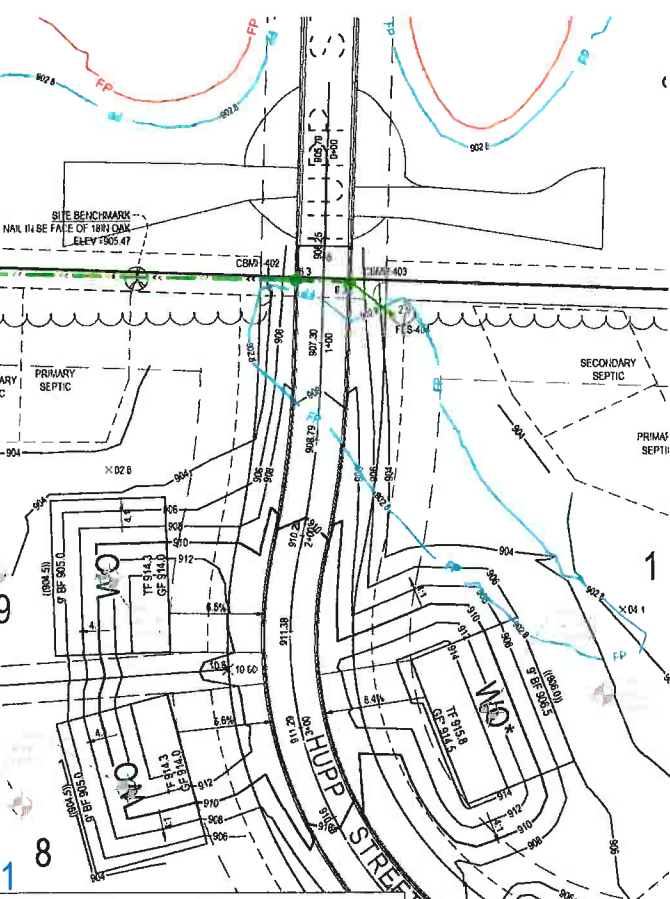
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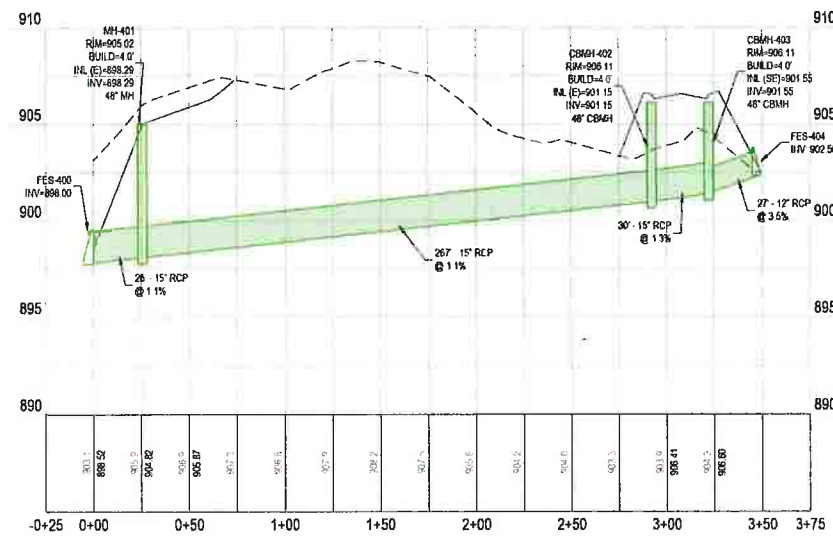
STORM FES-700
TO FES-702



STORM FES-700 TO FES-702
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



STORM FES-400
TO FES-404

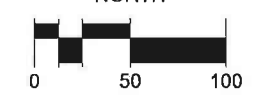


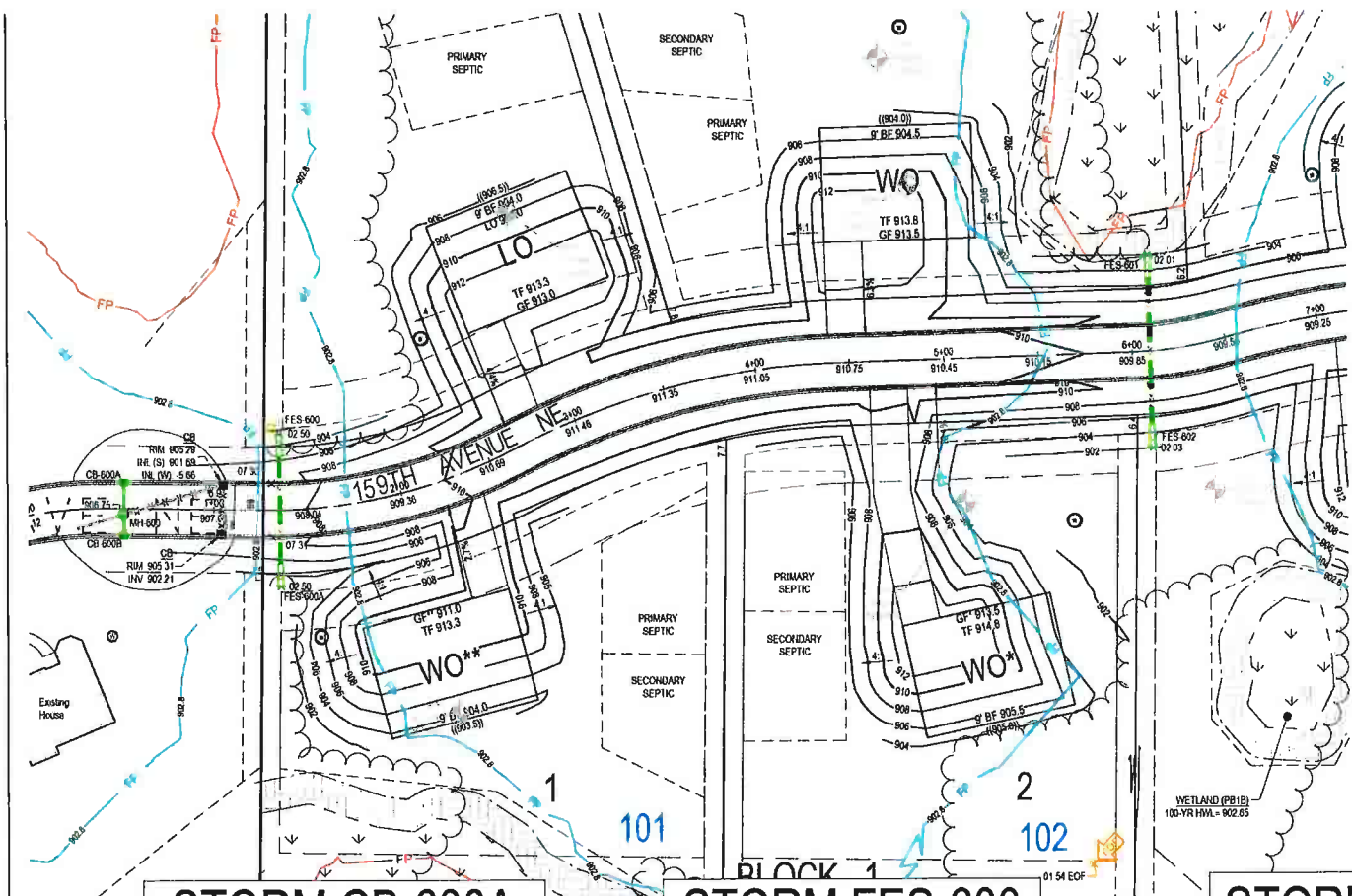
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HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'

LEGEND	
EXISTING	PROPOSED
STORM MANHOLE	STORM MANHOLE
SANITARY MANHOLE	SANITARY MANHOLE
CATCH BASIN	CATCH BASIN
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
FLARED END SECTION	FLARED END SECTION
STORM SEWER	STORM SEWER
SANITARY SEWER	SANITARY SEWER
WATERMAIN	WATERMAIN
WATER SERVICE	WATER SERVICE
EASEMENT	EASEMENT
SPOT ELEVATION	SPOT ELEVATION
	SOIL SUBDRAIN
	CURB & GUTTER
	PROPERTY LINE
	EASEMENT
	POND LINE
	LIMITS OF DISTURBANCE



Know what's Below.
Call before you dig.

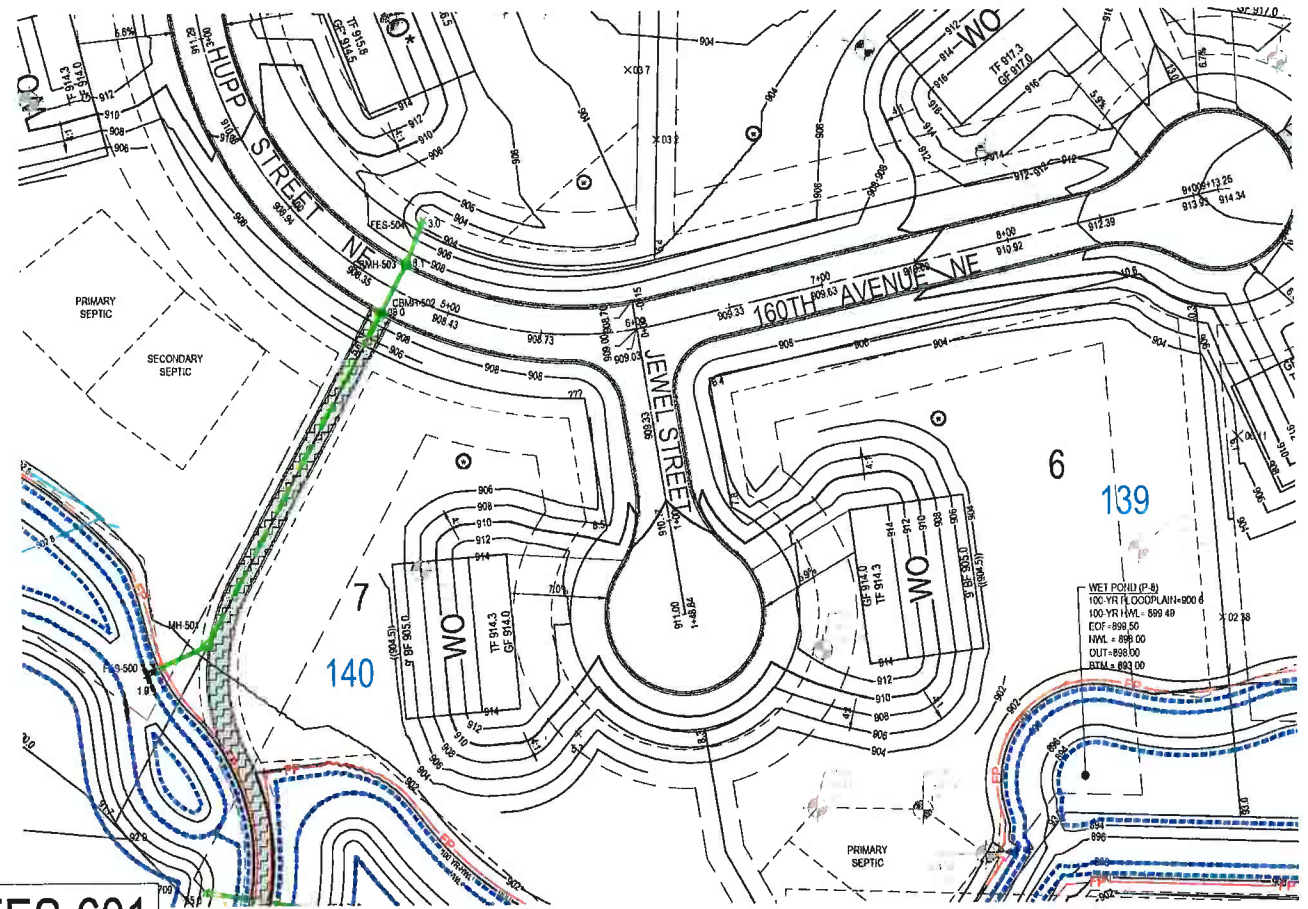




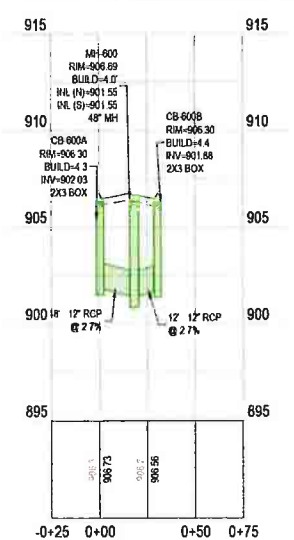
STORM CB-600A TO CB-600B

STORM FES-600 TO FES-600A

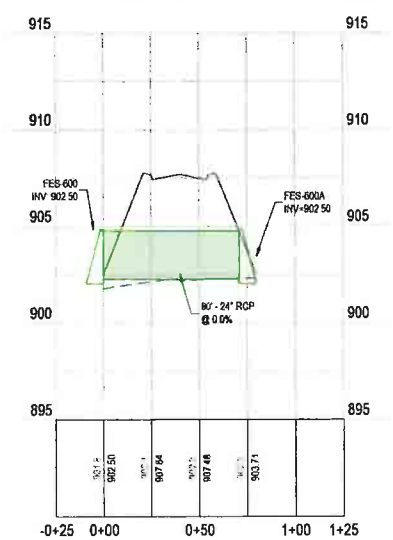
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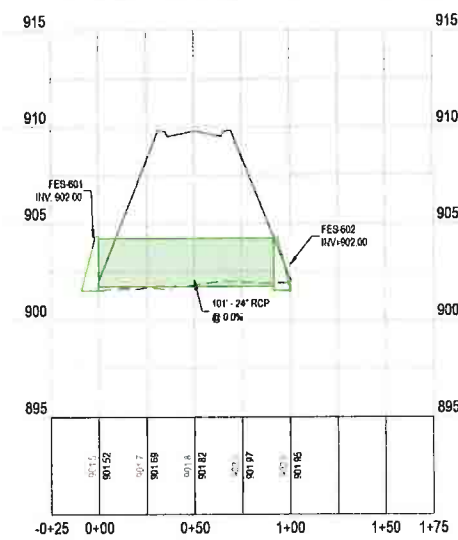
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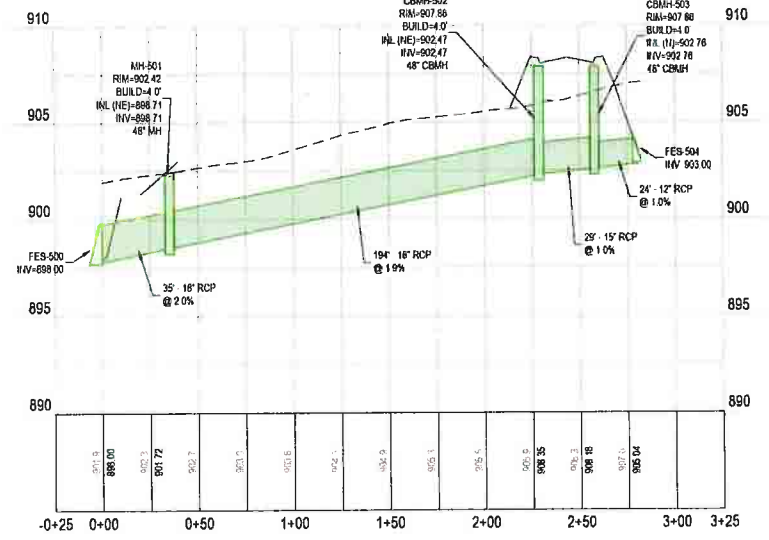
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VERT. SCALE: 1"=5'



STORM FES-600 TO FES-600A
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



STORM FES-601 TO FES-602
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



STORM FES-500 TO FES-504
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'

LEGEND

EXISTING	PROPOSED	CATCH BASIN
STORM MANHOLE	STORM MANHOLE	MANHOLE
CATCH BASIN	CATCH BASIN	STORM SEWER
FIRE HYDRANT	FIRE HYDRANT	SOIL SUBDRAIN
WATER VALVE	WATER VALVE	CURB & GUTTER
FLARED EXIST. SECTION	FLARED EXIST. SECTION	PROPERTY LINE
STORM SEWER	STORM SEWER	EASEMENT
SAINTARY SEWER	SAINTARY SEWER	POUND LINE
WATERMAIN	WATERMAIN	LIMITS OF DISTURBANCE
WATER SERVICE	WATER SERVICE	
EASEMENT	EASEMENT	
SPOT ELEVATION	SPOT ELEVATION	

811
Know what's Below.
Call before you dig.

NORTH

0 50 100

DEVELOPER
JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070

CITY

City of Ham Lake

PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE ISSUE / REVISION REVIEW

10 JUL 2005	PRE-PLAN SUBMITTAL	ETL
22 JUL 2005	PRE-PLAN SUBMITTAL	ETL
23 JUL 2005	PRE-PLAN SUBMITTAL	ETL
24 JUL 2005	PRE-PLAN SUBMITTAL	ETL
25 JUL 2005	PRE-PLAN SUBMITTAL	ETL

CERTIFICATION

I hereby certify that the plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

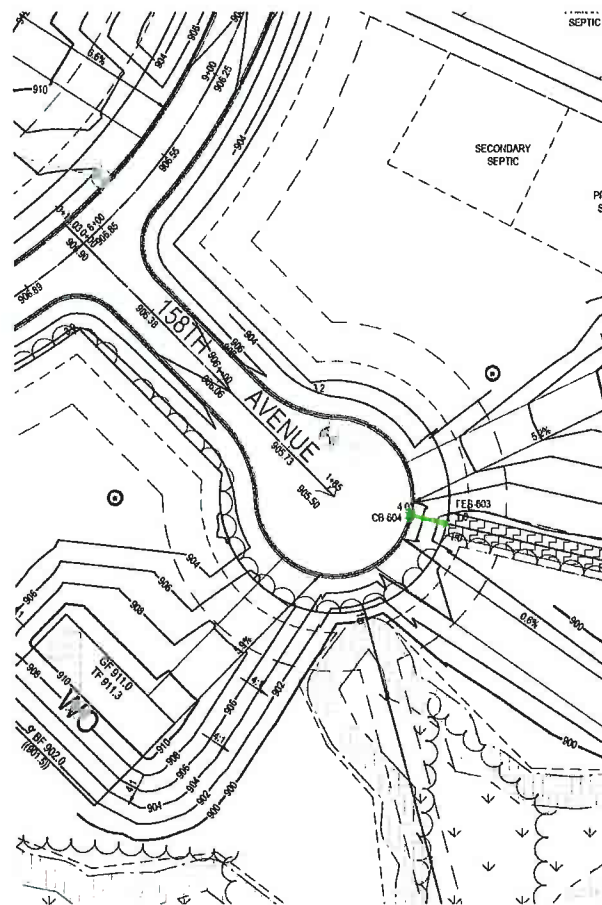
LANDFORM
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

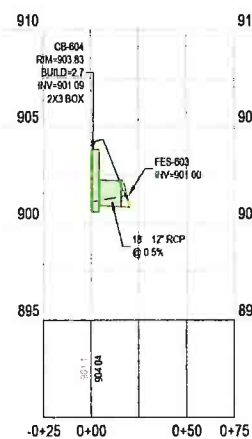
FILE NAME: C500LDP010 P&P.DWG
PROJECT NO.: LDP24010

STORM SEWER PLAN & PROFILE

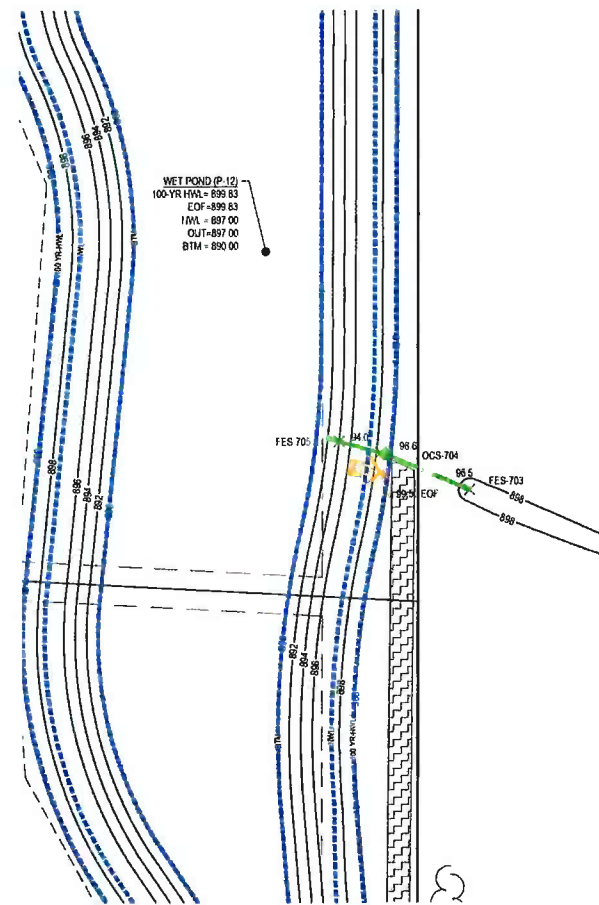
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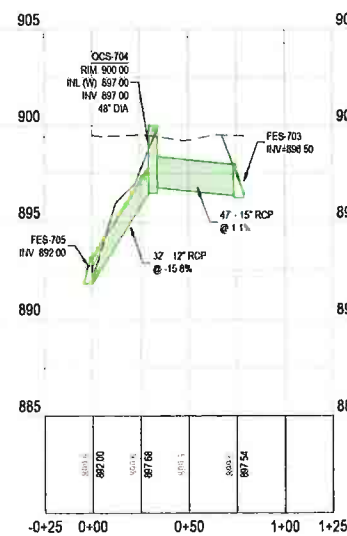
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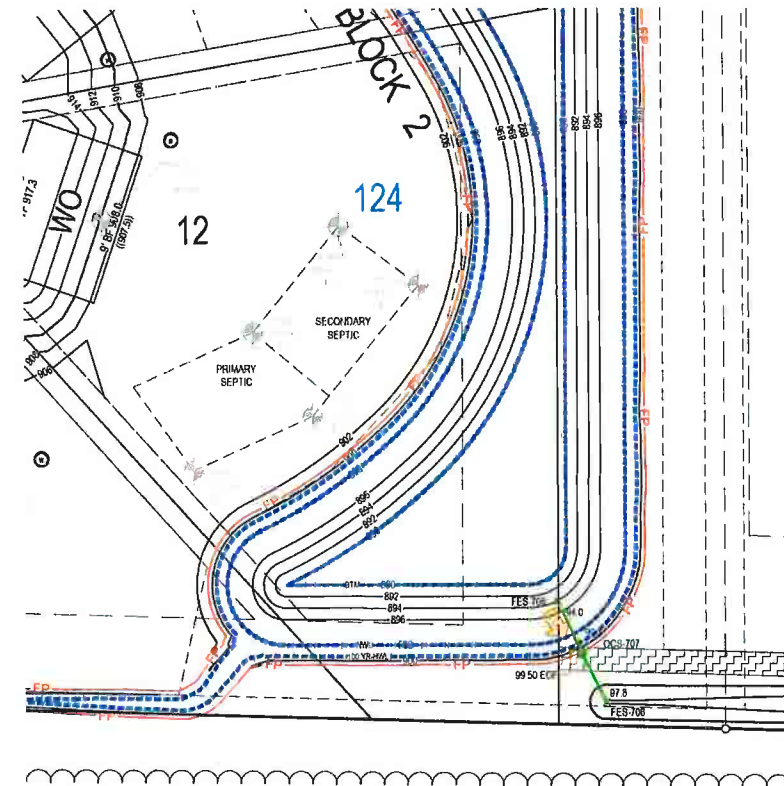
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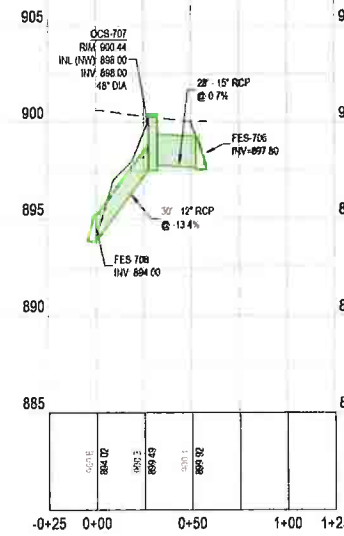
STORM FES-703 TO FES-705



STORM FES-703 TO FES-705
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'

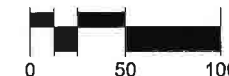


STORM FES-706 TO FES-708



STORM FES-706 TO FES-708
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'

LEGEND		
EXISTING	PROPOSED	
		CATCH BASIN
		MANHOLE
		STORM SEWER
		SOIL SUBDRAIN
		CURB & GUTTER
		PROPERTY LINE
		EASEMENT
		POUND LINE
		LIMITS OF DISTURBANCE



DEVELOPER
JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
DATE	ISSUE / REVISION	REVIEW
10 JUL 2005	PRE PLAT SUBMITTAL	ETL
20 JUL 2005	PRE PLAT SUBMITTAL	ETL
20 JUL 2005	PRE PLAT SUBMITTAL	ETL
20 JUL 2005	PRE PLAT SUBMITTAL	ETL
10 AUG 2005	PRE PLAT SUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

DATE: 10/18/05

License No: 56075

Signature: [Signature]

Landform Professional Services, Inc.

105 South Fifth Avenue

Suite 513

Minneapolis, MN 55401

TEL: (612)-252-9070

FAX: (612)-252-9077

Web: landform.net

FILE NAME: C500LDP010 P&P.DWG

PROJECT NO: LDP24010

STORM SEWER PLAN & PROFILE

AUGUST 18, 2005

LANDFORM

From Site to Finish

105 South Fifth Avenue

Suite 513

Minneapolis, MN 55401

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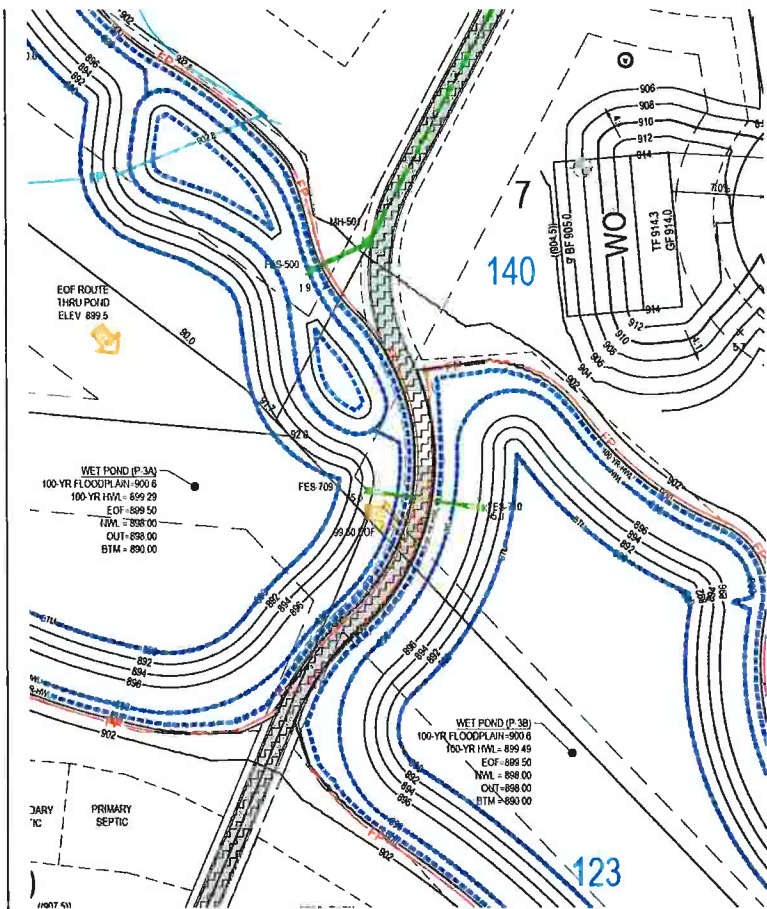
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PROJECT NO: LDP24010

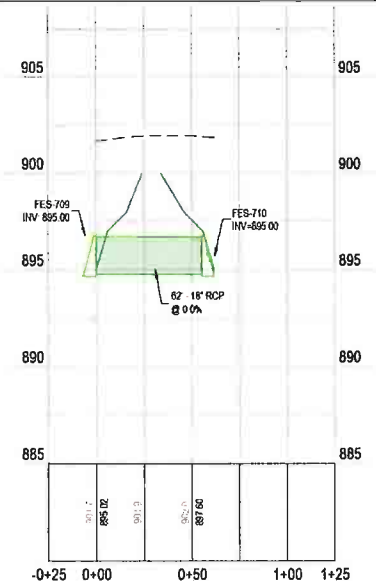
STORM SEWER PLAN & PROFILE

AUGUST 18, 2005

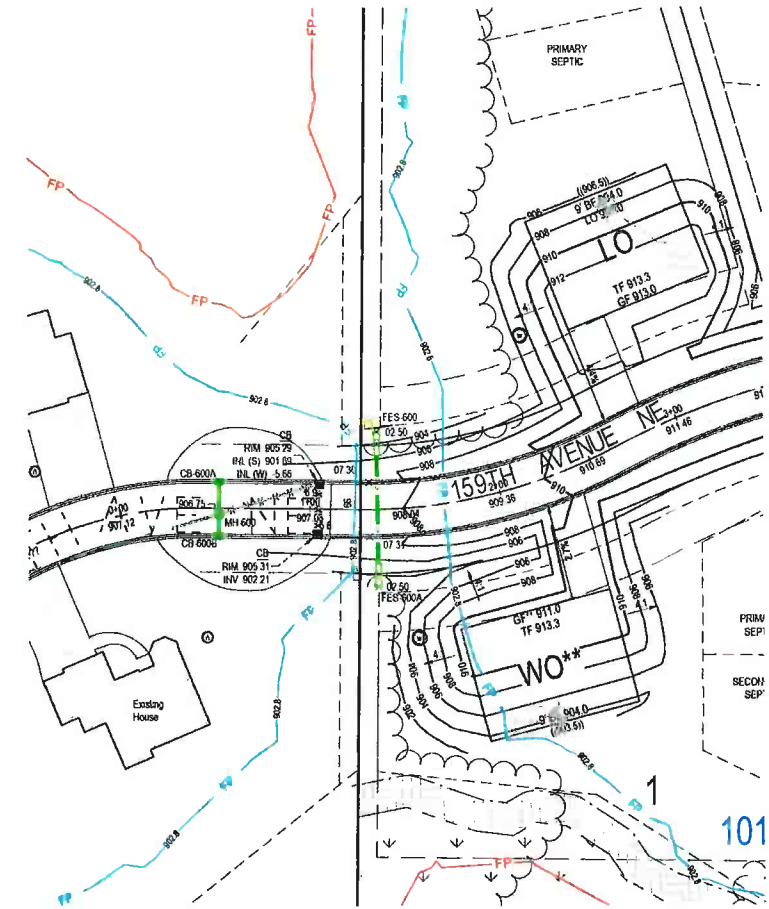
LANDFORM



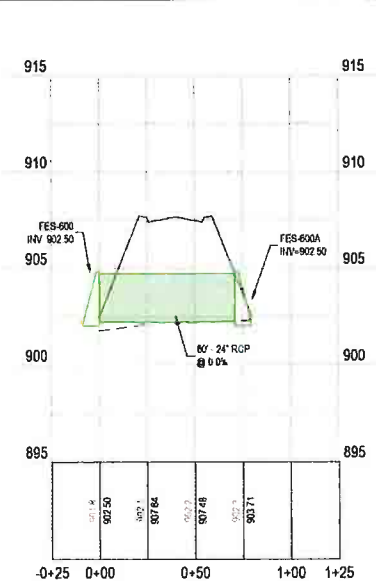
STORM FES-709 TO FES-710



STORM FES-709 TO FES-710
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



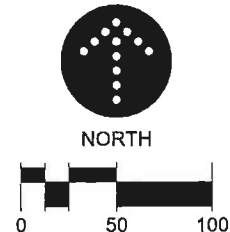
STORM FES-900 TO FES-901



STORM FES-600 TO FES-600A
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'

LEGEND

EXISTING	PROPOSED
STORM MANHOLE	STORM MANHOLE
SANITARY MANHOLE	SANITARY MANHOLE
CATCH BASIN	CATCH BASIN
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
FLARED END SECTION	FLARED END SECTION
STORM SEWER	STORM SEWER
SANITARY SEWER	SANITARY SEWER
WATERMAIN	WATERMAIN
EASEMENT	EASEMENT
SPOT ELEVATION	SPOT ELEVATION



DEVELOPER
JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
12 JUL 2025	PRE-PLAN SUBMITTAL	ETL
22 JUL 2025	SWITCH PLAN RE-SUBMITTAL	ETL
23 JUL 2025	WATERSEED SUBMITTAL	ETL
24 JUL 2025	PRE-PLAN RE-SUBMITTAL	ETL
18 AUG 2025	PRE-PLAN RE-SUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Eric L. Lum, PE
License No. 50175

Signatures shown on this plan are not valid unless accompanied by the original signature of the Engineer.

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025



105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

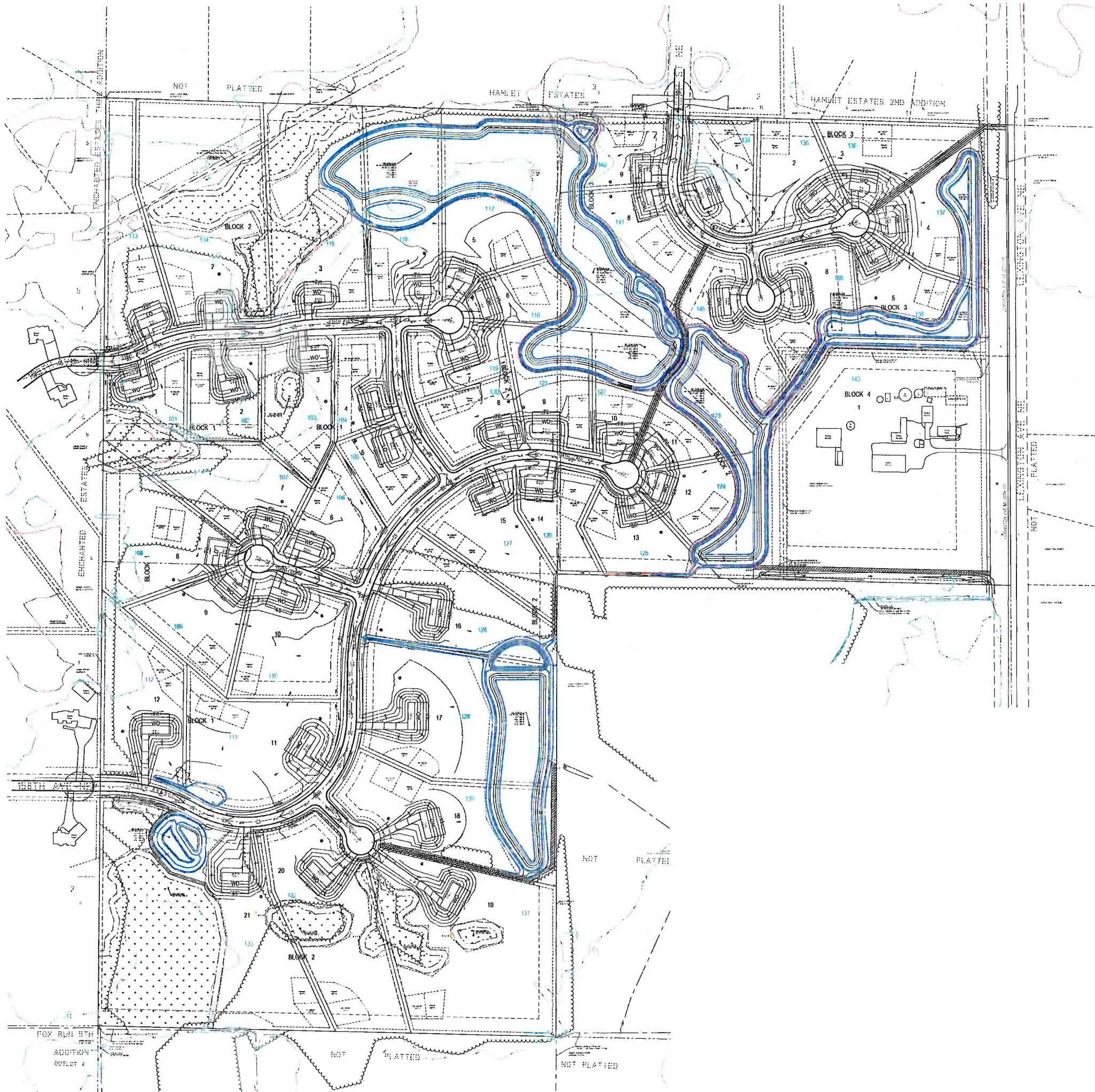
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME: C500LDP010 P&P.DWG

PROJECT NO.: LDP24010

STORM SEWER PLAN & PROFILE

C5.5



- GENERAL NOTES**
- 1 For construction staking and surveying services contact Landform at 612 252 9070
- STREET NOTES**
- 1 Spot Elevations at curbsides indicate flowlines or back or curb unless noted otherwise. See Sheets C5 0 thru C5 6 for rim elevations of catch basins.

2 Grades between proposed spot elevations shall be continuous and nonvariable. Spot Elevations shall govern over contour lines.

3 Meet and Match existing curb. Transition as needed.

4 Concrete Joints
Install joints as shown and align across sidewalks, curbs, and pavement, paying attention to spacing of expansion joints. Joint spacing shall be as follows:
a. Tooled joints: Divide panels into nominally equal areas unless shown otherwise.
b. Expansion Joints: Sidewalks - 40 feet max. Curbs - 60 feet max. Pavement - 80 feet max. Adjacent to building foundations and stoops.
c. Contraction Joints: Sidewalks - 6 to 10 feet. Curbs and Aprons - 12 to 15 feet.

5 Adjust all structure rims to match pavement elevations.

6 Curb and gutter type at all intersections shall be B&B.

7 Surmountable curb and gutter on streets.

8 Install bituminous wedge per STR 28.

9 Boulevards shall be resurfaced with a minimum of 6" topsoil.

10 City of Ham Lake Standard Specification for Street and Utility Construction shall govern.

11 Wear course will be installed in the future.

12 PVC conduit locations are to be coordinated with approved private utility permit.

LEGEND

EXISTING	PROPOSED	
ST	STORM MANHOLE	CATCH BASIN
SL	SANITARY MANHOLE	MANHOLE
CB	CATCH BASIN	FLARED END
FD	FIRE HYDRANT	SOIL SUBDRAIN CLEAN OUT
WV	WATER VALVE	CURB & GUTTER
FES	FLARED END SECTION	SAW CUT
SS	STORM SEWER	EASEMENT
SSW	SANITARY SEWER	POUND LINE
WM	WATERMAIN	LIMITS OF DISTURBANCE
WS	WATER SERVICE	SPOT ELEVATION
E	EASEMENT	
SE	SPOT ELEVATION	

DEVELOPER
JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

CONTACT / ENGINEER FOR ANY PROJECT HISTORY

DATE	ISSUE / REVISION	REVIEW
15 JUL 2025	PRE-PLAT SUBMITTAL	ETL
22 JUL 2025	SWITCH PLAN RE-SUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
26 JUL 2025	PRE-PLAT RE-SUBMITTAL	ETL
18 AUG 2025	PRE-PLAT RE-SUBMITTAL	ETL

CERTIFICATION

I hereby certify that the plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

ENR 1, LUD, PE
License No. 50473
Signature of Engineer
Landform Professional Services, Inc.

IF THE SIGNATURE, SEAL, OR EXPIRATION DATE ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BY UNAUTHORIZED MEANS. READABILITY AND NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025



105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

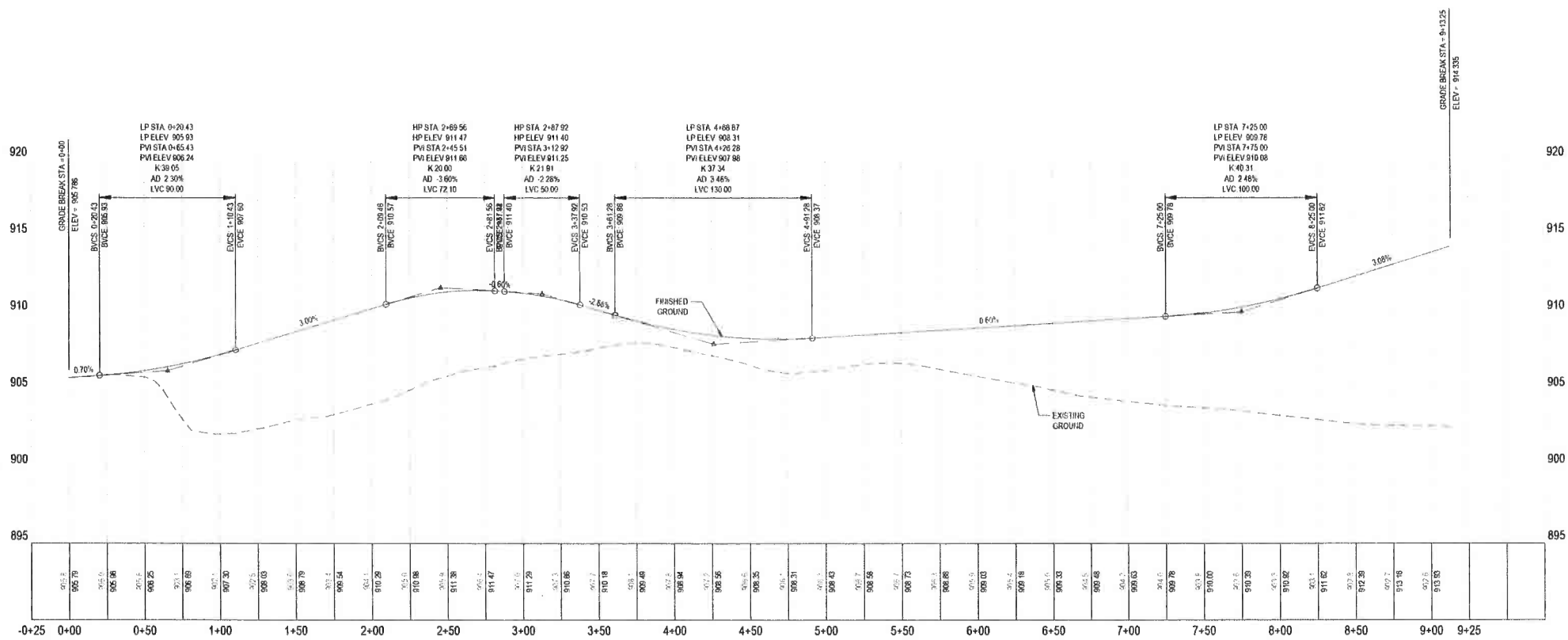
FILE NAME: C600LDP010.DWG
PROJECT NO.: LDP24010

STREET PROFILES INDEX & NOTES

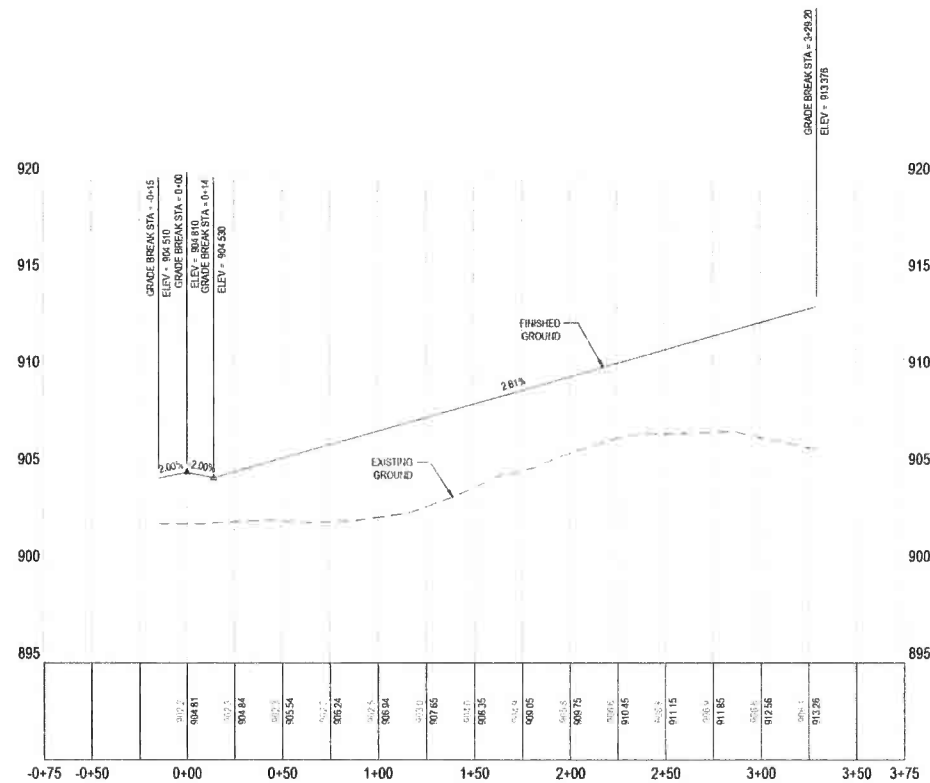
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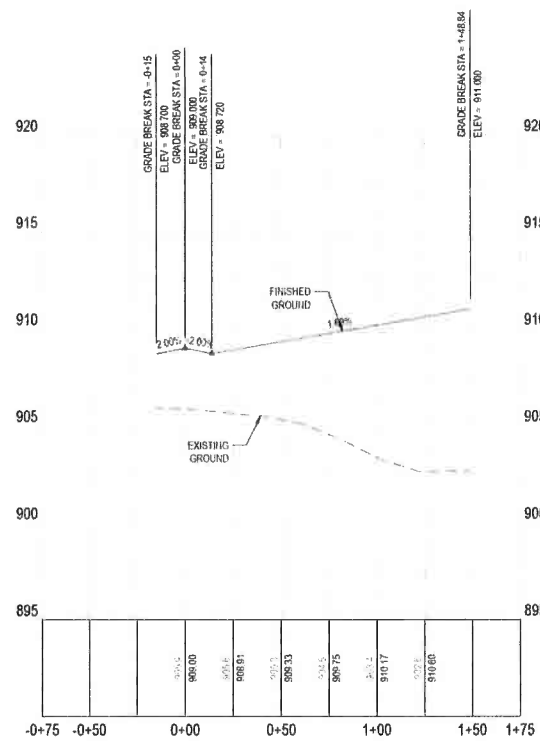
Know what's Below.
Call before you dig.



ALN-HUPP STREET
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



ALN-158TH LANE
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



ALN-JEWEL STREET
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'

DEVELOPER
JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
DATE	ISSUE / REVISION	REVIEW
16 JUL 2025	PRE-PLAT SUBMITTAL	ETL
23 JUL 2025	PRE-PLAT SUBMITTAL	ETL
23 JUL 2025	WATERGATED SUBMITTAL	ETL
26 JUL 2025	PRE-PLAT RE-SUBMITTAL	ETL
18 AUG 2025	PRE-PLAT RE-SUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Eng. T. Lutz PE
License No. 55013

Signature of Engineer: [Signature]
Landform Professional Services, Inc. 10000 Hennepin Avenue, Suite 513, Minneapolis, MN 55401

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025



105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

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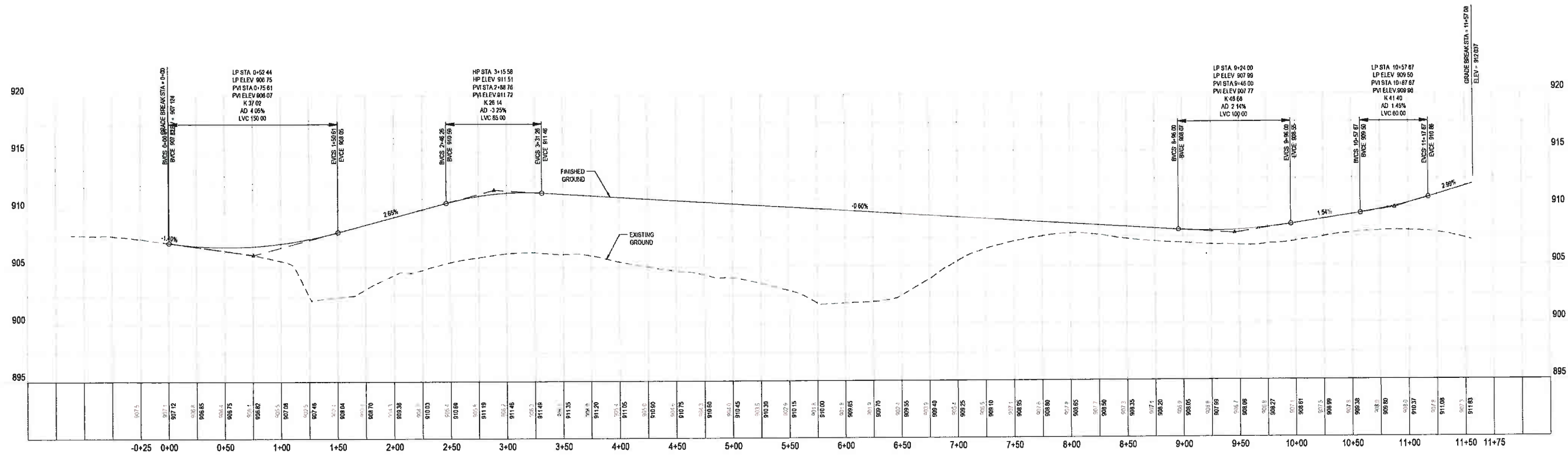
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PROJECT NO.: LDP24010

STREET PROFILES

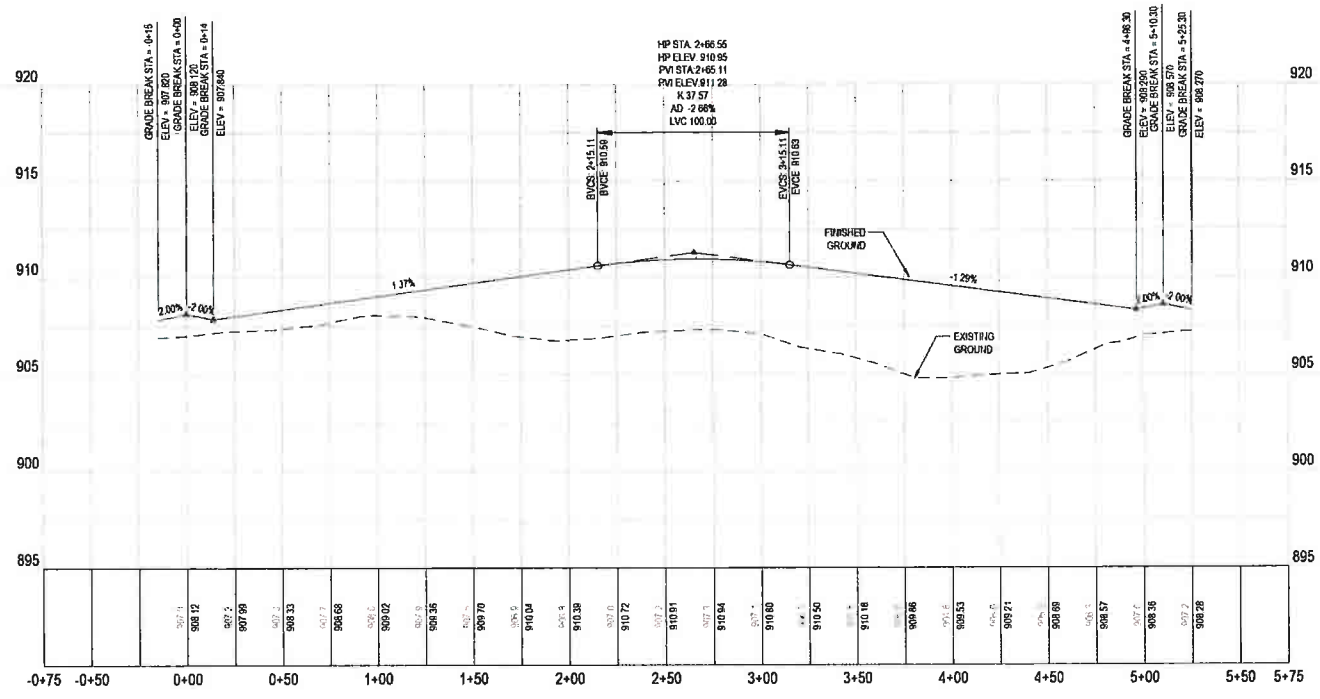
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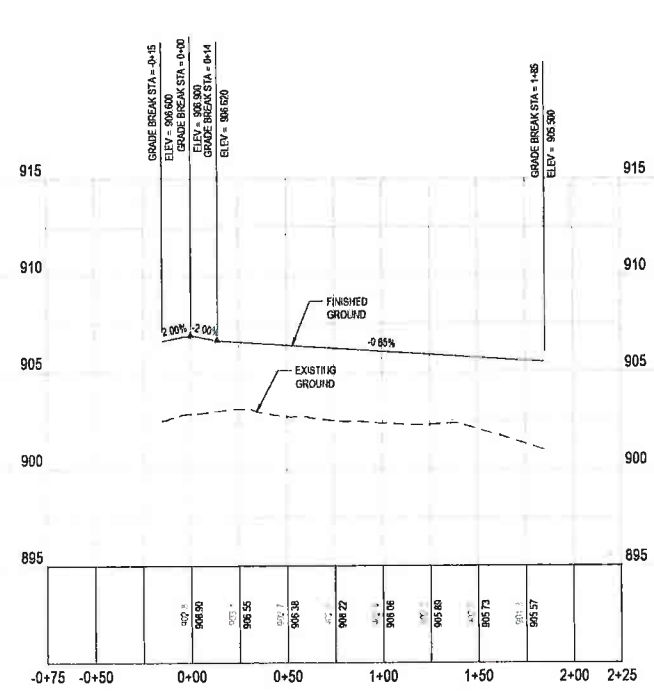
Know what's Below.
Call before you dig.



ALN-159TH AVE
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



ALN-FRAIZER STREET NE
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



ALN-158TH AVE
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'

DEVELOPER
JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
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TEL: (612)-252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
CONTACT ENGINEER FOR ANY PROJECT HISTORY		
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23 JUL 2025	WATERSHED SUBMITTAL	ETL
26 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL

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AUGUST 18, 2025



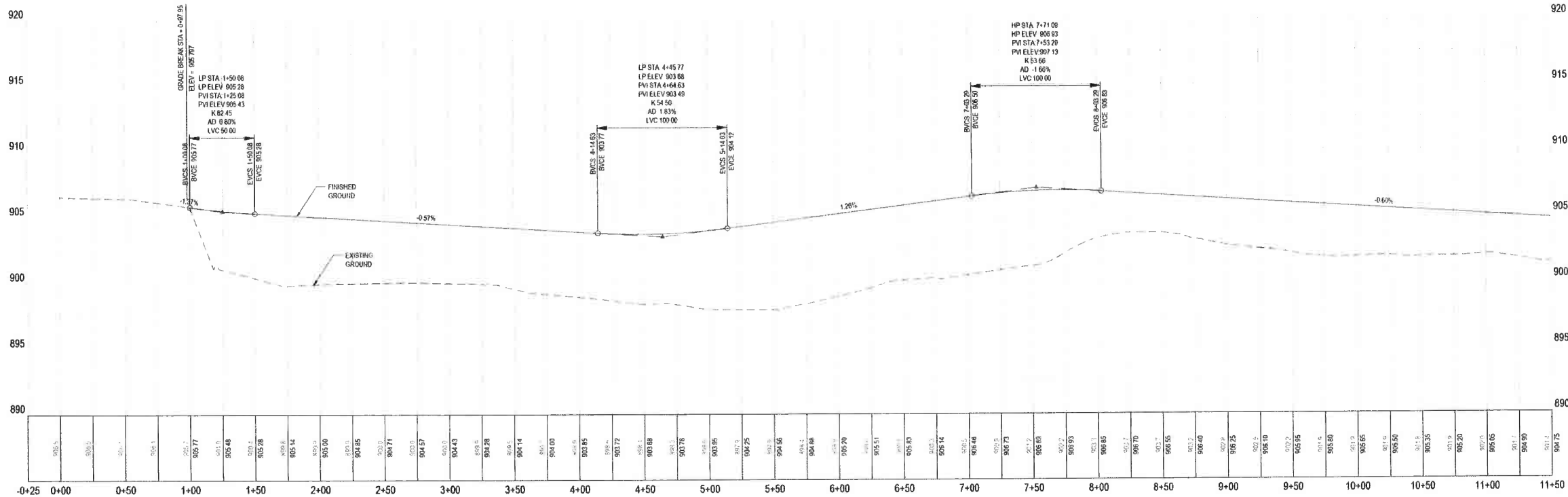
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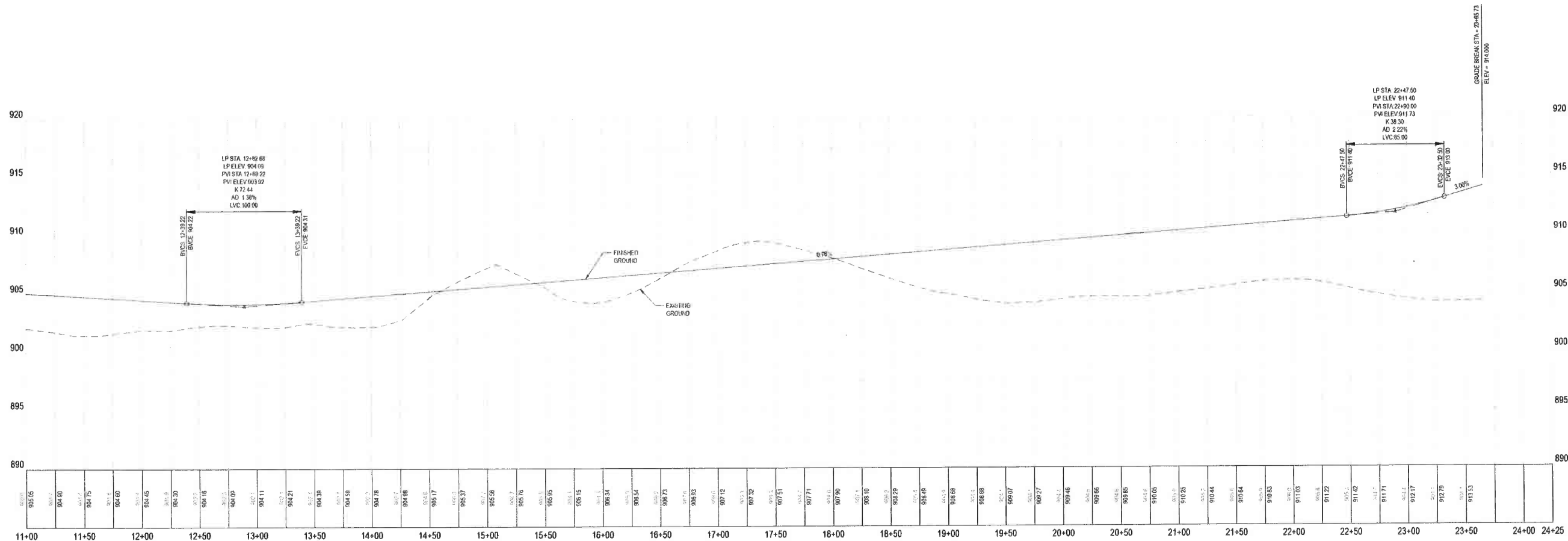
FILE NAME: C600LDP010.DWG
PROJECT NO.: LDP24010

STREET PROFILES

C6.2



ALN-158TH AVE NE
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



ALN-158TH AVE NE
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'

DEVELOPER
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HOLDINGS, LLC
105 5TH AVE. S.
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MINNEAPOLIS, MN 55401
TEL: (612)-252-9070

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PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

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23 JUL 2025	WATERSHED SUBMITTAL	ETL
29 JUL 2025	PRE PLAT RE-SUBMITTAL	ETL
18 AUG 2025	PRE PLAT RE-SUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Site: 158TH AVE NE
Location: 5013
Signature: [Signature]
Landform Engineering & Surveying, Inc.

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PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

LANDFORM
From Site to Finish

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Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C600LDP010.DWG

PROJECT NO. LDP24010

STREET PROFILES

C6.3

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23 JUL 2025	WATERSHED SUBMITTAL	ETL
29 JUL 2025	PRE PLAT RE-SUBMITTAL	ETL
18 AUG 2025	PRE PLAT RE-SUBMITTAL	ETL

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REPRODUCIBILITY AND IS NOT A VALID DOCUMENT. PLEASE CONTACT
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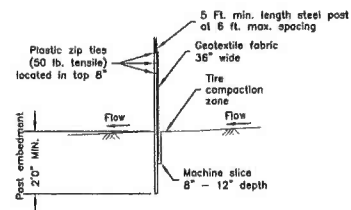
PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C700LDP010.DWG

PROJECT NO. LDP24010



GENERAL SILT FENCE NOTES:

Refer to MnDOT specs. 2573 & 3886

Silt fence shall be installed along the contour (on a level horizontal plane)

Curve the end of the silt fence up-gradient so that it contains the muddy water.

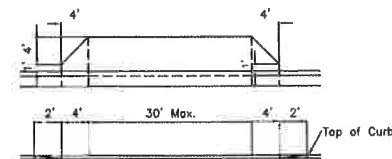
Maximum contributing area shall be one acre.

No single fencing unit should exceed 330 feet.

Follow slope grade/length guidelines:

SLOPE GRADE	MAX. LENGTH
LESS THAN 2%	100 FT.
2 - 5%	75 FT.
5 - 10%	50 FT.
10 - 20%	25 FT.
GREATER THAN 20%	15 FT.

SILT FENCE: MACHINE SLICED HL-760A
NOT TO SCALE



Note:

① Match existing driveway width and elevation at matchline unless otherwise directed by engineer (See Plans).

② If existing driveway is concrete, apron and driveway shall be constructed of 6" concrete with 6" x 6" - 6/6 welded wire fabric per MnDOT Spec. 3303 in flat sheets, not rolls. Epoxy coated dowel bars conforming to MnDOT Spec. 3302 shall be placed in the existing driveway pavement along the sawcut line. Dowel bars shall be properly coated with a MnDOT approved lubricant. Dowel bars shall be size #4 and placed at 24" OC. All work shall conform to MnDOT Spec. 2301 and 2531. Concrete shall be ready-mix 3,900 PSI at 28 days, with air content of 5% to 7%, coarse aggregate shall be 1" max, class A and per MnDOT Spec. 3137. Joint sealer shall be hot-poured, low modulus, mastic type per MnDOT Spec. 3725. Membrane curing compound shall be per MnDOT Specs. 3754 and 2301.3M.

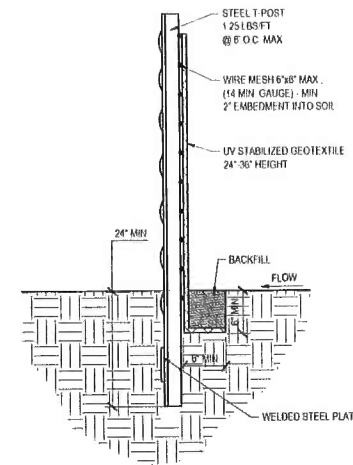
③ If existing driveway is bituminous, apron and driveway behind apron shall be bituminous per A. above. All bituminous work shall conform to MnDOT Specifications 2112, 2211, 2357 and 2360. Tack coat is to be applied between concrete and bituminous surfaces.

④ If existing driveway is gravel, apron and driveway within R/W shall be constructed per existing bituminous driveways. Gravel driveways matching beyond R/W shall be 6" Class 5.

⑤ Driveways in fill sections to slope up from 1" curb lip to end of apron (5' from back of curb) at 2% then slope to matchline.

⑥ For fill slope, use spread at location to determine height to ensure no water is on property during a ten-year storm event.

PRIVATE DRIVEWAY/FIELD ENTRANCE
WITH D312M CURB HL-363A2
NOT TO SCALE

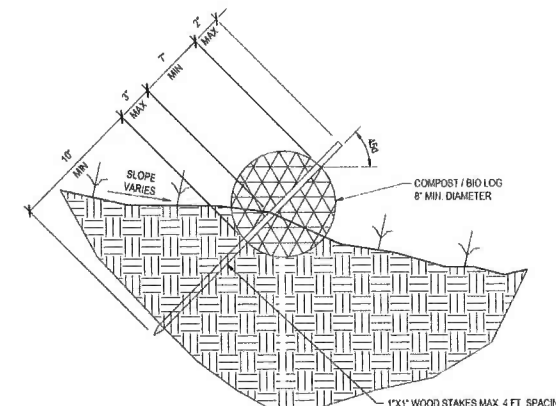


NOTES:

- DIG A 6" TRENCH ALONG THE INTENDED FENCE LINE OR USE MACHINE SLICED ANCHOR
- WIRE MESH MUST BE MINIMUM OF 2' INTO THE GROUND AND NO MORE THAN 36" ABOVE THE ORIGINAL GROUND SURFACE
- DRIVE ALL POSTS INTO THE GROUND AT THE BACK SIDE OF THE TRENCH
- LAYOUT WIRE MESH AND SILT FENCE ON THE UPHILL SIDE ALONG THE FENCE LINE, AND BACKFILL

HEAVY DUTY SILT FENCE

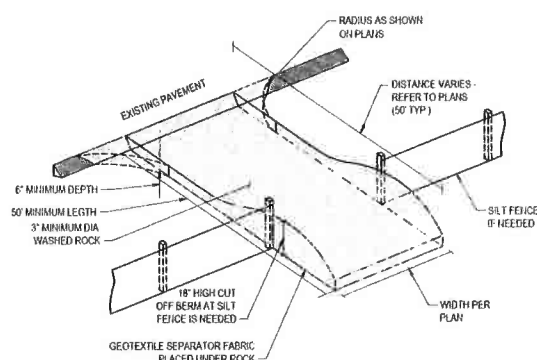
NO SCALE



MAINTAIN BY REMOVING SEDIMENT AND REPLACING DAMAGED LOGS UNTIL TURF IS ESTABLISHED. REMOVE AFTER PERMANENT STABILIZATION IS COMPLETE.

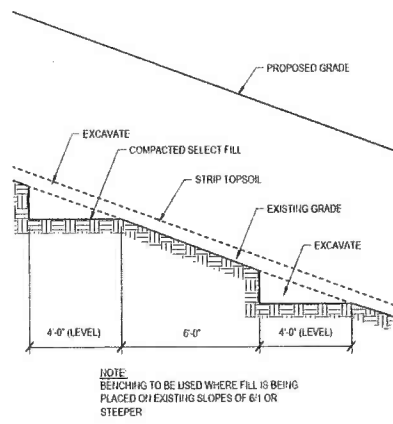
TEMPORARY COMPOST/BIO LOG

NO SCALE



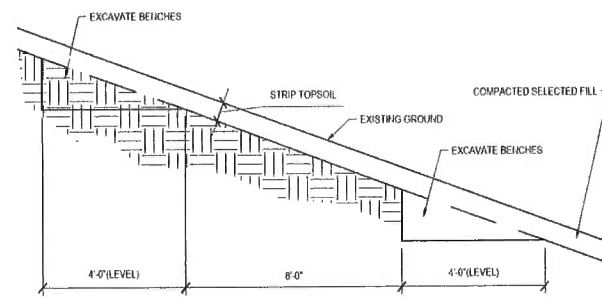
VEHICLE TRACKING PAD

NO SCALE



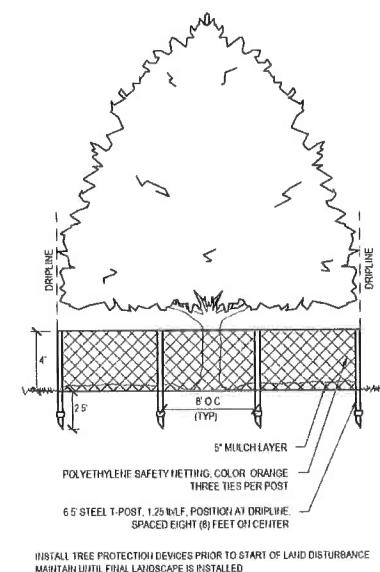
SOIL CONSERVATION SLOPE BENCHING

NO SCALE



SOIL STABILIZATION ON SLOPE

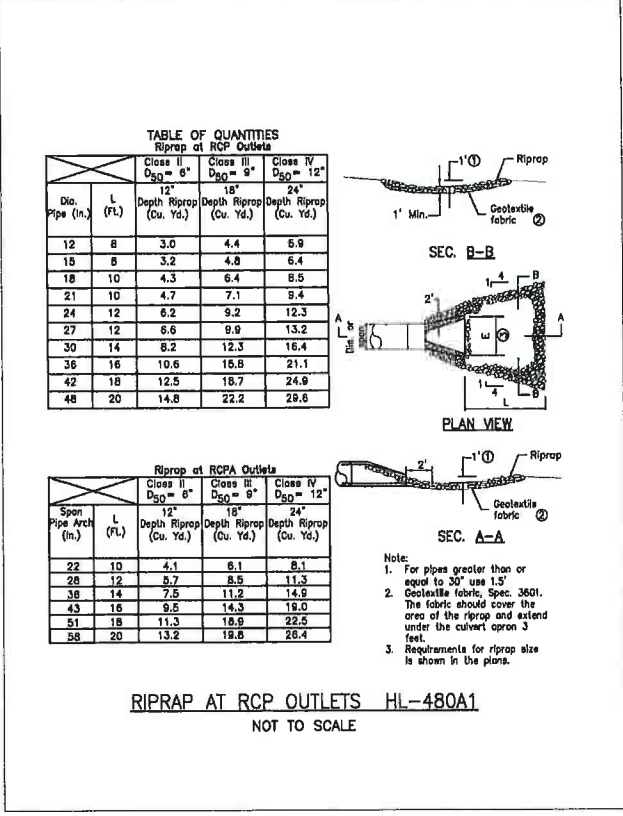
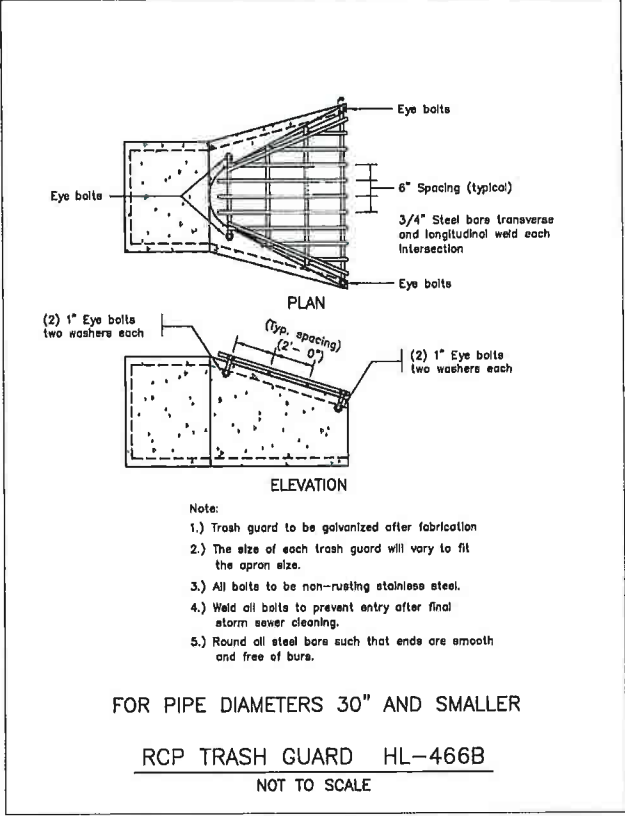
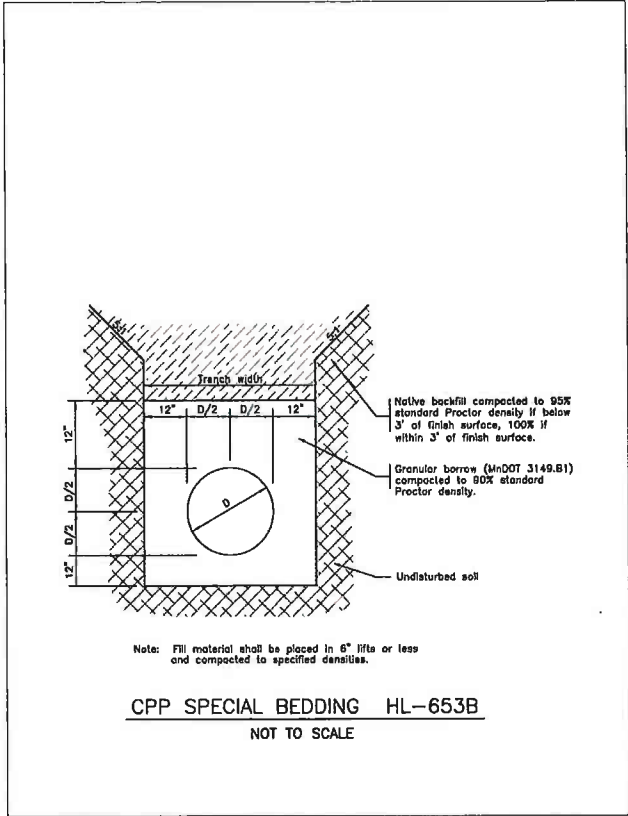
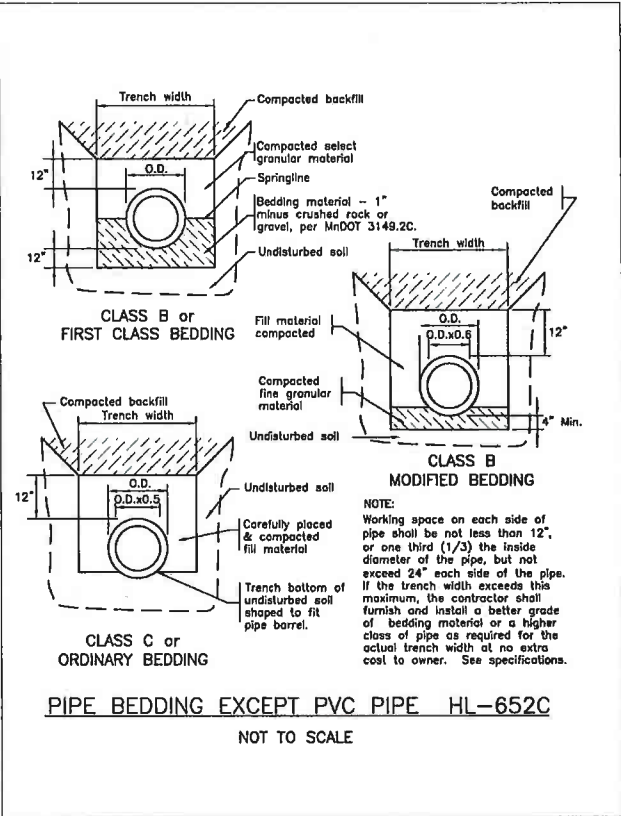
NO SCALE



INSTALL TREE PROTECTION DEVICES PRIOR TO START OF LAND DISTURBANCE. MAINTAIN UNTIL FINAL LANDSCAPE IS INSTALLED.

TREE PROTECTION

NO SCALE

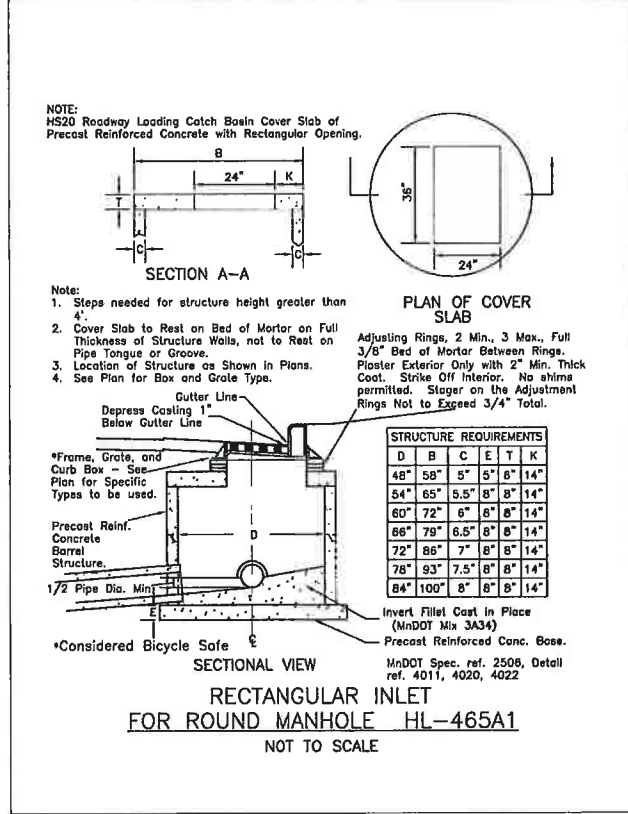
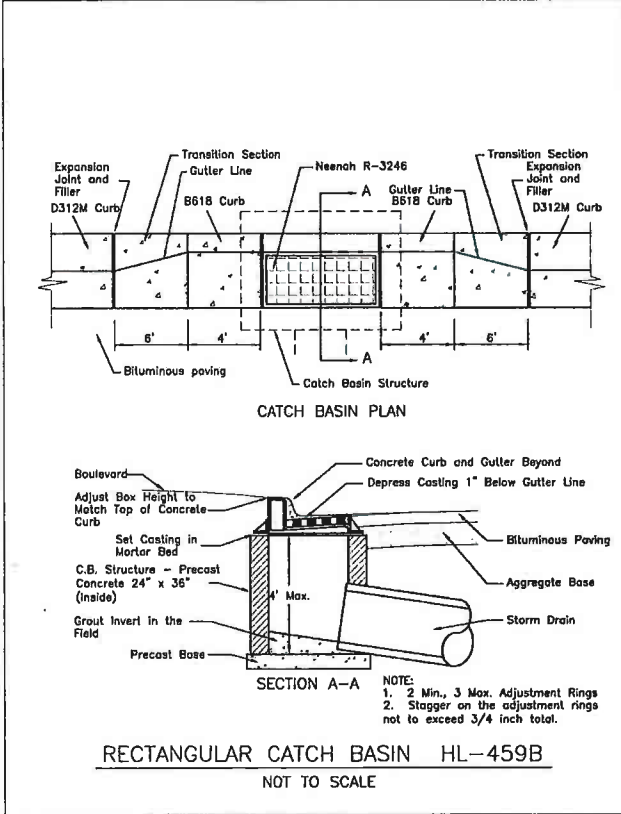


1 PIPE BEDDING EXCEPT PVC PIPE NO SCALE

2 CPP SPECIAL BEDDING NO SCALE

3 RCP TRASH GUARD 30" AND SMALLER NO SCALE

4 RIPRAP AT RCP OUTLETS NO SCALE

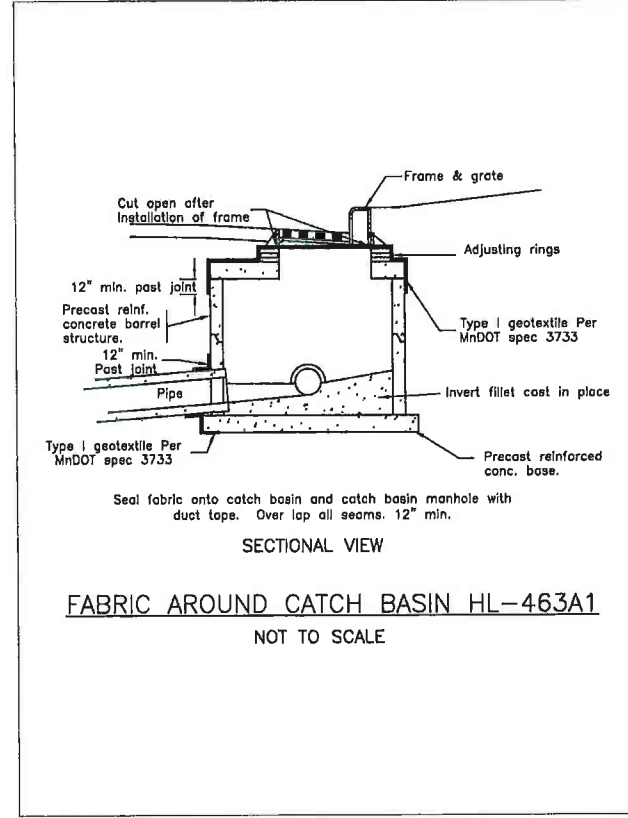
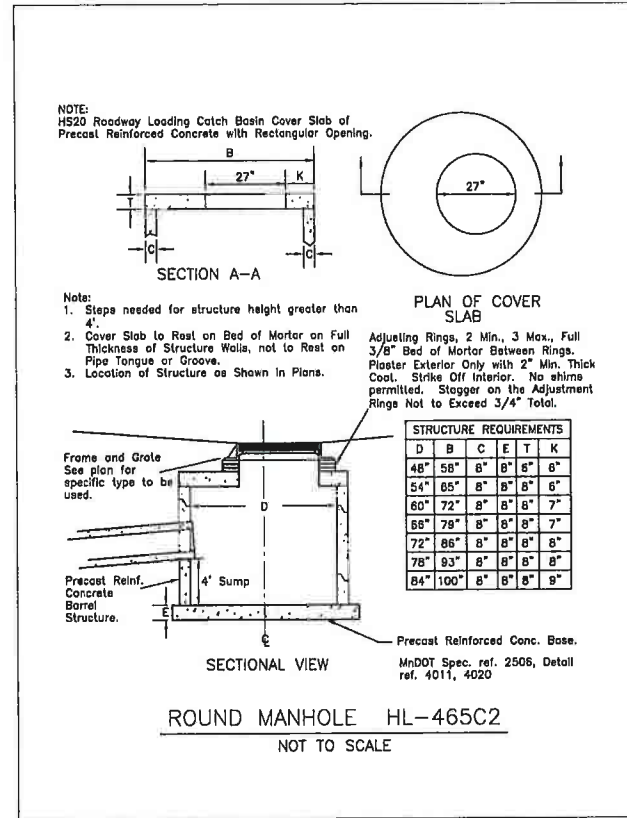
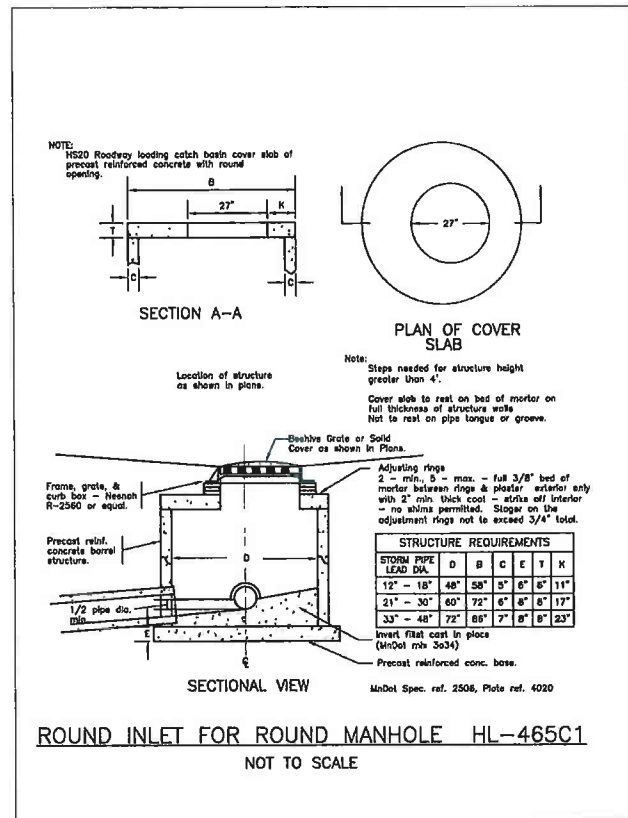
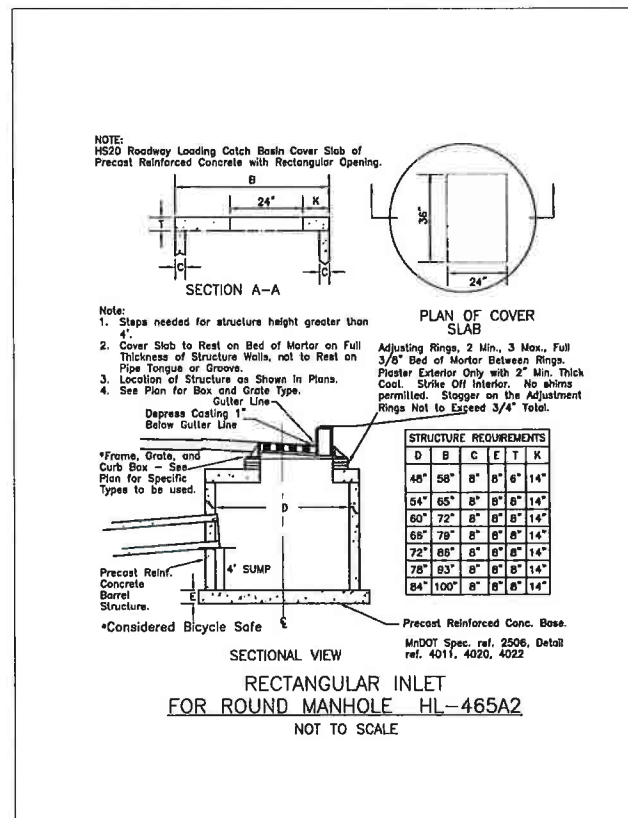


5 RECTANGULAR CATCH BASIN 2'X3' D312 CURB NO SCALE

6 RECTANGULAR INLET FOR ROUND MANHOLE NO SCALE

ISSUE / REVISION HISTORY		
CONTACT ENGINEER OR ANY FROM HISTORY		
DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN SUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
26 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL

ISSUE / REVISION HISTORY		
CONTRACT ENGINEER FOR ANY PROJECTS		
DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PREL PLAT SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN RE-SUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
25 JUL 2025	PRE PLAT RE-SUBMITTAL	ETL
18 AUG 2025	PRE PLAT RE-SUBMITTAL	ETL



1 RECTANGULAR INLET FOR ROUND MANHOLE

NO SCALE

2 ROUND INLET FOR ROUND MANHOLE

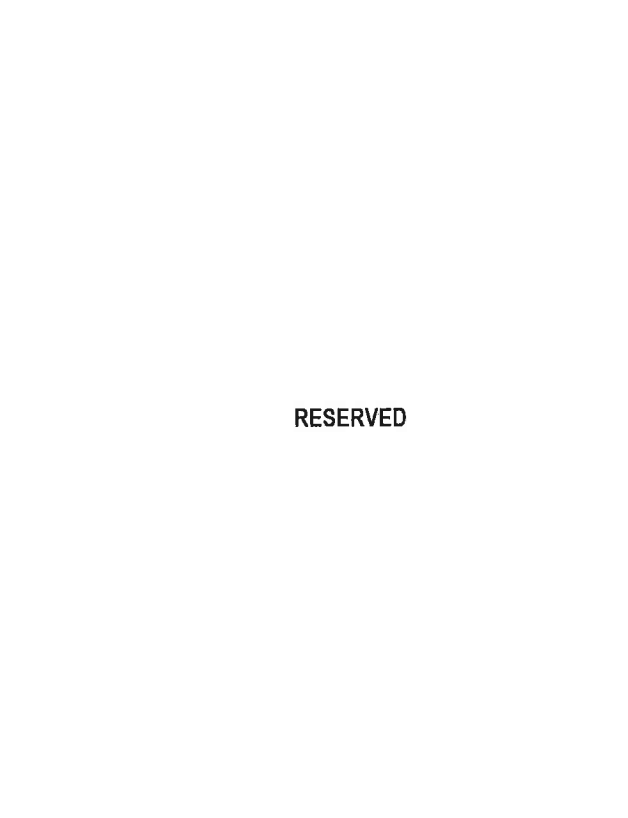
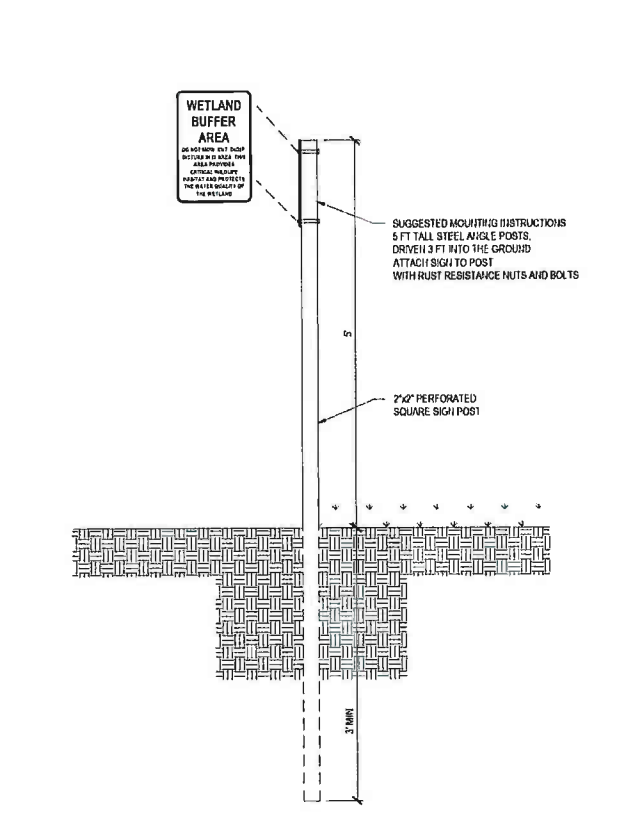
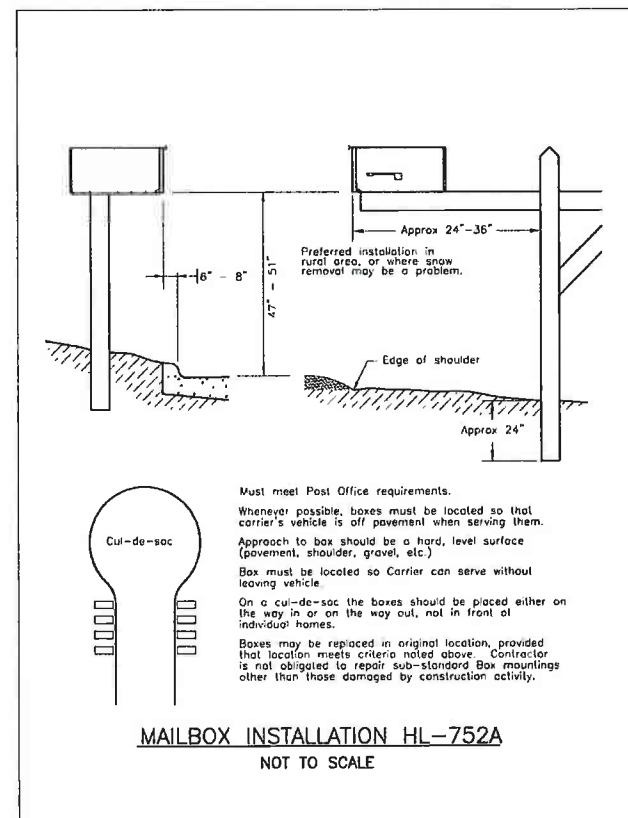
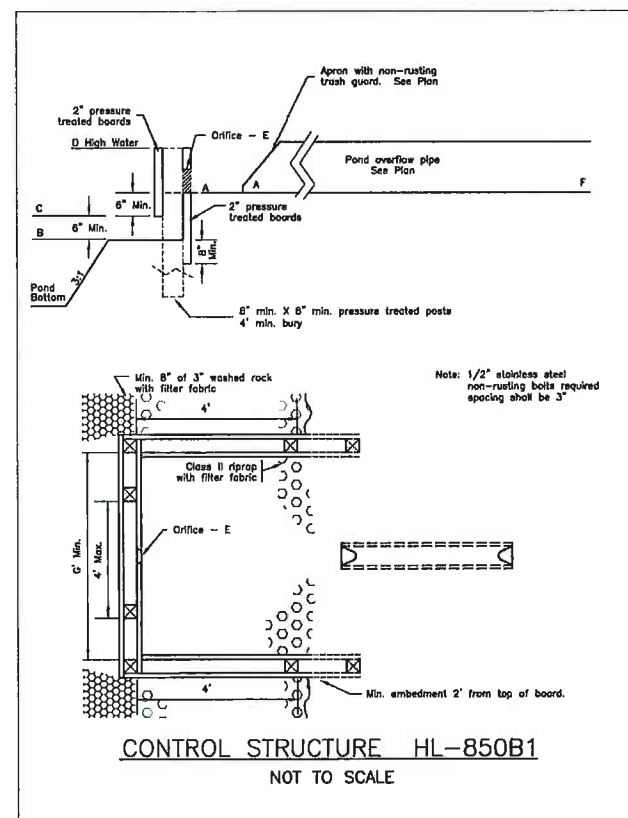
NO SCALE

3 ROUND MANHOLE HL-465C2

NO SCALE

4 FABRIC AROUND CATCH BASIN HL-463A1

NO SCALE



5 CONTROL STRUCTURE HL-850B1

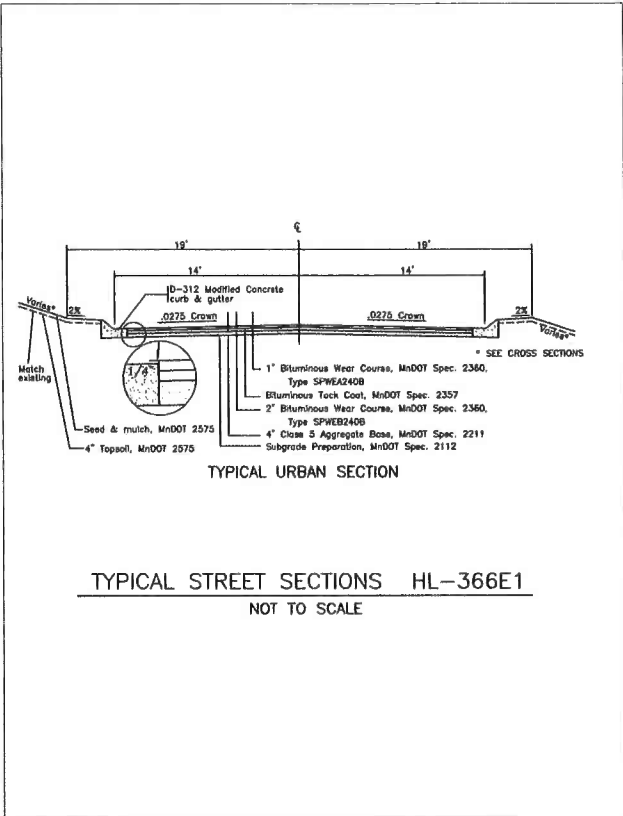
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6 MAILBOX INSTALLATION

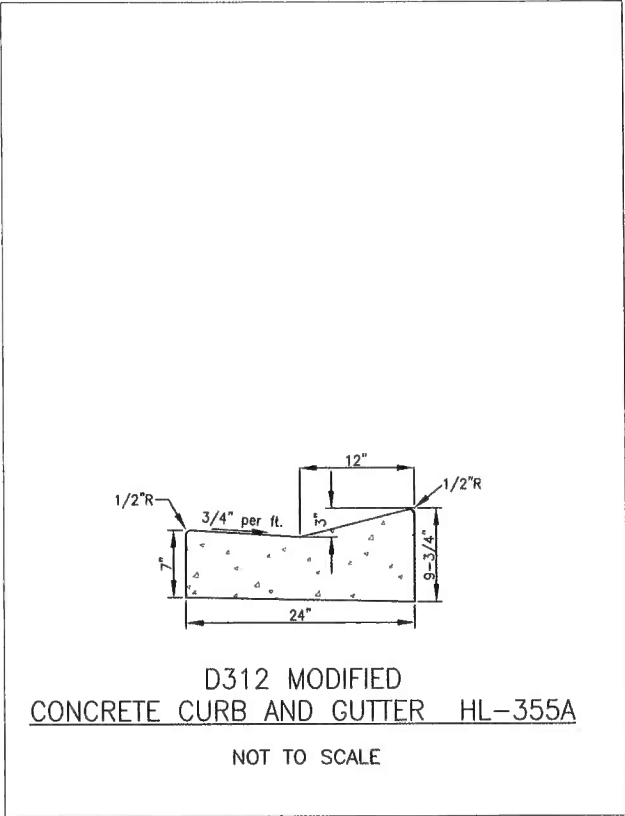
NO SCALE

7 WETLAND BUFFER SIGN

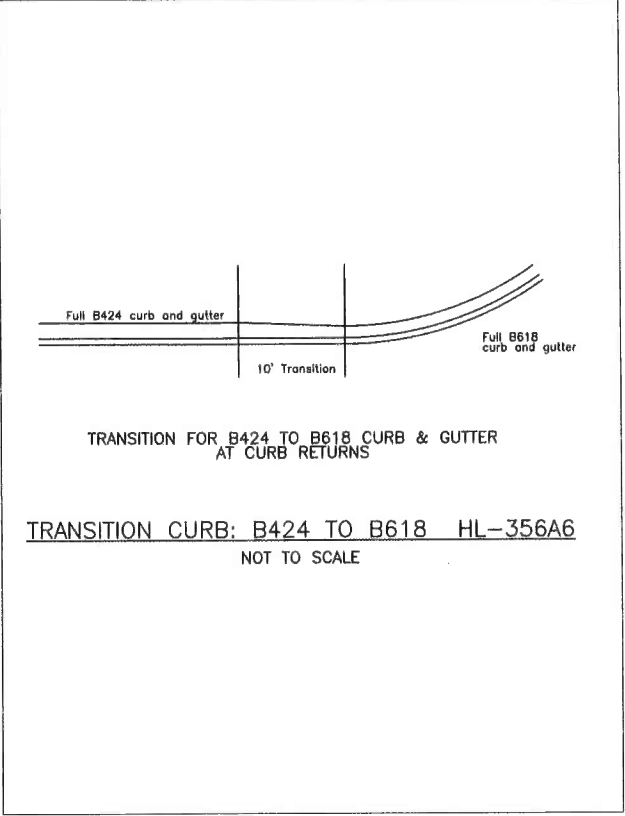
NO SCALE



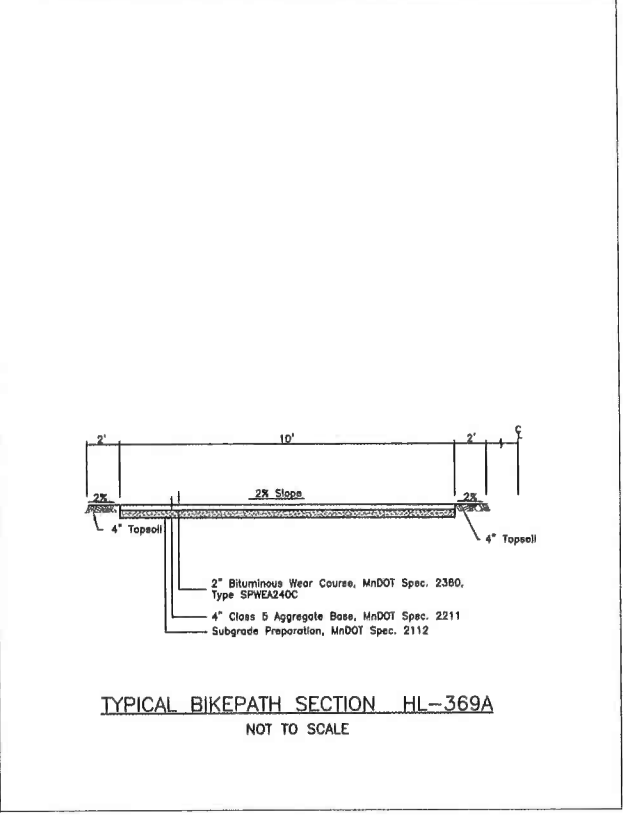
TYPICAL STREET SECTIONS HL-366E1
NOT TO SCALE



D312 MODIFIED
CONCRETE CURB AND GUTTER HL-355A
NOT TO SCALE



TRANSITION CURB B424 TO B618 HL-356A6



TYPICAL BIKEPATH SECTION HL-369A
NOT TO SCALE

DEVELOPER

JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

CITY



PROJECT

KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN RESUBMITTAL	ETL
29 JUL 2025	WATERSHED SUBMITTAL	ETL
29 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Enc 1: LDP

License No. 50475

Signature of Engineer

Landform Professional Services, Inc.

PRELIMINARY
NOT FOR
CONSTRUCTION

IF THE SIGNATURE, SEAL OR FINGERPRINT DIRECTLY ABOVE ARE NOT
VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND ITS INTENDED
RELIABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT
THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

LANDFORM
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C700LDP010.DWG

PROJECT NO. LDP24010

CIVIL CONSTRUCTION DETAILS

C7.4



GENERAL NOTES

1. For construction staking and surveying services contact Landform at 612.252.9070

LEGEND

Building Area 10,000 SF at least four feet above unsuitable soils

ISTS Area 7,500 SF at least 1 foot above unsuitable soils

Yard Area 12,000 SF above the 100-year floodplain contour, and less at least one foot above unsuitable soils and is contiguous to the building pad area for a distance of at least 50% of the linear perimeter of the building area

Wetland

165 ft Wetland Buffer

Pond Line

Proposed Floodplain

Existing Floodplain North - 802.8

Existing Floodplain South - 806.8

LOW FLOOR DETERMINING FACTOR

CRITERIA

- > 1' ABOVE EOF
- > 2' ABOVE 100-YEAR HWL OR FLOODPLAIN
- > 2' ABOVE GROUNDWATER

Know what's Below.
Call before you dig.

0 150 300

NOTE: House type include * (asterisk) that indicate a 1ft garage floor drop in the proposed house design for the builder to take into account
* indicates a 1ft garage floor drop
** indicates a 2ft garage floor drop

LIVABILITY CHART																	
Pad Number	Block	Lot	Area (SF)	Area (Ac.)	Building Pad Area (SF)	ISTS Area (SF)	Yard Area (SF)	Livability Area (SF)	Septic System Type	House Pad Boring #	Pad Boring Depth to Meeting (in)	Pad Boring Elev.	Pad Boring Meeting Elev.	Highest Anticipated Water Level	House Type ("ft" drop)	Lowest Floor Elev.	Low Floor Determining Factor
101	1	1	64,149	1.47	10,087	7,517	12,148	29,732	Mound	901	31	903.53	892.70	901.00	Walkout**	894.0	(E) FLOODPLAIN=901.0
102	1	2	67,926	1.56	10,801	7,643	18,914	37,358	Mound	902	12	902.45	891.45	901.00	Walkout**	895.5	(E) FLOODPLAIN=901.0
103	1	3	78,682	1.81	11,110	7,780	12,283	31,173	Mound	903	10	906.4	895.57	901.00	Walkout**	894.5	(E) FLOODPLAIN=901.0
104	1	4	50,332	1.36	10,250	7,850	13,212	31,112	Mound	904	24	906.19	894.19	901.00	Walkout**	896.0	(E) FLOODPLAIN=901.0
105	1	5	60,838	1.40	10,291	7,768	12,038	30,055	Mound	905	40	906.07	894.74	901.00	Walkout	895.0	(F) EOF=904.8
106	1	6	66,538	1.53	10,137	7,641	12,312	30,060	Mound	906	20	905.61	893.84	901.00	Walkout**	894.0	(F) EOF=904.8
107	1	7	104,521	2.40	10,304	7,641	16,320	34,270	Mound	907	10	903.48	892.65	901.00	Walkout	896.0	(E) FLOODPLAIN=901.0
108	1	8	115,810	2.61	12,338	7,650	12,862	32,868	Mound	908	58	899.79	895.12	901.00	Walkout**	898.0	(E) FLOODPLAIN=901.0
109	1	9	722,922	16.69	17,404	7,650	12,667	32,721	Mound	909	36	899.25	893.25	901.00	Walkout	895.0	(E) FLOODPLAIN=901.0
110	1	10	100,318	2.30	10,304	7,768	12,554	30,826	Mound	910	32	905.22	892.55	901.00	Walkout	895.0	(G) EOF=904.8
111	1	11	133,146	3.06	10,304	7,500	12,005	29,809	Mound	911	8	892.47	891.80	900.47	Walkout**	895.0	(H) EOF=900.50
112	1	12	111,856	2.58	10,304	8,970	14,744	35,018	Mound	912	8	901.12	890.45	900.47	Walkout	894.0	(E) FLOODPLAIN=901.0
113	2	1	93,226	2.14	10,354	8,147	12,992	31,458	Mound	913	18	905.66	894.16	901.00	Walkout	894.0	(E) FLOODPLAIN=901.0
114	2	2	224,908	5.16	10,304	7,695	13,348	31,347	Mound	914	08	904.07	893.40	901.00	Walkout	894.5	(E) FLOODPLAIN=901.0
115	2	3	176,645	4.06	10,304	7,733	14,885	32,922	Mound	915	14	905.24	894.07	901.00	Walkout**	894.5	(A) FLOODPLAIN=900.6
116	2	4	130,832	3.00	10,304	7,500	16,625	34,429	Mound	916	48	899.36	895.36	900.80	Walkout	894.0	(A) FLOODPLAIN=900.6
117	2	5	166,507	3.82	10,635	7,549	12,588	30,172	Mound	917	13	903.66	892.58	900.80	Walkout	894.0	(A) FLOODPLAIN=900.6
118	2	6	77,835	1.79	10,297	8,602	12,711	31,810	Mound	918	10	903.84	893.01	900.80	Walkout	894.0	(A) FLOODPLAIN=900.6
119	2	7	64,541	1.48	10,304	7,506	13,539	31,249	Mound	919	68	898.22	893.20	900.80	Walkout	894.0	(A) FLOODPLAIN=900.6
120	2	8	69,424	1.58	10,304	7,674	12,067	30,245	Mound	920	10	903.6	892.77	900.80	Walkout	894.0	(A) FLOODPLAIN=900.6
121	2	9	78,377	1.82	10,304	7,565	12,608	30,477	Mound	921	30	906.14	893.84	900.80	Walkout	894.0	(A) FLOODPLAIN=900.6
122	2	10	66,345	1.52	10,015	7,762	12,232	30,009	Mound	922	52	907.23	892.90	900.80	Walkout**	893.0	(A) FLOODPLAIN=900.6
123	2	11	89,662	1.61	10,042	7,556	12,456	30,057	Mound	923	54	908.51	894.01	900.80	Walkout**	893.0	(A) FLOODPLAIN=900.6
124	2	12	82,193	1.89	10,176	7,615	12,090	29,643	Mound	924	48	903.61	892.61	900.80	Walkout	892.0	(A) FLOODPLAIN=900.6
125	2	13	65,520	1.50	10,032	7,517	15,837	33,386	Mound	925	36	906.05	893.05	900.80	Walkout	895.5	(A) FLOODPLAIN=900.6
126	2	14	65,341	1.50	10,207	7,885	14,716	32,903	Mound	926	32	903.46	892.13	N/A	Walkout	894.0	(A) FLOODPLAIN=900.6
127	2	15	87,150	2.00	10,338	7,500	13,768	31,006	Mound	927	12	902.87	891.87	N/A	Walkout	894.0	(I) EOF=899.5
128	2	16	126,801	2.91	10,304	7,500	16,306	34,109	Mound	928	8	902.28	891.61	899.25	Walkout	895.0	(I) EOF=899.5
129	2	17	206,540	4.75	10,304	7,653	12,700	30,857	Mound	929	12	901.9	890.80	899.25	Walkout	895.0	(I) EOF=899.5
130	2	18	149,418	3.43	10,304	8,383	12,093	31,700	Mound	930	12	901.21	899.21	899.25	Walkout	893.0	(I) EOF=899.5
131	2	19	240,381	5.52	10,304	7,879	14,010	32,283	Mound	931	10	899.09	898.26	899.25	Walkout	892.0	(I) EOF=899.5
132	2	20	157,283	3.61	10,304	11,677	12,834	34,616	Mound	932	6	900.28	899.78	898.46	Walkout	897.0	(K) EOF=898.16
133	2	21	345,892	7.94	10,304	8,006	14,765	33,960	Mound	933	07	898.66	897.39	897.47	Walkout	897.0	(K) EOF=898.16
134	3	1	66,275	1.52	10,444	7,712	20,409	38,585	Mound	934	30	903.36	892.36	905.00	Walkout**	896.5	(J) EOF=905.0
135	3	2	87,887	1.56	10,304	7,650	16,748	34,707	Mound	935	12	900.89	892.89	905.00	Walkout	897.0	(J) EOF=905.0
136	3	3	74,219	1.70	10,304	7,650	16,344	32,298	Mound	936	8	902.45	891.78	905.00	Walkout	896.0	(A) FLOODPLAIN=900.6
137	3	4	97,712	2.24	10,304	7,637	12,802	30,543	Mound	937	10	902.23	891.40	899.43	Walkout	898.0	(A) FLOODPLAIN=900.6
138	3	5	82,804	1.90	10,304	7,650	14,111	32,065	Mound	938	44	903.78	892.11	899.43	Walkout	898.0	(A) FLOODPLAIN=900.6
139	3	6	76,387	1.75	10,304	7,640	18,375	35,319	Mound	939	10	902.32	891.49	899.43	Walkout	898.0	(A) FLOODPLAIN=900.6
140	3	7	104,211	2.39	10,304	8,110	14,085	32,470	Mound	940	12	904.17	893.17	899.43	Walkout	894.0	(A) FLOODPLAIN=900.6
141	3	8	118,836	2.68	10,304	9,271	12,090	31,665	Mound	941	8	903.61	892.34	899.26	Walkout	895.0	(A) FLOODPLAIN=900.6
142	3	9	86,384	1.96	10,104	8,423	12,281	31,018	Mound	942	22	906.30	893.56	899.26	Walkout	895.0	(A) FLOODPLAIN=900.6

DEVELOPER
JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070

CITY

PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY
CONTACT ENGINEER FOR ANY PRIOR HISTORY

DATE	ISSUE / REVISION	REVIEW
12 JUL 2025	PRE-PLAT SUBMITTAL	ETL
20 JUL 2025	PRE-PLAT SUBMITTAL	ETL
23 JUL 2025	PRE-PLAT SUBMITTAL	ETL
26 JUL 2025	PRE-PLAT SUBMITTAL	ETL
18 AUG 2025	PRE-PLAT SUBMITTAL	ETL

CERTIFICATION
I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

IF THE SIGNATURE, SEAL OR FOUR LINE KEY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED WITHOUT AUTHORIZED RESALEABILITY AND NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

From Site to Finish

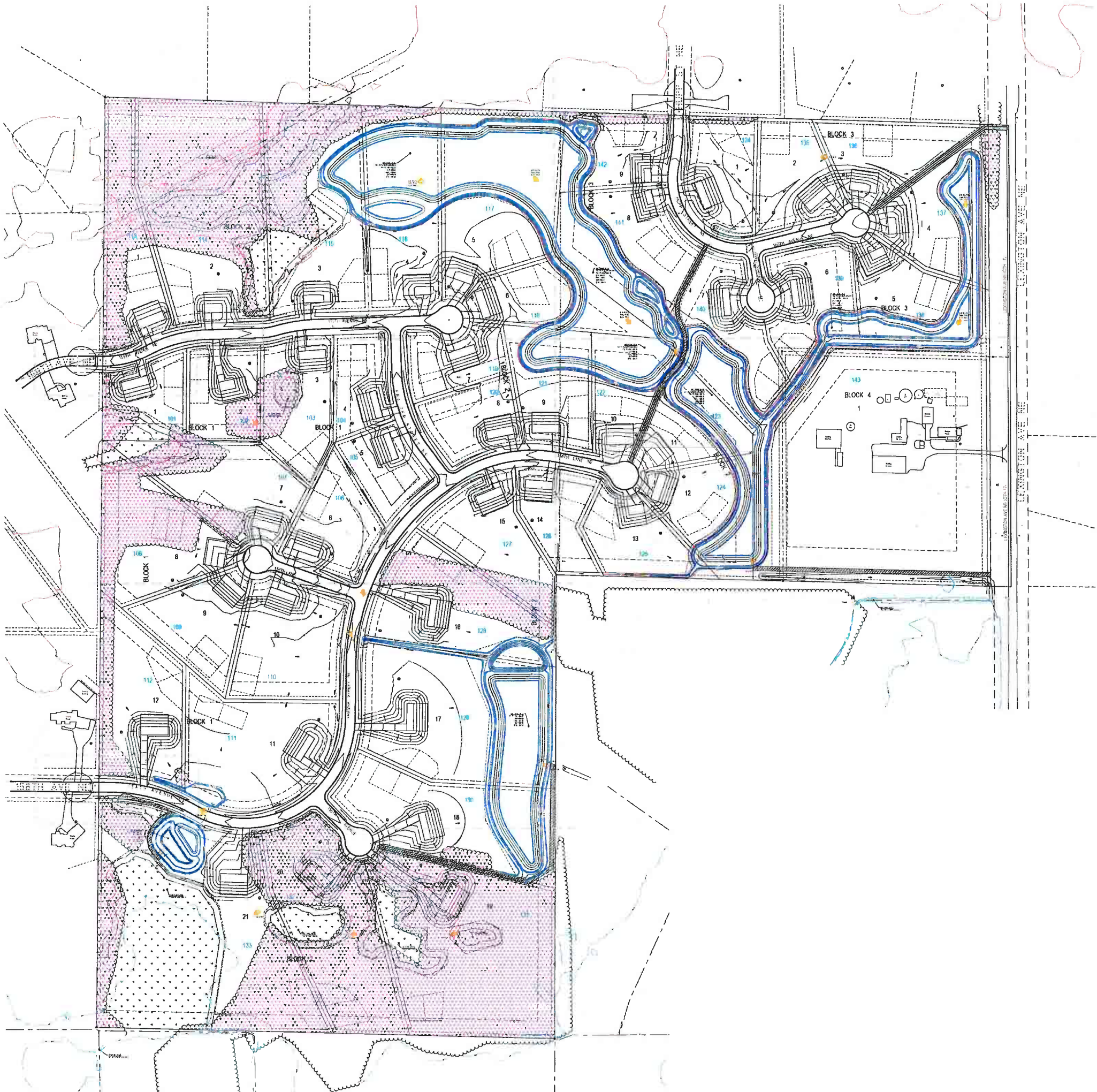
105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME: C800LDPD010.DWG

PROJECT NO: LDP24010

LIVABILITY MAP
C8.0



GENERAL NOTES

1. For construction Staking and Surveying services contact Landform at 612-252-9070

EXISTING CONDITIONS

2. Background information shown is from survey by Landform, Minneapolis, MN, on April 5, 2025 expressly for this project, City of Ham Lake, MN record drawings, and utility service providers. Landform offers no warranty, expressed or written, for information provided by others. Existing project conditions shall be verified prior to beginning construction. Errors, inconsistencies, or omissions discovered shall be reported to the Engineer IMMEDIATELY.

LEGAL DESCRIPTION

PARCEL A
The Northeast Quarter of the Southwest Quarter of Section 13, Township 32, Range 23, Anoka County, Minnesota, EXCEPT the South 667 feet of the East 670 feet thereof;
AND
The West Half of the Southwest Quarter of Section 13, Township 32, North, Range 23, West, according to the United States Government Survey, Anoka County, Minnesota;
PARCEL B
The South 667 feet of the East 670 feet of the Northeast Quarter of the Southwest Quarter of Section 13, Township 32, Range 23, Anoka County, Minnesota.

BENCHMARK

Project Benchmark
Name: Anoka County Benchmark No. 2005
Location: Second Order Benchmark set in ground in a covered tube. Benchmark is approximately 35 feet westerly of the centerline of C.S.A.H. No. 17 and 40 feet northerly of the centerline of 155th Avenue N.E.
Elevation = 905.73 (NAVD 88)
Site Benchmark
Type: Nail in Southeast of 16 in oak
Location = +/- 50ft West of I-94 St NE along North line
Elevation = 905.47 (NAVD 88)

TREE PRESERVATION NOTES

1. Obtain permits for tree removal and clearing prior to beginning.
2. Contact utility service providers for field location of services 72 hours prior to beginning demolition and clearing.
3. Provide barricades, lights, signs, traffic control, and other measures necessary for protection and safety of the public and maintain throughout construction.
4. Protect structures, utilities, trees, plant material, soil, and adjacent property from damage during construction unless noted for removal. Damage shall be repaired to equal or better condition at no additional cost.
5. There shall be no movement, clearing, or storage of equipment within a designated tree preservation area.
6. All clearing of oak stands shall be performed prior to April 15 or after July 15 of each season.
7. If encroachment into a tree preservation area occurs that causes irreparable damage to a tree(s), the tree preservation plan shall be revised to compensate for the loss.
8. Signs requesting sub-contractor cooperation and compliance with tree preservation standards are recommended for the site entrances.

LEGEND

- Tree Preservation
- Wetland
- Floodplain
- Construction Limits

DEVELOPER

JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070

CITY



PROJECT

KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
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23 JUL 2025	WATERFURD SUBMITTAL	ETL
26 JUL 2025	PRE PLAT SUBMITTAL	ETL
18 AUG 2025	PRE PLAT SUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Eng. 1 LUD. PE
License No. 50475
Signature should be signed electronically or by hand and signed by the Engineer.
Landform Professional Services, Inc. is the Engineer of Record.

IF THE SIGNATURE, SEAL OR FOLIO LINE IS DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED REPRODUCIBILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT SUBMITTAL
AUGUST 18, 2025

LANDFORM
From Site to Finish

105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

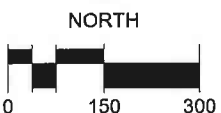
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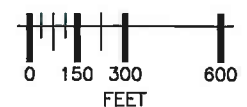
PROJECT NO: LDP24010

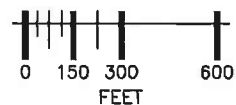
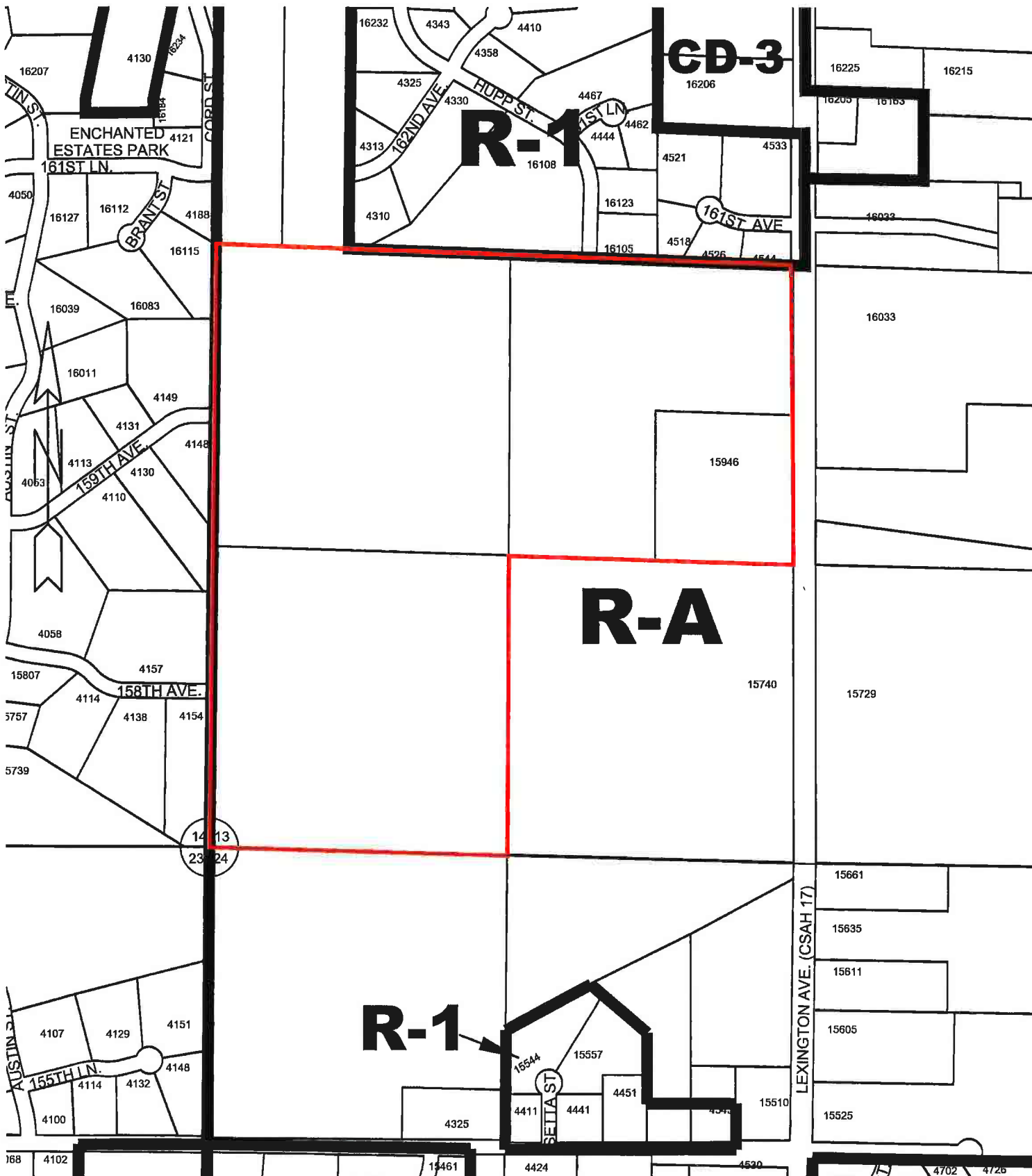
TREE PRESERVATION PLAN INDEX & NOTES
L1.0



Know what's Below.
Call before you dig.

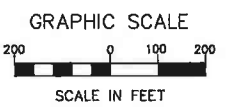
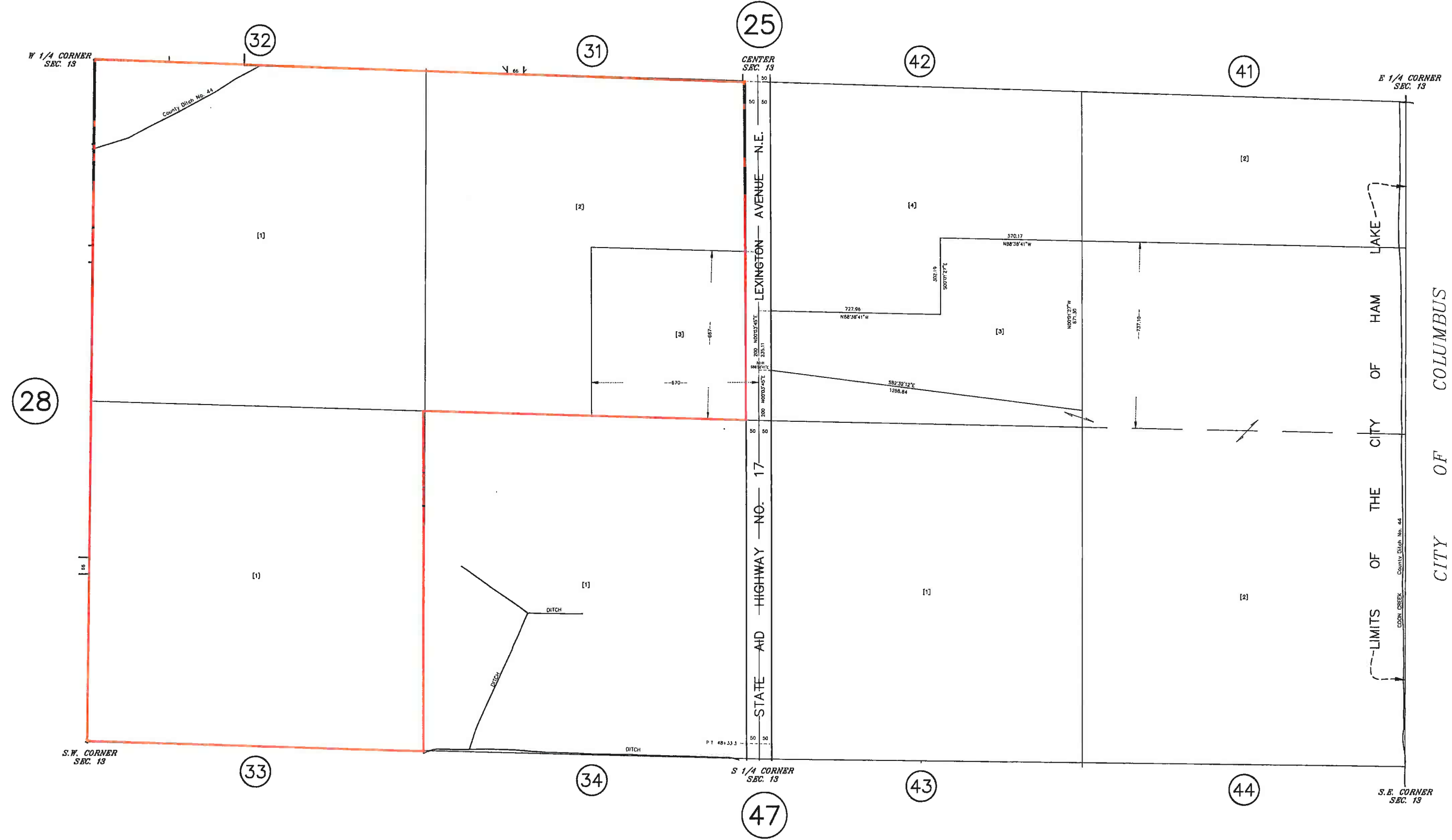






S 1/2 SECTION 13, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11
23	24	13	14
32	31	42	41
33	34	43	44

NORTH HALF OF SECTION

SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter Number	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 13-32-23-43-0001

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.



CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

PLANNING REQUEST

Date of Application 7/22/25

Date of Receipt 7-23-25

Receipt # Amount \$

Meeting Appearance Dates:

Planning Commission 8-25-25

City Council

Please check request(s):

- ☐ Metes & Bounds Conveyance
- ☐ Sketch Plan
- ☐ Preliminary Plat Approval*
- ☒ Final Plat Approval
- ☐ Rezoning*
- ☐ Multiple Dog License*

- ☐ Commercial Building Permit
- ☐ Certificate of Occupancy
- ☐ Home Occupation Permit
- ☐ Conditional Use Permit (New)*
- ☐ Conditional Use Permit (Renewal)
- ☐ Other

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: Elwell Farms

Address/Location of property: Lexington Avenue NE and 136th Avenue NE

Legal Description of property: See attached

PIN # See exhibit Current Zoning R-1 Proposed Zoning R-1/R-A

Notes: Please see attached phasing plan for anticipated project phasing (50 single fam. residential lots/8000 lots)

Applicant's Name: Joseph Radach

Business Name: Contour Development LLC

Address P.O. Box 89

City Rockford State MN Zip Code 55373

Phone 612.730.2265 Cell Phone 612.730.2265 Fax

Email address jradach@contoured.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE Joe T. R. DATE 7/22/25

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission
City Council

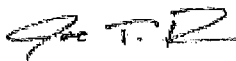
PROPERTY TAXES CURRENT YES NO
Any Active/Deferred Assessments YES NO

**NOTICE TO ALL APPLICANTS FOR MUNICIPAL
PERMITS, LICENSES,
OR OTHER MUNICIPAL ACTION**

- 1. *If you are requesting municipal action on any request for any of the above, you will be required to furnish certain information about yourself, the project you are involved in, or other matters pertaining to the subject. Some of the information you are asked to provide is classified by state law as either private or confidential. Private data is information which generally cannot be given to the public but can be given to the subject of the data. Confidential data is information which generally cannot be given to either the public or the subject of the data.***
- 2. *The purpose of this information is to enable the City Staff, Commissions, Council or other government agencies to evaluate relevant factors in considering your request. You are not legally required to provide this information. If you do not provide the requested information, the City may not act upon your request.***
- 3. *The information you supply will be public and available to any entity requesting to inspect the information.***

**DATA PRACTICES ADVISORY
TENNESSEN WARNING
REQUIRED BY MINNESOTA STATUTES CHAPTER 13.04**

SIGNED BY _____



COMPANY/TITLE: Contour Development LLC, Principal

DATE: 7/22/25

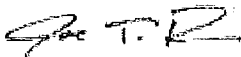
**CITY OF HAM LAKE
ACKNOWLEDGMENT OF RESPONSIBILITY
TO REIMBURSE EXPENSES**

The undersigned, Joseph Radach, Contour Development LLC, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

Final Plat and Easement Vacation

Type of Application

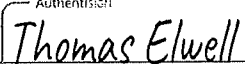
acknowledges that the sum of \$ _____, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

Applicant Signature  **Dated** 7/22/25

The following statement must be signed if the applicant is not the property owner:

Thomas Elwell, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

I am aware of the application being submitted by the applicant and approve the request.

Property Owner Signature  **Dated** 07/22/25


**CITY OF HAM LAKE
ACKNOWLEDGMENT OF RESPONSIBILITY
TO REIMBURSE EXPENSES**

The undersigned, Joseph Radach, Contour Development LLC, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

Final Plat and Easement Vacation

Type of Application

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Applicant Signature  **Dated** 7/22/25

The following statement must be signed if the applicant is not the property owner:

John Neumann, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

I am aware of the application being submitted by the applicant and approve the request.

Property Owner Signature  John Neumann **Dated** 07/23/25

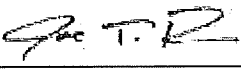
**CITY OF HAM LAKE
ACKNOWLEDGMENT OF RESPONSIBILITY
TO REIMBURSE EXPENSES**

The undersigned, Joseph Radach, Contour Development LLC, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

Final Plat and Easement Vacation

Type of Application

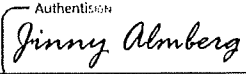
acknowledges that the sum of \$_____, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

Applicant Signature  **Dated** 7/22/25

The following statement must be signed if the applicant is not the property owner:

Douglas & Jinny Almberg, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

I am aware of the application being submitted by the applicant and approve the request.

Property Owner Signature  **Dated** 07/24/25


**CITY OF HAM LAKE
ACKNOWLEDGMENT OF RESPONSIBILITY
TO REIMBURSE EXPENSES**

The undersigned, Joseph Radach, Contour Development LLC, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

Final Plat and Easement Vacation

Type of Application


acknowledges that the sum of \$ _____, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

Applicant Signature  **Dated** 7/22/25

The following statement must be signed if the applicant is not the property owner:

Cindy Elwell, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

I am aware of the application being submitted by the applicant and approve the request.

Property Owner Signature  **Dated** 07/24/25

Memorandum

Date: August 21, 2025

To: Planning Commissioners

From: David A. Krugler, City Engineer

Subject: Elwell Farms First Addition



Introduction:

The Final Plat for the proposed 50-lot residential development and 8 outlots was received on August 8th. The project site encompasses approximately 515.1 acres and includes parcels 36-32-23-11-0001, 36-32-23-12-0003, 36-32-23-13-0004, 36-32-23-13-0006, 36-32-23-14-0001, 36-32-23-21-0006, 36-32-23-22-0010, 36-32-23-24-0005, 36-32-23-31-0001, 36-32-23-34-0001, 36-32-23-41-0001, 36-32-23-42-0001, 36-32-23-43-0001, 36-32-23-44-0001, 36-32-23-21-0005, 36-32-23-33-0001, and 36-32-23-24-0015. The property is currently zoned Rural Single Family Residential (R-A) and will be rezoned to R-1 to accommodate the development. All prior review comments have been addressed. Supporting materials, including a 1,000-scale aerial photo, 400-scale half-section maps, and a 1,000-scale zoning map, are attached for reference.

Discussion:

This plat proposes the development of the northern 50 lots of the originally proposed 105 new parcels as a first phase. No park land dedication is proposed with this portion of the plat, and it is recommended that fees in lieu of parkland be required from the Developer. If the remaining lots shown on the preliminary plat are later developed and park land is dedicated, an appropriate credit will be determined. No wetland banking is proposed with the first phase of this plat. The Developer is required to remove the temporary cul-de-sac at the east end of 137th Lane, relocate public utilities, pay the public hearing application fee to vacate the right-of-way beyond 66 feet, and dedicate a 10-foot drainage and utility easement adjacent to the new 66-foot right-of-way. A 70-foot-wide Minnesota Pipeline Company (Flint Hills Resources) easement crosses the northeast parcels of the plat. Flint Hills Resources has approved the plans for both the street and storm crossings, as noted in the attached May 19 email, and Flint Hills Resources will draft the necessary encroachment agreement. An additional Encroachment Agreement drafted by the City Attorney will be required for Lot 29, Block 3 to allow septic access through a proposed easement. Outlots A and B must be combined with parcel 36-32-23-12-0004, while Outlots C, D, and G must be restricted through the Development Agreement so that no building permits will be issued for them. The agreements and the combination of Outlots A and B with parcel 36-32-23-12-004 must be signed and filed with Anoka County before any building permits will be issued.

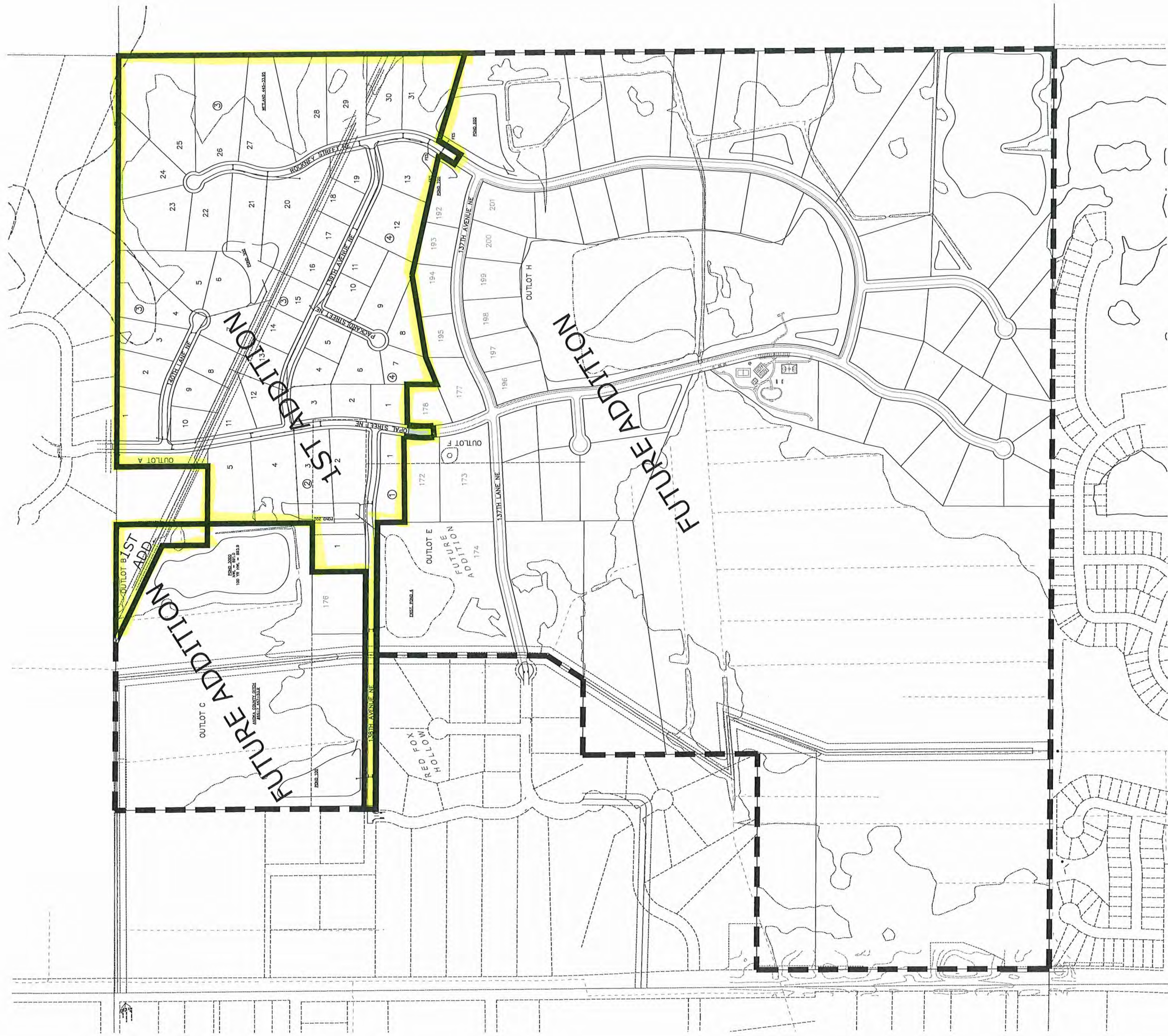
The existing buildings located within the proposed Lot 2 of Block 2 are proposed to be razed. The developer will need to obtain demolition permits for the two buildings. The existing septic will need to be removed per MPCA Rule 7080.2500. The plans show a primary and secondary field for septic for a future home.

Several lots are proposed to be custom graded, specifically Lots 11, 12, 16, and 17 of Block 3 and Lots 7, 8, 9, and 11 of Block 4. Grading for these lots is designed to conform to the overall Grading Plan, with garage floor elevations approximately eight feet above existing grade. It is recommended that escrow be set at \$9,000 per lot, for a total escrow of \$56,000 for custom grading deposited with the City. The release of the escrow for each lot will be contingent upon submission of as-built drawings certifying pad construction. A FEMA Letter of Map Amendment will not be required as all building pads are outside of FEMA Zone A. The Coon Creek Watershed District Board of Managers approved the plans on March 27, and the CCWD Permit was issued on August 1, both are attached for reference. A septic certification completed by Tradewell Soil Testing on July 7 confirms that the lots will support two standard septic systems in accordance with Minnesota Rules 7080. A rare plant survey prepared by Stantec identified the presence of Fuller's Bristleberry and the Blunt-Lobed Grape Fern, both classified as threatened by the Minnesota Department of Natural Resources. A Minnesota DNR taking permit has been issued for the Blunt-Lobed Grape Fern, while the remaining plants will not be disturbed.

In total, 14 easements exist across the 18 parcels which includes those held by Flint Hills Resources, existing ingress and egress easements, and drainage and utility easements such as those affecting Red Fox Hollow 2nd Addition Outlot A. All easements must be vacated, released, or properly confined at the Developer's expense prior to final plat filing. Documentation of these actions must be provided to the City before any building permits are issued. The development is proposing installing the temporary cul-de-sacs outside of the plat for Rockney Street and Opal Street. Additional right-of-way documents and drainage and utility easements for the two temporary cul-de-sacs will be required prior to issuing any building permits.

Recommendations:

It is recommended that the Final Plat of Elwell Farms be recommended for approval to the City Council.



ELWELL FARMS

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 36, TWP. 32, RGE. 23

KNOW ALL PERSONS BY THESE PRESENTS: That Elwell Farms LLC, a limited liability company, owner of the following described property:

The Northeast Quarter of the Northeast Quarter of Section 36, Township 32, Range 23, Anoka County, Minnesota.

AND

The Northwest Quarter of the Northeast Quarter, Section 36, Township 32, Range 23, Anoka County, Minnesota, Except the South 212.00 feet of the West 580 feet of said Northwest Quarter of the Northeast Quarter; also except the North 512.41 feet of the West 325.00 feet of Northwest Quarter of said Northeast Quarter.

AND

The Southwest Quarter of the Northeast Quarter, Section 36, Township 32, Range 23, Anoka County, Minnesota, EXCEPT the West 330.2 feet of said Southwest Quarter of the Northeast Quarter, except the North 86 feet thereof, and Also Except the North 88.00 feet of the West 580.00 feet of said Southwest Quarter of the Northeast Quarter.

AND

The West 330.2 feet of the Southwest Quarter of the Northeast Quarter, Section 36, Township 32, Range 23, Anoka County, Minnesota, Except the North 88 feet thereof.

AND

The Southeast Quarter of the Northeast Quarter, Section 36, Township 32, Range 23, Anoka County, Minnesota.

AND

The Northeast Quarter of the Northwest Quarter, Except the South 212 feet thereof, Section 36, Township 32, Range 23, Anoka County, Minnesota.

AND

That part of the Northwest Quarter of the Northwest Quarter, Section 36, Township 32, Range 23, Anoka County, Minnesota, lying East of the West 1027.97 feet thereof, and lying North of the South 212 feet of the Northwest Quarter of the Northwest Quarter, except that part platted as Elwell Heights.

AND

The South 67 feet of the North 155 feet of that part of the South Half of the Northwest Quarter, Section 36, Township 32, Range 23, Anoka County, Minnesota, lying Easterly of the East line of Elwell Heights.

AND

The Northeast Quarter of the Southwest Quarter, Section 36, Township 32, Range 23, Anoka County, Minnesota.

AND

The Southeast Quarter of the Southwest Quarter of Section 36, Township 32, Range 23, Anoka County, Minnesota.

AND

The Northeast Quarter of the Southeast Quarter of Section 36, Township 32, Range 23, Anoka County, Minnesota.

AND

The Northwest Quarter of the Southeast Quarter of Section 36, Township 32, Range 23, Anoka County, Minnesota.

AND

The Southwest Quarter of the Southeast Quarter of Section 36, Township 32, Range 23, Anoka County, Minnesota.

AND

The Southeast Quarter of the Southeast Quarter of Section 36, Township 32, Range 23, Anoka County, Minnesota.

AND

The South 212.00 feet of the West 580.00 feet of the Northwest Quarter of the Northeast Quarter; the North 88.00 feet of the West 580.00 of the Southwest Quarter of the Northeast Quarter; that part of the North 88.00 feet of the South Half of the Northwest Quarter and that part of the South 212.00 feet of the North Half of the Northwest Quarter lying East of the East line of Elwell Heights, according to the recorded plat thereof, all in Section 36, Township 32, Range 23, Anoka County, Minnesota.

AND

The Southwest Quarter of the Southwest Quarter, Section 36, Township 32, Range 23, EXCEPT PARCEL 44, Anoka County Right of Way Plat No. 81, Anoka County, Minnesota.

(Abstract Property)

AND

Outlot A, Red Fox Hollow 2nd Addition, Anoka County, Minnesota.

(Torrens Property, Torrens Certificate No. 151959)

Has caused the same to be surveyed and platted as ELWELL FARMS and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as shown on this plat.

In witness whereof said Elwell Farms LLC, a limited liability company, has caused these presents to be signed by its proper partner this _____ day of _____, 20____.

Elwell Farms LLC

Jesse D. Neumann, Manager

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me on this _____ day of _____, 20____ by Jesse D. Neumann, Manager of Elwell Farms LLC, a limited liability company, on behalf of the company.

(Signed)

(Printed)

Notary Public, _____

My commission expires _____

I Thomas R. Bolluff do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Thomas R. Bolluff, Licensed Land Surveyor
Minnesota License No. 40361

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me on this _____ day of _____, 20____ by Thomas R. Bolluff, Licensed Land Surveyor.

(Signed)

(Printed)

Notary Public, _____

My commission expires _____

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA

This plat of ELWELL FARMS was approved and accepted by the City Council of the City of Ham Lake, Minnesota at a regular meeting thereof held this _____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA

By: _____, Mayor

By: _____, Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20____.

David M. Zieglmeier
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 20____.

Property Tax Administrator

By: _____, Deputy

COUNTY RECORDER/REGISTRAR OF TITLES

County of Anoka, State of Minnesota

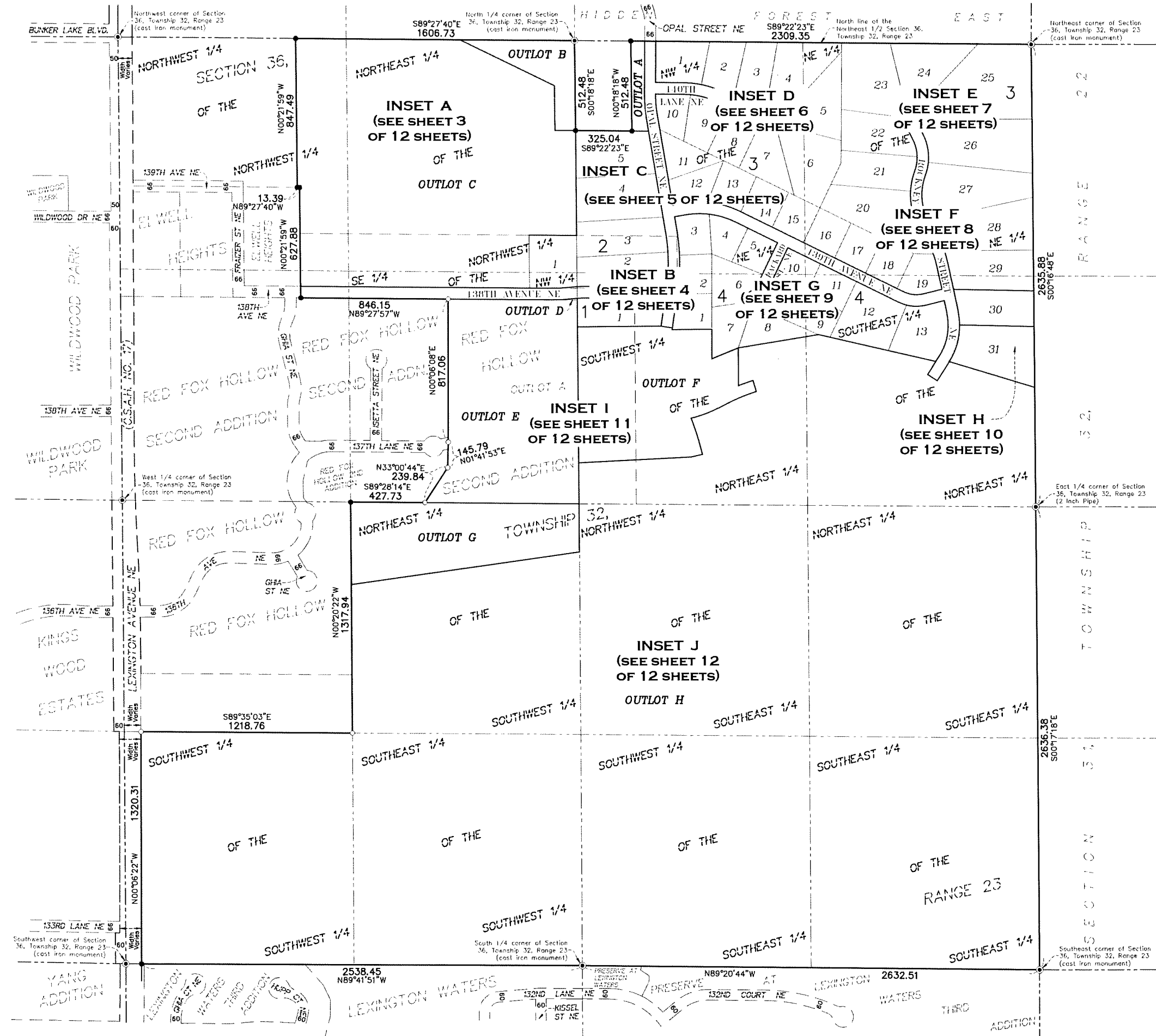
I hereby certify that this plat of ELWELL FARMS was filed in the office of the County Recorder/Registrar of Titles for public record on this _____ day of _____, 20____, at _____ o'clock ____M. and was duly recorded as Document Number _____.

County Recorder/Registrar of Title

By: _____, Deputy

ELWELL FARMS

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 36, TWP. 32, RGE. 23

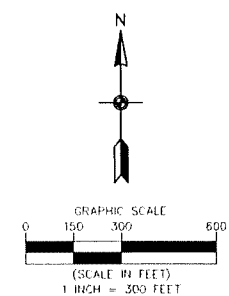


For the purposes of this plat, the North line of the Northeast 1/2 of Section 36, Township 32, Range 23 is assumed to have a bearing of South 89 degrees 22 minutes 23 seconds East.

○ Denotes 5/8 inch by 14 inch rebar, set or to be set within one year of recording of this plat and marked with license number 40361


● Denotes Found Iron Monument unless otherwise noted

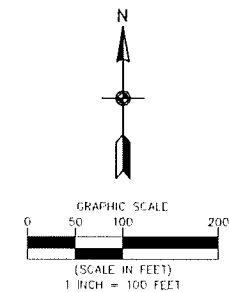
⊙ Denotes Found Anoka County Section Monument, as noted



CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 36, TWP. 32, RGE. 23

For the purposes of this plat, the North line of the Northeast 1/2 of Section 36, Township 32, Range 23 is assumed to have a bearing of South 89 degrees 22 minutes 23 seconds East.

- Denotes 5/8" inch by 14 inch rebar, set or to be set within one year of recording of this plat and marked with license number 40361
- Denotes Found Monument, as noted
- ⊙ Denotes Found Anoka County Cost Iron Section Monument
-  Denotes Wetlands provided by Kjaishow Environmental Services Company in 2024



CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 36, TWP. 32, RGE. 23

[illegible]

- Denotes 5/8 inch by 14 inch rebar, set or to be set within one year of recording of this plat and marked with license number 40361
- Denotes Found 1/2 inch Iron Pipe, marked with license number 9808

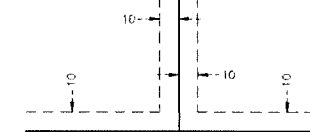


CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 36, TWP. 32, RGE. 23

[illegible]

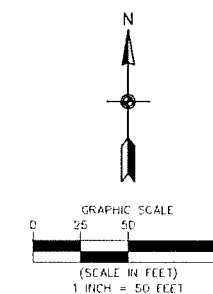
CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 36, TWP. 32, RGE. 23

DRAINAGE AND UTILITY
EASEMENTS ARE SHOWN THUS:




being 10 feet in width, and adjoining right of way lines, side lot lines, and rear lot lines unless otherwise shown on this plat.

For the purposes of this plat, the North line of the Northeast 1/2 of Section 36, Township 32, Range 23 is assumed to have a bearing of South 89 degrees 22 minutes 23 seconds East.



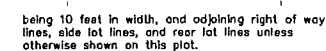
○ Denotes 5/8 inch by 14 inch rebar, set or to be set within one year of recording of this plat and marked with license number 40361

● Denotes Found 1/2 inch Iron Pipe, marked with license number 3959

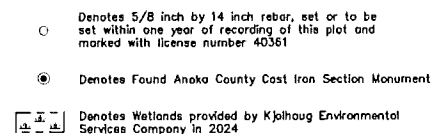
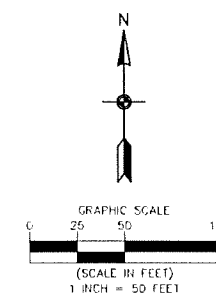
 Denotes Wetlands provided by Kjoihaug Environmental Services Company In 2024

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 36, TWP. 32, RGE. 23

DRAINAGE AND UTILITY
EASEMENTS ARE SHOWN THUS:



For the purposes of this plat, the North line of the Northeast 1/2 of Section 36, Township 32, Range 23 is assumed to have a bearing of South 89 degrees 22 minutes 23 seconds East.



CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 36, TWP. 32, RGE. 23

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For the purposes of this plat, the North line of the Northeast 1/2 of Section 36, Township 32, Range 23 is assumed to have a bearing of South 89 degrees 22 minutes 23 seconds East.


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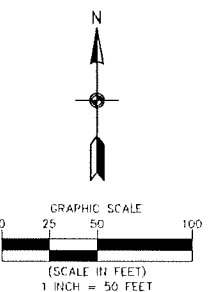
Denotes Wetlands provided by Kjoilhuug Environmental Services Company in 2024

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○ Denotes 5/8 inch by 14 inch rebar, set or to be set within one year of recording of this plat and marked with license number 40361

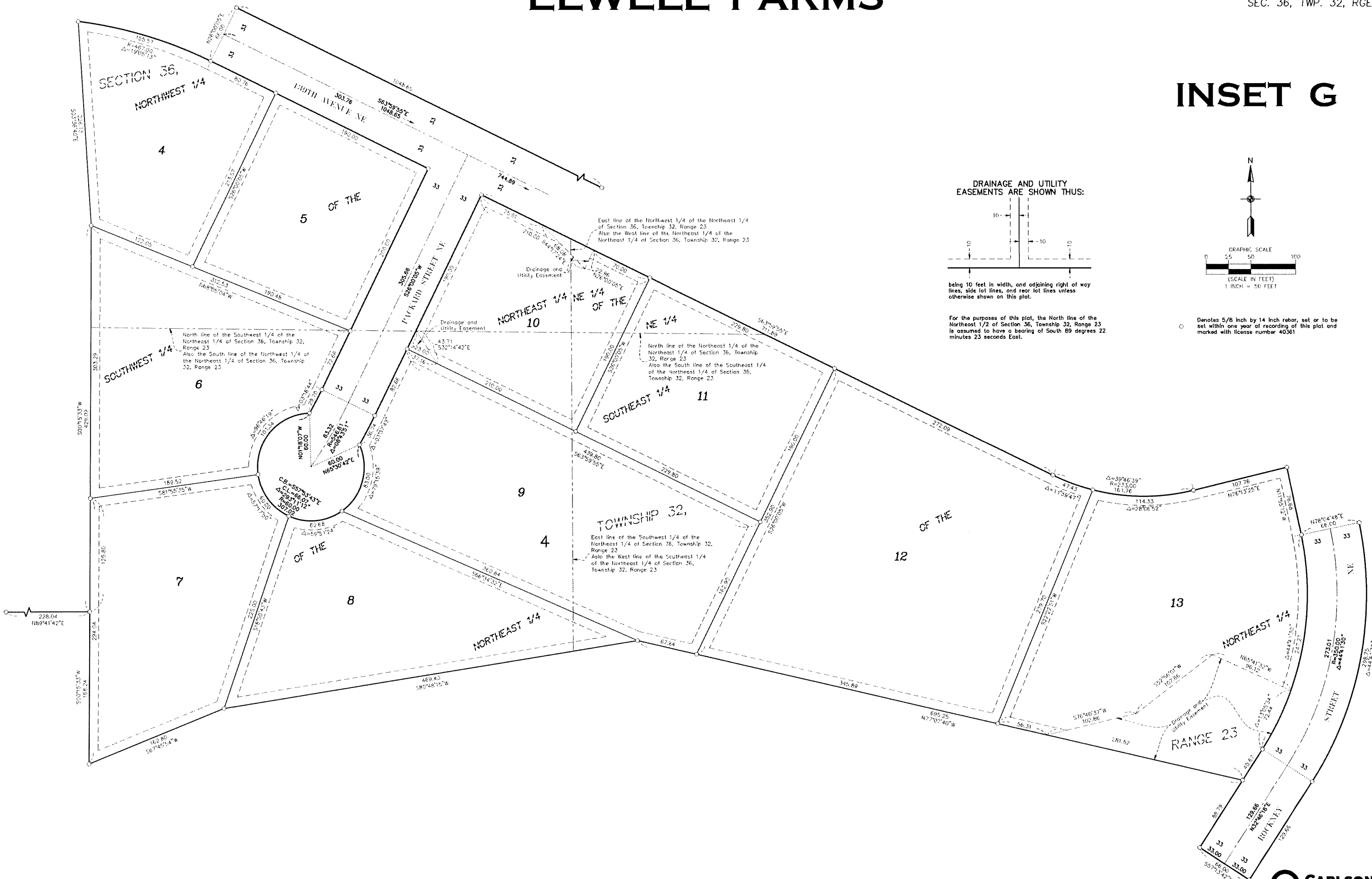
 Denotes Wetlands provided by Kjoihaug Environmental Services Company in 2024



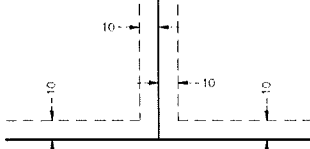
ELWELL FARMS

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 36, TWP. 32, RGE. 23

INSET G

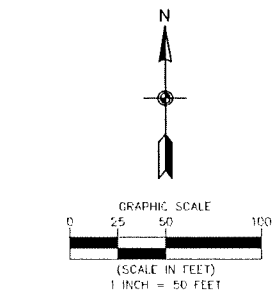


DRAINAGE AND UTILITY
EASEMENTS ARE SHOWN THUS:



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lines, side lot lines, and rear lot lines unless
otherwise shown on this plat.

For the purposes of this plat, the North line of the
Northeast 1/4 of Section 36, Township 32, Range 23
is assumed to have a bearing of South 89 degrees 22
minutes 23 seconds East.

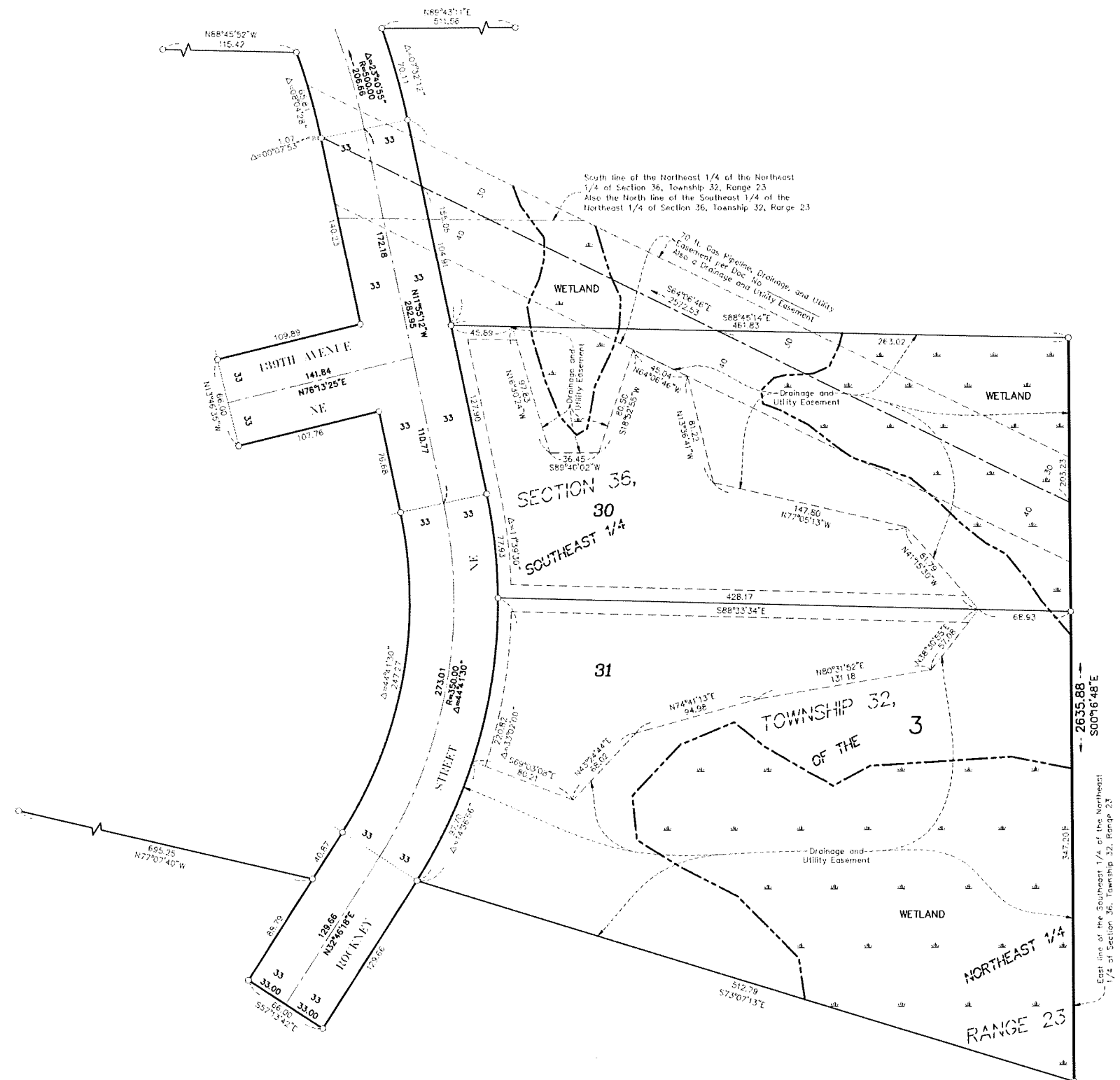


Denotes 5/8 inch by 14 inch rebar, set or to be
set within one year of recording of this plat and
marked with license number 40361

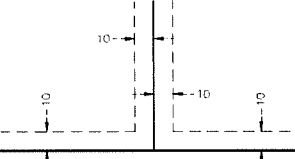
ELWELL FARMS

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 36, TWP. 32, RGE. 23

INSET H

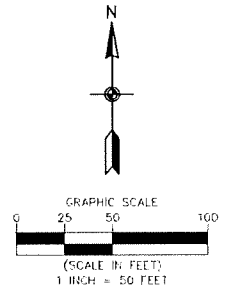


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EASEMENTS ARE SHOWN THUS:



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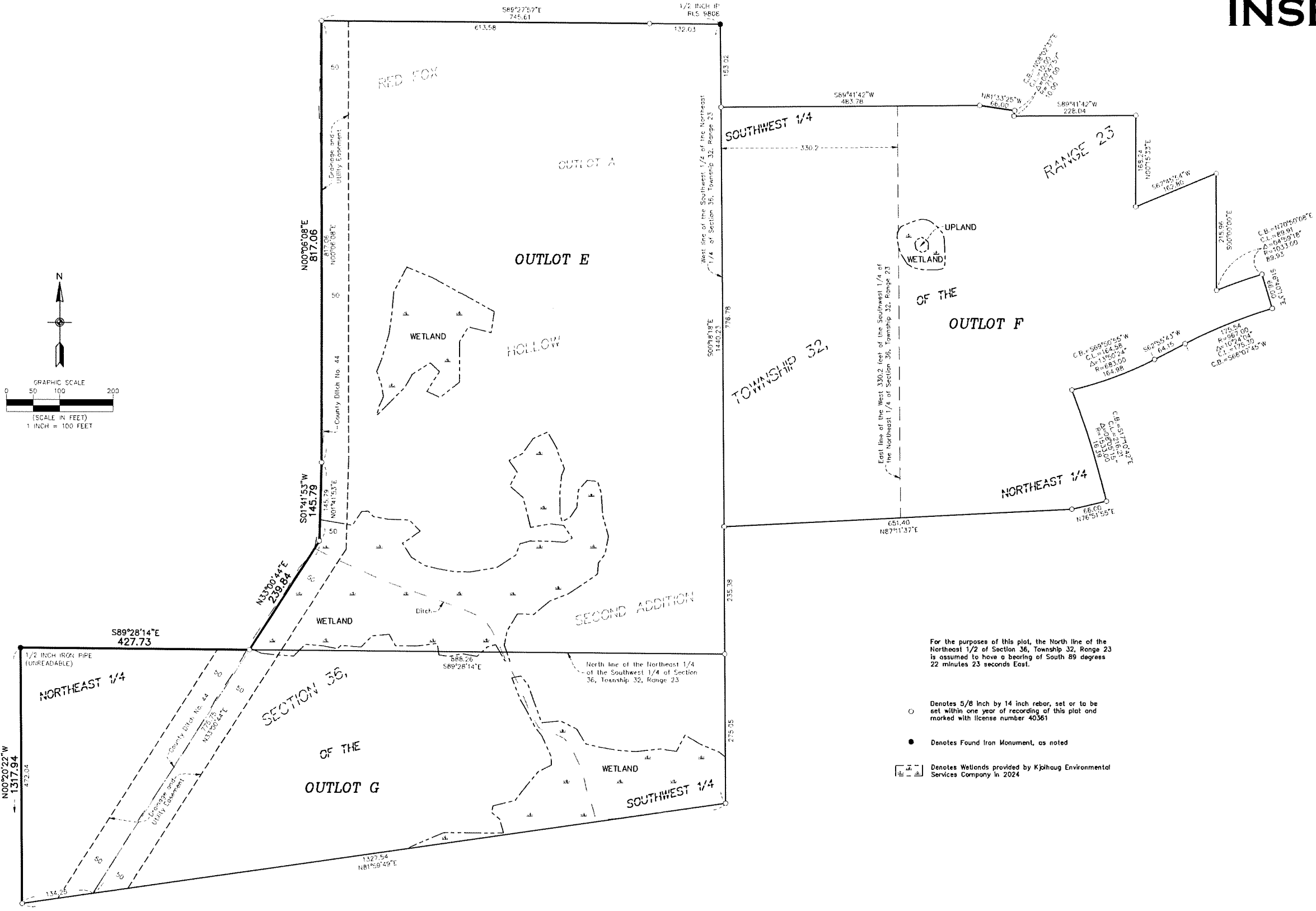
For the purposes of this plot, the North line of the
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- Denotes 5/8 inch by 14 inch rebar, set or to be set within one year of recording of this plot and marked with license number 40361
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ELWELL FARMS

INSET I



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- Denotes 5/8 inch by 14 inch rebar, set or to be set within one year of recording of this plat and marked with license number 40361
- Denotes Found Iron Monument, as noted
- Denotes Wetlands provided by Kjolhaug Environmental Services Company in 2024

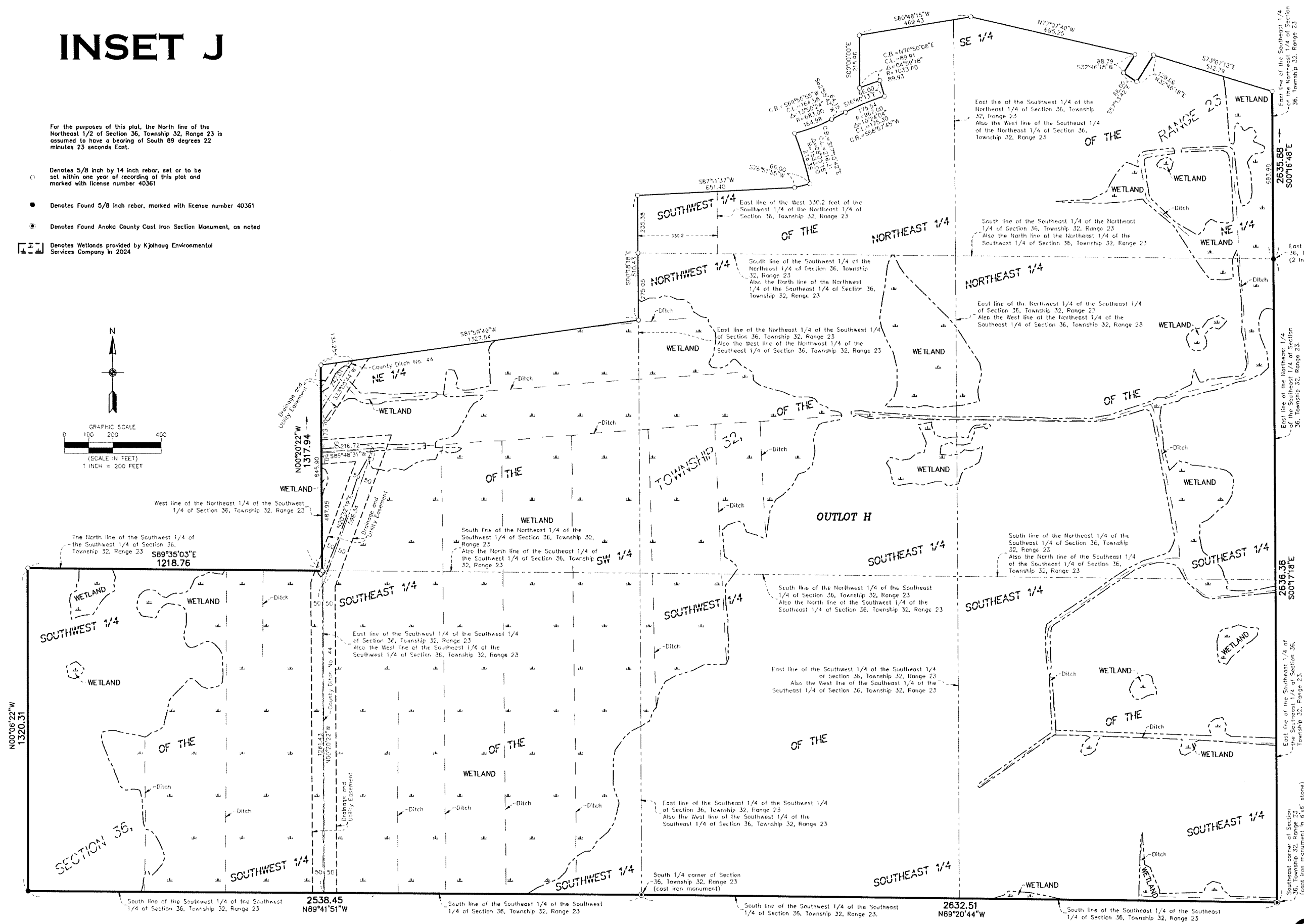
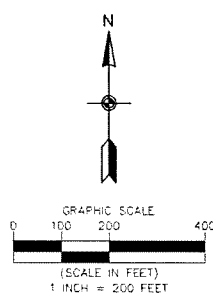
ELWELL FARMS

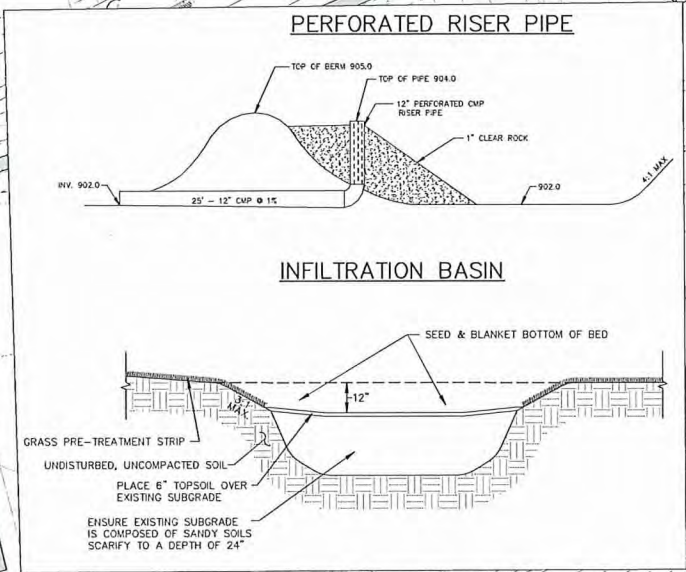
CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 36, TWP. 32, RGE. 23

INSET J

For the purposes of this plat, the North line of the Northeast 1/2 of Section 36, Township 32, Range 23 is assumed to have a bearing of South 69 degrees 22 minutes 23 seconds East.

- Denotes 5/8 inch by 14 inch rebar, set or to be set within one year of recording of this plat and marked with license number 40361
- Denotes Found 5/8 inch rebar, marked with license number 40361
- ⊙ Denotes Found Anoka County Cast Iron Section Monument, as noted
- ⊞ Denotes Wetlands provided by Kjaahug Environmental Services Company in 2024

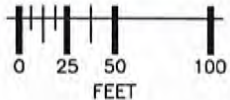
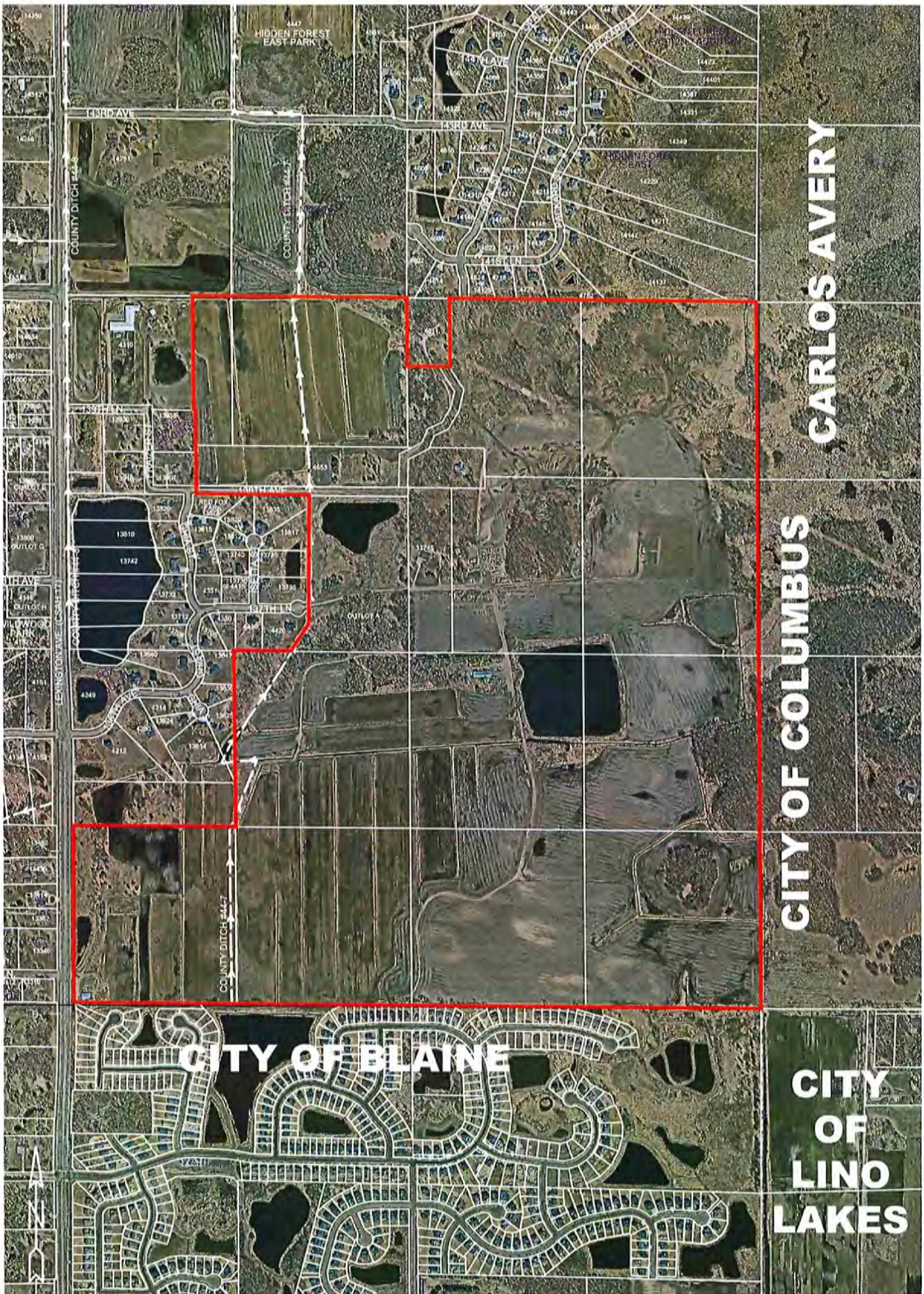




N

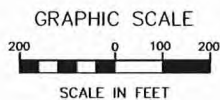
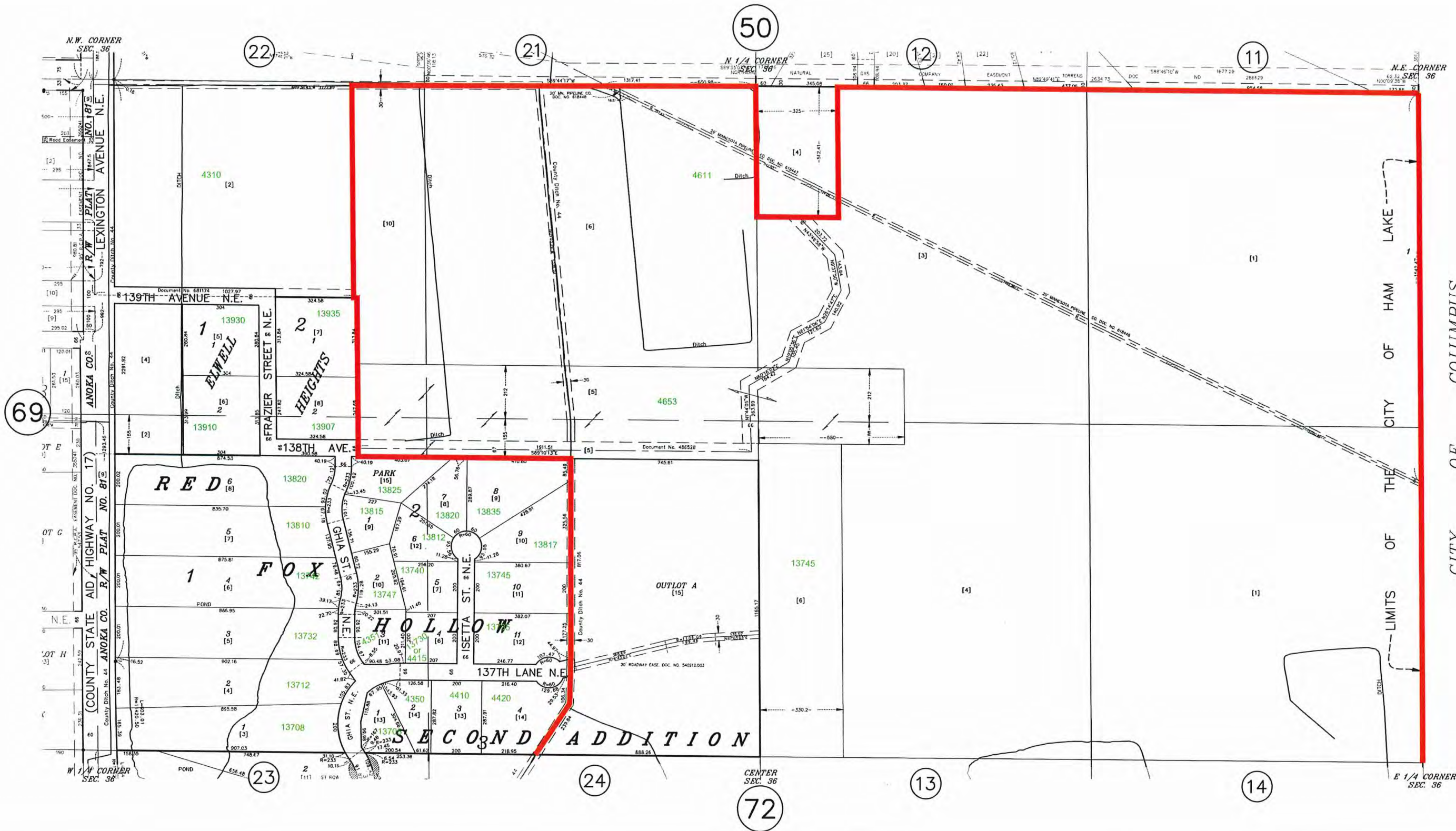
0 25 50 100
(IN FEET)

BENCHMARK	
1. Anoka County Benchmark No. 2006 -	Elevation = 897.58 ft. (NAVD83)
2. Anoka County Benchmark No. 3095 -	Elevation = 901.78 ft. (NAVD83)



N 1/2 SECTION 36, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11
23	24	13	14
32	31	42	41
33	34	43	44

NORTH HALF OF SECTION

SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter Number	Specific Parcel
XX	XX	XX	XX	XXXX

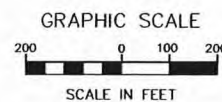
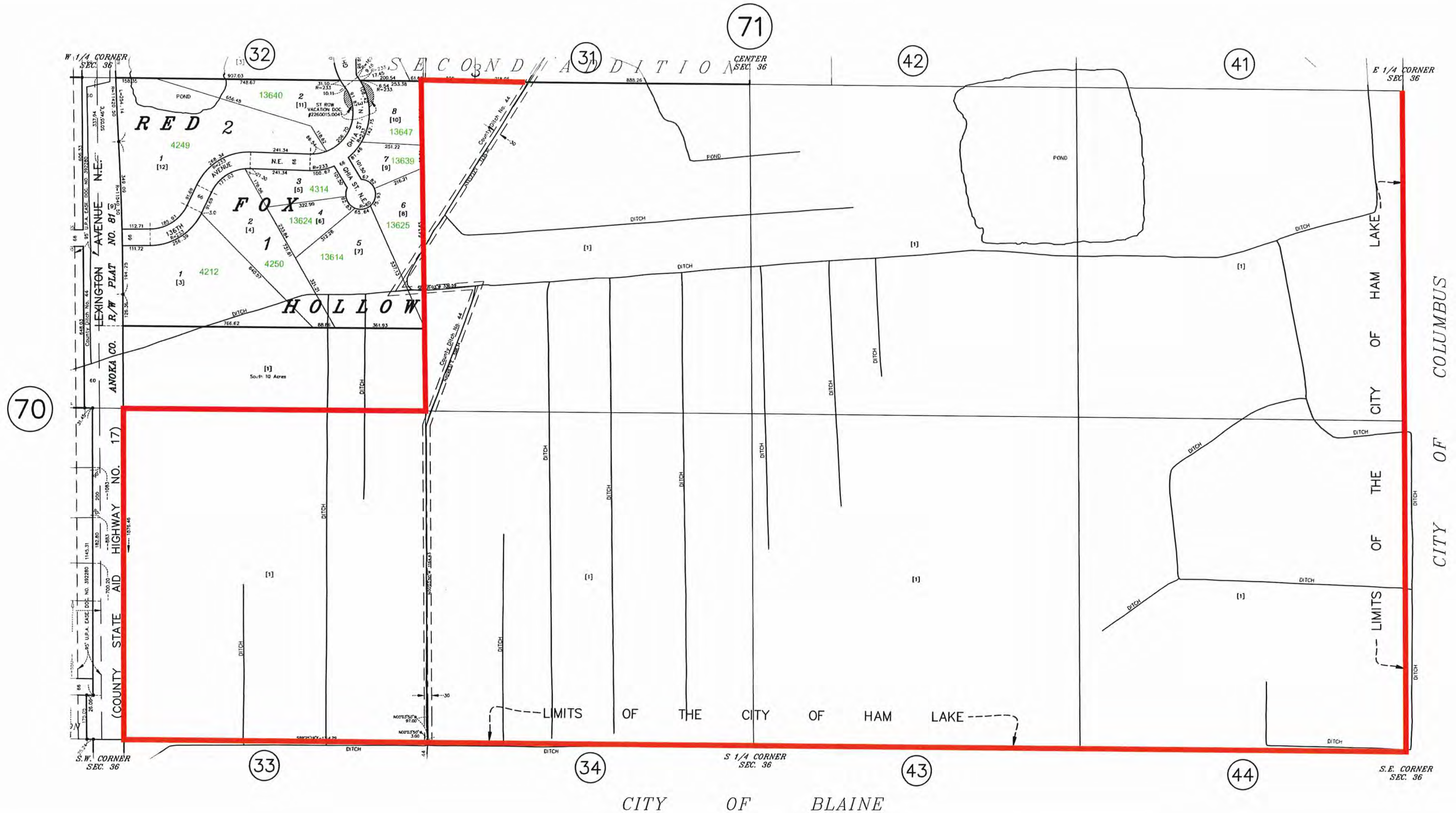
SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 36-32-23-13-0006

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

S 1/2 SECTION 36, T. 32, R. 23

CITY OF HAM LAKE

72



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11
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NORTH HALF OF SECTION

SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter Number	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 36-32-23-43-0001

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

From: Traut, Edward F <Ed.Traut@fhr.com>
Sent: Monday, May 19, 2025 6:35 PM
To: jradach@contourcd.com; Justin Olson <jolson@carlson-engineering.com>
Cc: Traut, Edward F <Ed.Traut@fhr.com>
Subject: RE: Elwell development - pipeline crossing plan, profiles, and overall

The second driveway drawing is good if you can move the east end of drive more to the south ... thank would be preferred .. although if not ... we are ok with the design. Everything else is acceptable. We want to get you an encroachment permit with the final drawings. Please let me know when final is ready. Thank you! Ed

From: jradach@contourcd.com <jradach@contourcd.com>
Sent: Monday, May 19, 2025 10:49 AM
To: 'Justin Olson' <jolson@carlson-engineering.com>; Traut, Edward F <Ed.Traut@fhr.com>
Subject: RE: Elwell development - pipeline crossing plan, profiles, and overall

Sent by an external sender

Good morning,

Following up on the below email. We are close to getting approvals from the various agencies and want to make sure we are all in alignment on these crossing.

Ed – any thoughts on this?

Thanks,

Joe

PERMIT
COON CREEK WATERSHED DISTRICT
13632 Van Buren St NE
Ham Lake, MN 55304
Permit Number: 2422

Project: Elwell Farms

Issued to: Elwell Family Farm/Thomas Elwell
4629 - 137th Ln NE
Ham Lake MN 55304

Location: 4629 - 137th Lane NE
Ham Lake, MN 55304

Permit Application #: P-24-064

Purpose: Construction of a 107 single family home development with associated stormwater treatment and utilities.

At its meeting on 05/27/2025, the Board of Managers of the Coon Creek Watershed District reviewed and approved your permit application. The following exhibits are on file describing the approved project:

1. Geotechnical Exploration Report by Haugo Geotechnical Services, dated 02/04/2025, received 04/09/2025.
2. Joint Application by Kjolhaug Environmental Services, Inc., dated 02/11/2025, received 03/12/2025.
3. Updated Attachment D by Kjolhaug Environmental Services, Inc., undated, received 05/08/2025.
4. Wetland Signage by Carlson Engineering, undated, received 6/26/2025.
5. Wetland Delineation by Kjolhaug Environmental Services, Inc., dated 03/11/2025, received 03/11/2025.
6. Construction Plans by Carlson Engineering, dated 03/10/2025, received 04/09/2025.
7. Final Grading Plans (1&2) by Carlson Engineering, dated 7/11/2025, received 7/15/2025.
8. Flood Mitigation Exhibit by Carlson Engineering, dated 02/05/2025, received 02/05/2025.
9. Storm Sewer Design by Carlson Engineering, undated, received 07/02/2025.
10. Stormwater Management Plan, by Carlson Engineering, dated 04/09/2025, received 04/06/2025.
11. 1st Addition Storm Sewer Plan (14 sheets); by Carlson McCain, undated, received 07/02/2025.
12. 1st Addition Temporary Pond Outlet for Pond 600; by Carlson McCain, undated, received 07/02/2025.
13. Final plat by Carlson Engineering, undated, received 7/15/2025.
14. SWPPP by Carlson Engineering, dated 6/19/2025, received 6/26/2026.

The Board of Managers found the project as planned to be in accordance with the Rules and Regulations, and Guidelines of the District, and therefore, approved the permit with 5 stipulations.

1. The applicant must apply for coverage under the Minnesota Pollution Control Agency's (MPCA's) Construction Stormwater Permit (Permit No: MNR100001)
2. Submittal of as-builts for the stormwater management practices and associated structures listed in Table 2, including volume, critical elevations and proof of installation for hydrodynamic separators.
3. Submittal of as-built (invert, pipe material, pipe size) for culvert installations within County Ditch 44-7 at 138th Ave and 137th Lane.
4. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.
5. Submittal of grading as-builts for the project to confirm adequate floodplain compensatory storage has been provided.

A follow up inspection will be conducted at the project site to assure compliance with all stipulations to this Permit. Failure to comply with the foregoing may result in rescission of the Permit, and is a violation of Minnesota Statutes section 103D.545, a misdemeanor.

This document is not transferable.

Date of Issuance: 8/1/2026

Date of Expiration: 8/1/2026



Tim Kelly, District Administrator

cc: File- P24-064
Dave Krugler, Ham Lake
Eileen Weigel, Stantec

*****IMPORTANT PERMIT REQUIREMENTS OUTLINED BELOW*****

GENERAL PERMIT STIPULATIONS:

1. The permittee must maintain the project authorized by this permit in good condition and in conformance with the terms and conditions of this permit.
2. The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the District for inspection of the work authorized hereunder.
3. The permittee shall utilize best management practices on the project site to minimize the potential for adverse impacts associated with erosion and sedimentation.
4. This permit applies only to the permitted project and the dated plans approved on this permit. If the design, location or purpose of the project changes you should contact the District to make sure the changes would not violate District Rules or applicable state law.
5. Construction work authorized under this permit shall be completed on or before the date specified above. The permittee may request an extension of the time to complete the project, stating the reason thereof, upon written request to the District.
6. The District may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
 - a. You fail to comply with the terms and conditions of this permit.
 - b. The information provided by you or in support of your permit application proves to have been false, incomplete, or inaccurate.
 - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
7. Permittee shall ensure that the contractor has received and thoroughly understands all conditions of this permit.

ADDITIONAL WETLAND-RELATED PERMIT CONDITIONS:

The following additional terms and conditions apply to replacement wetland(s) approved as part of this permit.

1. The replacement wetland approved as part of this permit must be constructed concurrent with or prior to any wetland fill or draining activity; or the District has received and accepted an irrevocable bank letter of credit, a performance bond, or other security acceptable to the District in an amount sufficient to guarantee the successful completion of the wetland replacement as provided under Minn. Rules 8420.0530 (B)(2), as amended.
2. The Notice of Use Restrictions and Maintenance Responsibilities specified in Minn. Rules 8420.0530(D)(6), as amended, must be recorded and proof of recording provided to the District within 30 days of completing construction of the replacement wetland (completion of construction as determined by the District).
3. The permittee each year for five years following completion of the replacement wetland must submit to the District a Monitoring Report on the replacement wetland, which Report includes the information specified in Minn. Rules 8420.0620, as amended. The Report must be submitted to the District no later than October 1 of each year.

THIS CERTIFICATION ONLY APPLIES TO THE WCA OF 1991, AS AMENDED. Permits from local, state, and federal agencies may be required. Check with the appropriate authorities before commencing work in or near wetlands. The Combined Project Notification form can be used for this purpose.

REFUNDING OF ESCROWS: Upon completion of the project the applicant shall notify the District that:

1. The project is complete
2. The site is stabilized
3. The project is ready for final inspection
4. All stipulations listed on this permit have been fulfilled
5. If applicable, the applicant would like return of its escrow

Upon receipt of such notification the District will inspect the project for conformance with the permit conditions and requirements, permitted plans and water resources associated with the implementation of those plans resulting from construction. If the District determines the project is not complete and/or not stabilized the District will inform the applicant in writing. If the District determines the site is complete and stabilized, the permit conditions and requirements have been satisfied, the District will execute the appropriate refund at its next regularly scheduled meeting where the Board pays bills (typically the second Monday of each month).

Escrow refunds will be calculated as follows and shown on the refund check

1. Amount of escrow balance paid in cash;
2. Minus any permit review and/or inspection fees
3. Minus any other project-related expenses incurred by the District.

**Tradewell Soil Testing
18330 Dahlia Street NW
Cedar, MN 55011**

July 7th, 2025

RFC Engineering
13635 Johnson Street NE
Ham Lake, MN 55304

To whom it may concern:

As a licensed site evaluator who conducted the soil borings at the Elwell Farm, for JNS Properties, I found the following: Each boring has at least 12" of natural, undisturbed soil with no redox features (mottled soil). In order to design and install a standard soil treatment system according to MN Chapter 7080 Code, at least 12" of natural soil with no signs of redox (mottling) is required. Therefore, each of the proposed lots will support 2 "standard" septic systems within the 7,500 square feet septic area as shown on the Grading Plan.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mark Tradewell', written in a cursive style.

Mark Tradewell
MPCA #307



STATE OF MINNESOTA
DEPARTMENT OF NATURAL RESOURCES
DIVISION OF ECOLOGICAL AND WATER RESOURCES
500 LAFAYETTE ROAD, BOX 25
ST. PAUL, MN 55155

SPECIAL PERMIT NO. 36543
(Taking of endangered and/or threatened species)
April 8, 2025

TO WHOM IT MAY CONCERN:

Under the authority of Minnesota Statutes, section 84.0895 and Minnesota Rules, parts 6212.1800-2100, and informed by the accompanying Findings of Fact and Decision Rationale, permission is hereby granted to:

Jesse Neumann
Designing Earth Contracting, Inc.
1282 187th Ln. NE
East Bethel, MN 55011

and their agents, employees, and contractors (Permittee), to take state threatened blunt-lobed grapefern (*Sceptridium oneidense*) incidental to construction of the 333-acre Elwell Farms residential development project (Project) located in Section 36, Township 32 North, Range 23 West, Ham Lake, Anoka County, Minnesota, as described in the permit application dated February 13, 2025, the Wetland Replacement Plan dated March 12, 2025, and supplementary material submitted on March 28, 2025, subject to the following conditions:


1. **Limited take:** Permitted take of the specified state-protected species during construction of the project is limited to activities described in the application and the area shown in Figure 1. Any additional taking of endangered or threatened species is beyond the authority of this permit and may only be conducted under the authority of a separate permit.
2. **Plant Salvage:** The Permittee shall cooperate with the DNR and the Anoka Conservation District to allow access to the Project area to salvage the blunt-lobed grapefern plants within the Project area prior to grading. At least two weeks prior to construction, the Permittee must coordinate access for the plant salvage with the Rare Rescue Program of the Anoka Conservation District (carrie.taylor@anokaswcd.org and minera@umn.edu). If soils are too frozen or compacted for hand-digging at the time designated for salvage, the Permittee must provide an equipment operator and excavation equipment to excavate the soils section(s) containing blunt-lobed grapeferns.
3. **Plant avoidance:** No work (including tree removal, grading, or silt fence installation) will occur within 50 feet of the five locations where other protected plant species occur on the Project Site (**Figure 1**). For 4 of the 5 locations, work will not occur within 110 feet.
4. **Blanding's Turtle Avoidance:** the Permittee must implement the following Blanding's turtle avoidance measures identified in MCE-2024-00414, throughout duration of the Project:
 - a. Avoid impacts to wetland and aquatic overwintering habitat, between September 15 and April 15.
 - b. To prevent turtles from nesting within the project area, install silt fencing or similar turtle-proof barriers around all soil stockpiles, gravel pads, and other areas of exposed soil/sand/sediment to **prevent turtle access from May 15 to July 15.**

- c. Roads should be ditched, not curbed or below grade. If curbs must be used, install wildlife friendly curbs to allow turtles to leave the road. Gutters and stormwater inlets should be designed to prevent turtles from entering the storm sewer. For an example, reference "Curb Design and Small Animals" (Chapter 1, Page 24) in Best Practices for Meeting DNR General Public Waters Work Permit GP 2004-0001.
 - d. Limit erosion and sediment control to wildlife friendly erosion control to avoid the inadvertent take of Blanding's turtles.
 - e. If installing riprap, riprap must have voids filled with gravel, soil, or other material between large stones to avoid entrapping turtles and to maintain connectivity between aquatic and upland habitat.
 - f. Avoid hydro-mulch products that contain any materials with synthetic (plastic) fiber additives, as the fibers can re-suspend and flow into waterbodies.
 - g. The Blanding's turtle flyer (attached) must be given to all contractors working in the area.
 - h. Check bare ground within construction areas for turtles before the use of heavy equipment or any ground disturbance.
 - i. Report any sightings using the Quick Species Observation Form.
 - j. If turtles are in imminent danger, move them by hand out of harm's way; otherwise, they are to be left undisturbed. Directions on how to move turtles safely can be found at Helping Turtles Across the Road.
5. **Reporting:** The Permittee will submit a report to the Endangered Species Consultant (EndangeredSpeciesPermits.dnr@state.mn.us) by January 31 following completion of the Project. The report will provide photo documentation of the avoidance measures and erosion controls methods used and describe any deviations from the work anticipated in the application.
6. **Mitigation:** Compensatory mitigation for this take totals fifteen-thousand dollars (\$15,000), which will be provided to the Minnesota Department of Natural Resources, pursuant to Minnesota Statutes, section 84.0895 subdivision 1, for the purpose of activities contributing to the conservation of blunt-lobed grapefern in Minnesota, and so create a net benefit to the species in Minnesota.
7. **Invasive Species Prevention:** The DNR requires active steps to prevent or limit the introduction, establishment, and spread of invasive species during permitted work. The Permittee shall prevent invasive species from entering into or spreading within a Project site by cleaning equipment prior to arriving at the Project site. All mulches, topsoils, and seed mixes will be weed-free to prevent spread of invasive species.
- If the equipment, vehicles, gear, or clothing arrives at the project site with soil, aggregate material, mulch, vegetation (including seeds) or animals, it shall be cleaned by Permittee furnished tool or equipment (brush/broom, compressed air or pressure washer) at the staging area. The Permittee shall legally dispose of material cleaned from equipment and clothing offsite. Material shall be secured prior to transport (sealed container, covered truck, or wrap with tarp).
8. **Applicable Federal, State, or Local Regulations:** The Permittee is not released from any rules, regulations, requirements, or standards of any applicable federal, state, or local agencies; including, but not limited to, the U.S. Fish and Wildlife Service, watershed districts, county, city and township zoning. It is the Permittee's responsibility to acquire any additional permits or permissions that may be required.



9. **No Changes:** The Permittee shall make no changes, without written permission or amendment previously obtained from the Commissioner of Natural Resources, in the timing or location of any items of work authorized hereunder.
10. **Site Access:** The Permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the Commissioner of Natural Resources for inspection of the work authorized hereunder.
11. **Termination:** DNR may immediately terminate any takings permit upon determination that cancellation is necessary for the conservation of natural resources, for the welfare of particular specimens, or is in the public interest. See Minnesota Rules, part 6212.1800, subpart 8.
12. **Violation:** Violation of any of the permit terms or applicable laws may result in immediate revocation of the permit and may subject the Permittee to other penalties established by law.
13. **Written Consent:** In all cases where the Permittee by performing the work authorized by this permit shall involve the taking, using, or damaging of any property rights or interests of any other person or persons, or of any publicly owned lands or improvements thereon or interests therein, the Permittee, before proceeding, shall obtain the written consent of all persons, agencies, or authorities concerned, and shall acquire all property, rights, and interests needed for the work.
14. **Permissive Only/No Liability:** This permit is permissive only. No liability shall be imposed by the State of Minnesota or any of its officers, agents or employees, officially or personally, on account of the granting hereof or on account of any damage to any person or property resulting from any act or omission of the Permittee or any of its agents, employees, or contractors. This permit shall not be construed as estopping or limiting any legal claims or right of action of any person other than the state against the Permittee, its agents, employees, or contractors, for any damage or injury resulting from any such act or omission, or as estopping or limiting any legal claim or right of action of the state against the Permittee, its agents, employees, or contractors for violation of or failure to comply with the permit or applicable conditions.
15. **Contractor Responsibility:** The Permittee shall ensure any contractors or agents acting under this permit have received and thoroughly understands all conditions of this permit.
16. **Effective Dates:** This permit is effective upon DNR's signature of this permit, which will occur after the DNR has received the mitigation payment. This permit will expire on December 31, 2028.

Signed by:



666A3882678F4BF...

5/8/2025

Katie Smith
Director, Division of Ecological and Water Resources

Date

I hereby certify that I have read, understand, and accept the provision of this permit and understand that this permit is not valid unless it is signed by me.

DocuSigned by:



C5FFCF69DF13421...

4/22/2025

Permittee

Date

C: Dan Lais, Regional Manager, Division of Ecological and Water Resources
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Carrie Taylor, Rare Plant Rescue Program, Anoka Conservation District
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Figure 1. Map of the Project site in Ham Lake, Minnesota, showing the limits of the impact area (fencing), the location of the blunt-lobed grape fern to be taken, and locations of rare plants that will be avoided.

