



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, SEPTEMBER 8, 2025

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: August 25, 2025

PUBLIC HEARING: None

NEW BUSINESS:

1. Adam Bradley of Enthusiast Car Co., requesting Commercial Site Plan approval to construct a 96' X 93' parking lot at 1353 172nd Lane NE.

OLD BUSINESS:

1. Darren Lazan of Landform Professional Services, LLC, on behalf of Jason Osberg, JD Ham Lake Holdings, LLC, requesting preliminary plat approval and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for Kohler Farms, a 43-lot single family residential development in Section 13. (Tabled August 25, 2025)

COMMISSION BUSINESS:

1. City Council Update

CITY OF HAM LAKE
PLANNING COMMISSION MINUTES
MONDAY, AUGUST 25, 2025

The Ham Lake Planning Commission met for its regular meeting on Monday, August 25, 2025, in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Kyle Lejonvarn, Dave Ringler, David Ross and Erin Dixon

MEMBERS ABSENT: Commissioners Jeff Entsminger and Jonathan Fisher

OTHERS PRESENT: Attorney Mark Berglund, Building and Zoning Official Mark Jones, City Engineer Dave Krugler and Building and Zoning Clerk Jennifer Bohr

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Dixon, seconded by Ringler, to approve the minutes of the August 11, 2025, Planning Commission meeting as written. All present in favor, motion carried.

PUBLIC HEARING:

John Markquart of Markquart Ham Lake, LLC, requesting an amendment to the Conditional Use Permit to revise hours of operation for North Country RV at 14525 Highway 65 NE.

Mr. John Markquart was not present. Commissioner Dixon completed the inspection, a copy which is on file. Commissioner Dixon stated the applicant has requested a change to the business hours listed on the existing Conditional Use Permit (CUP). Commissioner Dixon stated the applicant requested longer business hours on Saturday and some business hours on Sunday. Commissioner Dixon stated per state statute, no motor vehicle sales are permitted on Sundays; campers are considered motor vehicles per the definition in state statute. Commissioner Dixon stated there were several terms and conditions listed on the existing CUP and a few other terms should be modified. Commissioner Lejonvarn asked if the applicant had commented on needing business hours later than 8:00 p.m. and would sales hours be different than service hours. Commissioner Lejonvarn stated he is concerned about noise that could be generated

from the services bays due to the business being adjacent to residential lots. Commissioner Dixon stated the applicant did not ask for longer hours nor did he comment on differing hours between sales and service. Chair Pogalz stated during the commercial site plan review, Mr. Markquart stated hours may be shorter in winter months when sales are slow.

Chair Pogalz opened the public hearing at 6:05 p.m. and asked for public comment.

Faith Roberts, 14601 and 14604 Highway 65 NE

Ms. Roberts stated her property is directly north of the North Country RV parcel. Ms. Roberts stated she has never had an issue related to noise or business activity from the North Country RV.

Chair Pogalz closed the public hearing at 6:07 p.m.

Motion by Dixon, seconded by Lejonvarn, to recommend approval of an amendment to the Conditional Use Permit to revise hours of operation for North Country RV at 14525 Highway 65 NE as requested by John Markquart of Markquart Ham Lake, LLC, and the revision of some of the existing terms per the following:

- 1) Signage in customer restricted areas to be posted every 50 feet and on all corners and, if signage is deemed not to be working, that the City reserves the right to require paving or fencing of these areas.**
- 2) The City reserves the right to address noise complaints.**
- 3) The Aberdeen Street NE access is an exit only access.**
- 4) The City reserves the right to alter access of 145th Lane NE and Aberdeen Street NE.**
- 5) A double row of 4-foot conifer trees to be planted and maintained along Aberdeen Street NE.**
- 6) Fencing to be maintained repaired along the entire perimeter of the property.**
- 7) The trash enclosure to be screened.**
- 8) No engine repair is to be done on site.**
- 9) Severely damaged vehicles be kept inside the facility or completely screened or covered and that there will be a maximum of 2 damaged vehicles on the lot at any one time.**
- ~~10) Signage facing the residential area to be removed.~~**
- 11) Hours of operation will be 7:01 a.m. ~~9:00 a.m.~~ to 8:00 p.m. Monday through Saturday.**
- 12) Meeting all City, State and County Codes.**

All present in favor, motion carried. *This application will be placed on the City Council's Tuesday, September 2, 2025, agenda.*

PUBLIC HEARING:

Abraham Alwan of Exotic Automotives LLC, requesting a Conditional Use Permit to operate a service, repair and auto body shop at 16909 Baltimore Street NE

Mr. Abraham Alwan and Mr. Hany Omar were present. Mr. Omar spoke on Mr. Alwan's behalf. Mr. Omar stated he purchased the property several years ago with the intent of having multiple used car dealerships operating from the location along with mechanical

services. Mr. Omar stated Mr. Alwan would like to have the ability to repair cars onsite, which would include mechanical service as well as auto body work. Mr. Omar stated the paint booth has not been set up yet. Mr. Omar stated once they obtain approval for Mr. Alwan to do service, repair and auto body work, they will apply for the proper licensing. Commissioner Ross completed the inspection, a copy which is on file. Commissioner Ross stated he met with Mr. Alwan, inspected the site and all components of their operations. Commissioner Lejonvarn asked if Commissioner Ross observed any indication of stored chemicals or painting of cars. Commissioner Ross stated he did not. Commissioner Ross stated the paint booth has not yet been constructed. Commissioner Ross stated the building is large, six cars can be stored inside, and the sales area is separated from the service area. Building and Zoning Official Jones stated the applicant will need to apply for a mechanical permit to construct a spray booth, a fire suppression system is needed in the spray booth, make up air will be required, and the applicant must comply with all city and state codes.

Chair Pogalz opened the public hearing at 6:13 p.m. and asked for public comment; with there being none, Chair Pogalz closed the public hearing at 6:13 p.m.

Motion by Ross, seconded by Dixon, to recommend approval of a Conditional Use Permit, as requested by Abraham Alwan of Exotic Automotives LLC, to operate a service, repair and auto body shop at 16909 Baltimore Street NE subject to:

- 1. That all damaged vehicles be parked within the screened area and that a 12-foot drive aisle be maintained between rows of cars and at the end of each row, on the gate side, of the screened in area.**
- 2. No outside storage of liquids, tires, parts, etc.**
- 3. No "parts" cars (vehicles bought for the sole purposes of removing parts for other vehicles)**
- 4. All repairs need to be done inside the building. This includes any type of repair work such as body work or replacement of headlights, etc.**
- 5. All fluids to be contained and disposed of according to State and County requirements.**
- 6. That proper screening be provided between commercial and residential property and that the primary and secondary septic area and septic tanks be protected.**
- 7. That all auto sales activities be kept separate from the auto repair, and all requirements of Article 7-900 be adhered to for auto sales.**
- 8. Exotic Automotives LLC provide a minimum of four parking stalls for employees, and four parking stalls for customers. The handicap parking space(s) must be property marked.**
- 9. Exotic Automotives LLC hours of operation are to be, Monday through Friday 10:00 a.m. to 7:00 p.m., and Saturday 10:00 a.m. to 5:00 p.m.**
- 10. Meeting all City, County, and State requirements.**

All present in favor, motion carried. *This application will be placed on the City Council's Tuesday, September 2, 2025, agenda.*

PUBLIC HEARING:

Darren Lazan of Landform Professional Services, LLC, on behalf of Jason Osberg, JD Ham Lake Holdings, LLC, requesting preliminary plat approval and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for Kohler Farms, a 43-lot single family residential development in Section 13

Mr. Darren Lazan and Mr. Jason Osberg were present. Mr. Lazan spoke on behalf of the project. Mr. Lazan provided background on their company's subdivision development history and some details on the Kohler Farms plat. Mr. Lazan stated they will be creating ponds within the plat and plan to excavate them to a depth of five feet below ground water level; several homes will have backyards that will have access to the ponds. Mr. Lazan stated the ponds, and chains of hydrology, will positively affect the floodplain in the immediate area, primarily on the north and west sides of the project. Mr. Lazan stated the floodplain will be lowered approximately 1.8 feet resulting in a substantial amount of buildable land. Mr. Lazan stated a few lots will be custom graded lots. Mr. Lazan stated they are trying to move the project forward as quickly as they can to close as many lot sales as they can. Mr. Lazan expressed gratitude for all the help and direction provided by city staff, the City Engineer and the Planning Commission to date. Mr. Lazan stated he would like to discuss a couple of the comments on the City Engineer's most recent review letter related to trails and the temporary construction access off of Lexington Avenue NE as well as steps taken thus far in the Kohler Farms platting process. Mr. Lazan stated the Coon Creek Watershed District (CCWD) is still reviewing plans for the plat. Mr. Lazan stated he believes outstanding items listed in the City Engineer's review letter will change once they receive feedback from CCWD. Mr. Lazan stated his team has been following the guidelines provided on plat checklists for the city found on the RFC Engineering website. Mr. Lazan stated he and his partner believe they have satisfied the requirements for the preliminary plat based on the checklists and are requesting conditional approval of the Kohler Farms preliminary plat. Chair Pogalz asked if dewatering would be necessary on the site if digging is done below the water table, and how will that affect existing wells. Mr. Lazan stated dewatering may be necessary, and if dewatering is necessary, the maximum depth of the dewatering would be to depth of ten feet. Chair Pogalz stated residents in the area are concerned about their wells due to the issue Blaine created when they opened three large wells a few years ago causing some Ham Lake residents' wells to go dry. Chair Pogalz asked Mr. Lazan what was at stake if a recommendation for approval of the preliminary plat was not received at this meeting. Mr. Lazan stated approval would allow them to take the next steps in completing plans for the plat; not receiving a recommendation for approval tonight will extend the timeline for completing various tasks and breaking ground. Commissioner Ringler stated there has been discussion about city preliminary plat, grading drainage and erosion control and construction and checklists and the CCWD review. Commissioner Ringler asked for clarification on why recommendation for preliminary plat approval should not be made if the guidelines on the checklist were followed. Engineer Krugler stated a CCWD permit is required before the developer can break ground. Engineer Krugler stated preliminary plat documents should be plans ready for construction. Engineer Krugler stated the current set of plans under review indicate grading issues that could require a change in the proposed type of home to be constructed on a lot, could change the livability plans or change the grade between proposed homes potentially reducing the number of lots that could be created. Engineer Krugler stated he has reviewed several plats that were

approved in the past and found the preliminary plat documents for those plats met all requirements and the final plat was approved shortly after. Engineer Krugler stated the CCWD just started reviewing the plans for Kohler Farms and their feedback will likely require some modifications to the plans. Engineer Krugler stated there are too many unanswered questions at this time, hence he has recommended tabling the plat until additional modifications, that meet Code and engineering requirements, are made. Engineer Krugler stated Mr. Lazan has asked if a trail could be constructed on the property line, partially within drainage and utility easements on two lots. Commissioner Lejonvarn asked how many lots would be impacted by the bike trail if it was constructed on the property line. Engineer Krugler stated four. Engineer Krugler stated trails constructed in previous developments have been on one lot and were not on a property line or within a drainage and utility easement. Engineer Krugler stated if the developer opts to construct the trail within the development on the property line, the developer will get credit for the paving of the trail but will not get credit toward the parkland dedication requirement due to being within drainage and utility easements. Mr. Lazan stated it is acceptable to him to get credit for paving a trail on the property line without receiving credit toward the parkland dedication requirement. There was discussion about how drainage would be managed on the trail. Commissioner Ringler stated the discussion has helped him determine that there are enough issues to work through, including finalizing the grading plan, to table this matter. Attorney Berglund stated the preliminary plat is currently under review; review of the final plat to be sometime in the future. Attorney Berglund stated Engineer Krugler referenced City Code earlier; there are a few *shalls* in the Code that have not been met. Attorney Berglund stated statutory interpretation of *shall* is that it must be done before a project can be advanced to the next phase. Attorney Berglund stated checklists are guides but ultimately the requirements of the Code must be met. Attorney Berglund stated Article 10-204 of the Code, Preliminary Plat, states the preliminary plat shall be a final subdivision design. Attorney Berglund stated Engineer Krugler has concerns that the incomplete grading elements may change the plat design or may change the number of lots. Attorney Berglund stated, per the Code, the preliminary plat shall be a final subdivision design. Attorney Berglund stated the other *shall* is that city staff shall have submitted the preliminary plat drawing and other related documents to all other agencies or entities necessary to review and comment on the plat, and shall either have received replies from each, or, if thirty days have elapsed since submission, the failure to have replied shall be deemed to be an approval by the entity. Attorney Berglund stated staff has sent the plans to the agencies, we are currently within the 30-day period and the CCWD has not reviewed or commented on the plans. Attorney Berglund stated because all comments have not yet been received, and there is potential for the design of the plat to change, the preliminary plat plans may not reflect the final plat design. Attorney Berglund stated work toward completing all preliminary plat requirements can continue, and ultimately the timeline for final plat approval may not be any different than if the preliminary plat was recommended for approval at this meeting. Mr. Lazan asked if the Planning Commission, or City Council, acted after the 30-day comment period. Attorney Berglund stated the Planning Commission will review the preliminary plat again and then the City Council would review the preliminary plat. Mr. Lazan presented a line of reasoning related to his interpretation of what should be considered at the final plat. Attorney Berglund cautioned Mr. Lazan on his interpretation of the final plat and stated this is not the final plat – correct? Mr. Lazan stated it was not

the final plat. Engineer Krugler asked Mr. Lazan if he had received any feedback on the plat from the CCWD. Mr. Lazan stated he had not. Mr. Lazan stated an application was submitted to the CCWD two months ago, but he asked the CCWD not to review the plans until the City Engineer had done a couple reviews of them. Mr. Lazan stated he is concerned about changes to the plat that may be required by the CCWD and the impact those requirements would have on the project timeline. Chair Pogalz stated the points of concern are understood, but the Planning Commission must follow the rules and code requirements before making a recommendation to approve a project. Chair Pogalz stated other developers have had to comply with the same requirements. Commissioner Lejonvarn asked who would be responsible if any wells in the area were impacted or dried up due to the development of this plat. Building and Zoning Official Jones stated the City of Blaine drew a very large volume of water from a deep aquifer which caused the issue; the wells in the Kohler Farms development will draw from ground water which should not create an issue. Engineer Krugler stated there will be one well per home which will be on parcels of one acre or larger; the aquifers in the area should have sufficient water for regular household usage. There was discussion about the proposed temporary construction access off Lexington Avenue NE where all construction traffic will be directed to. Chair Pogalz asked Building and Zoning Official Jones if he had any comments on the plat. Building and Zoning Official Jones stated the issues related to grading and low elevations are of concern to him and those issues need to be addressed now to avoid problems when homes are constructed in the future.

Chair Pogalz opened the public hearing at 7:06 p.m. and asked for public comment.

Michelle Naughton, 4130 159th Avenue NE

Ms. Naughton expressed concerns related to traffic flow and safety, snow removal and city resources and emergency response. Ms. Naughton stated she understood there would be more development in the area when her home was constructed but did not expect the development to be a project the size of Kohler Farms. Ms. Naughton expressed concern about increased traffic on existing neighborhood roads due to no new outlets being created. Ms. Naughton stated 155th Avenue NE recently required an infrastructure assessment and upgrade to handle increased traffic that it was not designed for. Ms. Naughton stated she felt 155th Avenue NE, Austin Street NE, Yalta Street NE, Wake Street NE and Cord Street NE may all have the same problem. Ms. Naughton stated when the Enchanted Estates subdivision was developed, the addition of Cord Street NE was required to better manage traffic. Ms. Naughton asked why Kohler Farms is allowed to move forward without similar consideration. Ms. Naughton stated adding more cul-de-sacs, or more dead-end streets, will increase the time and resources needed to plow and maintain the streets, increasing long-term costs for the city and service delays for residents. Ms. Naughton stated a more serious matter to consider is emergency response. Ms. Naughton stated that the size of the Kohler Farms development, that includes several dead-end streets, may increase response times for emergency services. Ms. Naughton stated wetlands on the Kohler Farms site appear to be making connectivity within the development complicated and it appears the wetlands have not been fully assessed. Ms. Naughton stated residents, and the Planning Commission deserve to see the full environmental realities before approving a design that could compromise safety, infrastructure and the integrity of the neighborhood. Ms.

Naughton expressed concern that not all neighbors were notified of the hearing. Ms. Naughton urged the Planning Commission not to approve the Kohler Farms plat until wetlands were further assessed, additional access points were secured and the broader impacts on safety, snow removal and infrastructure were addressed.

Christopher Bailey, 4113 159th Avenue NE

Mr. Bailey stated he also has the same concerns as Ms. Naughton. Mr. Bailey stated one of the things that brought him and his wife to the area were the protective covenants that brought uniformity to the neighborhood, ensured cohesive development and maintained property values. Mr. Bailey stated he has not seen anything that would ensure standards of development for Kohler Farms. Mr. Bailey stated he is very concerned about the amount of construction traffic the new development will generate. Mr. Bailey is concerned that the roads in the existing developments are not constructed to handle the increased traffic and large trucks. Mr. Bailey stated he has small children. Mr. Bailey stated he is concerned about their safety as there are no sidewalks to walk or ride bikes on. Mr. Bailey stated many vehicles speed through the neighborhood now and he is concerned the speeding will get worse. Mr. Bailey stated he noticed the developers are not being required to provide park space and that the new development will use the small park in the Enchanted Estates subdivision. Mr. Bailey stated the Enchanted Estates Park is a very small park with a lot of open grassy area; the park is not a very significant park space for 43 more families. Mr. Bailey stated he is also concerned about the impact the increased population will have on schools and class sizes. Mr. Bailey asked what is being discussed related to ensuring the city's infrastructure can support the growth in the city.

Diana Olsen, 15729 Lexington Avenue NE

Ms. Olsen stated she hears a lot of talk about the wetlands. Ms. Olsen stated she is wondering what happened to the wetlands as they are not visible like they used to be. Ms. Olsen stated she is concerned about the wells in the area; every time there is new development in the area the water level in the wells gets low and the water quality gets worse in that she notices more rust and more sediment in the water. Ms. Olsen stated the developer claims the wells that will be put in will not affect existing wells, but they do, every time. Ms. Olsen stated no one takes responsibility for what happens to wells on land homeowners have had for 60 years. Ms. Olsen asked why every piece of nature must have a house put on it. Ms. Olsen asked the Planning Commission to consider not approving the plans and consider less housing in Ham Lake. Ms. Olsen stated there is a reason people move to Ham Lake and that is because they want to be in a rural area.

Chair Pogalz stated he understands Ham Lake has been more rural in the past and that some people are against development. Chair Pogalz stated that the people who own the land have the right to develop it if the development is permitted in that zoning district. Chair Pogalz stated that well drilling is overseen by the DNR and if any residents have issues with their wells, they should contact the DNR. Chair Pogalz stated the Planning Commission, nor the City of Ham Lake, control or get involved in how the school district designates school assignments or class sizes. Chair Pogalz stated city staff monitor and determine when land should be dedicated for a park. Chair Pogalz stated it was determined that money would be accepted in lieu of park land for this development. Chair Pogalz stated the City of Ham Lake does not require covenants for development;

covenants are created by developers. Chair Pogalz stated property owners can construct whatever style house they want if they meet applicable code. Chair Pogalz stated notifications for public hearings are sent to residents within the distance required by State Statute. Chair Pogalz stated the concern regarding traffic is one that is discussed with each new development. Chair Pogalz acknowledged that anyone that has children is concerned about how traffic may impact their safety. Chair Pogalz stated the developments each of us live in were not there at one time. Chair Pogalz stated these developments all created additional traffic in their area and the traffic is accepted. Chair Pogalz stated neighboring communities, such as Blaine, have hundreds of new units in the same development; residents there have been able to adjust. Chair Pogalz stated Ham Lake is a community that is growing, and traffic will continue to increase.

Chair Pogalz closed the public hearing at 7:22 p.m.

Motion by Ringler, seconded by Ross, to table the request for Preliminary Plat and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for Kohler Farms, a 43-lot single family residential development in Section 13, submitted by Darren Lazan of Landform Professional Services, LLC, on behalf of Jason Osberg, JD Ham Lake Holdings, LLC, to allow time for the developer to finalize the grading plan, ensure all lots meet the one-foot soil separation required by City Code, obtain approval from the Coon Creek Watershed District, meet all requirements of the City Engineer and meet all City, County and State requirements. All present in favor, motion carried.

Chair Pogalz asked what the next step is for the developer. Building and Zoning Clerk Bohr stated the developer will continue to work with the City Engineer to ensure the plans meet the City Engineer's requirements and the Code. Building and Zoning Clerk Bohr stated once the plans meet the City Engineer's requirements, the Planning Commission will review the updated Preliminary Plat. Building and Zoning Clerk Bohr stated the plans are currently under review by outside agencies; they have until September 18th to submit comments or request additional time to comment. Engineer Krugler asked if all agencies responded before the September 18th deadline, and if the plans meet all requirements, could the Planning Commission review the updated preliminary plat before September 18th. Building and Zoning Clerk Bohr stated that would be possible.

NEW BUSINESS:

Joseph Radach of Contour Development LLC, requesting Final Plat approval, for Elwell Farms (50 Single Family Residential lots and 8 outlots) in Section 36

Mr. Joseph Radach was present. Mr. Jesse Neumann from Design Earth Contracting and Steve Jones with Keller Williams were also in attendance. Mr. Radach stated the first final plat submission consists of 50 lots. Mr. Radach stated he would like to discuss parkland dedication requirements and the \$9,000 escrow requirement for custom graded lots. Mr. Radach asked if money paid for parkland dedication during the first phase of development would it be returned to them once they dedicate park land and build the park. Mr. Radach stated he did not understand why escrow for custom graded lots was necessary when the builders constructing the home on those lots would be submitting construction plans to the Building and Zoning Official for review and approval. Engineer

Krugler stated that because no parkland or trails are being dedicated during the first phase of development, parkland dedication fees will need to be paid. Engineer Krugler stated, generally, platted developments have a building pad in place at a certain elevation when a contractor begins constructing a new home. Engineer Krugler stated Article 10-302(B) states if a building pad is not created, the developer must put money in escrow to ensure a building pad is created, at the proper elevation, on the lot. Commissioner Lejonvarn asked Mr. Radach if building contractors were going to determine where building pads were to be located on the custom graded lots. Mr. Radach stated the lots that are to be custom graded, are unique and have a lot of trees. Mr. Radach stated they want to maintain the value of the lots and allow whoever purchases the lot to determine where they would like the building pad to be. Chair Pogalz asked Engineer Krugler if he had any additional comments. Engineer Krugler stated any temporary cul-de-sacs will need to be vacated and removed, all easements across the 18 parcels must be vacated, released or properly confined at the developer's expense. Mr. Radach stated they recently closed on the property and the easements have been addressed; documentation will be submitted confirming this. Engineer Krugler stated outlots A and B must be combined with parcel 36-32-23-12-0004; agreements and the lot combination request must be filed with Anoka County before any building permits will be issued. Engineer Krugler stated outlots D and G must be restricted through the Development Agreement so that no building permits will be issued on those parcels. Engineer Krugler stated the remaining outlots have proven livability. Engineer Krugler stated the existing buildings within the proposed Lot 2, Block 2 are proposed to be razed; the developer must apply for a demolition permit and remove the existing septic system per MPCA Rule 7080.2500. Engineer Krugler stated there are a few conditions that must be met to release the right of trespass document on file for Red Fox Hollow. Mr. Radach asked what was involved in obtaining a demolition permit. Building and Zoning Official explained the process and requirements for a demolition permit. Engineer Krugler stated no FEMA letters of map amendment are required, the Coon Creek Watershed District has approved the plans, a septic certification confirms all lots will support two standard septic systems in accordance with Minnesota rules 7080 and a taking permit has been obtained for the Blunt-Lobed Grape Fern, other remaining threatened plants identified by the rare plant survey are not to be disturbed. **Motion by Pogalz, seconded by Lejonvarn, to recommend approval of Final Plat approval, for Elwell Farms (50 Single Family Residential lots and 8 outlots) in Section 36 as requested by Joseph Radach of Contour Development subject to: vacating, releasing or properly confining 14 easements across the 18 parcels prior to filing the final plat with Anoka County and providing documentation of the vacations, releases or confinements with the City before any building permits will be issued. signing an encroachment agreement with Flint Hills Resources for the street and storm sewer crossing the Minnesota Pipeline Easement, signing an encroachment agreement from the city for a septic line crossing an easement on propose Lot 29 of Block 3, combining outlots A and B with parcel 36-32-23-12-0004 and providing the city with proof of recording before any building permits will be issued, no building permits will be issued for outlots D and G, obtaining a demolition permit to demolish the existing buildings and removing the existing septic system on Lot 2, Block 2, depositing \$9,000 per lot for custom graded lots which are Lots 11, 12, 16 and 17 of Block 3, Lots 7,8 and 9 of Block 4, paying parkland dedication fees of \$2,500 per lot, meeting the**

requirements of the City Engineer, meeting all City, State and County requirements. All present in favor, motion carried. *This application will be placed on the City Council's Tuesday, September 2, 2025, agenda.*

Building and Zoning Official Jones stated there is one more item to discuss related to this development. Building and Zoning Official Jones stated there has been discussion on allowing a limited amount of building permits, or three building permits, for model homes only, until the curb, first lift of pavement and utilities were in place. Chair Pogalz stated he has seen dirt movement and the pipe getting installed within the development. Mr. Jesse Neumann stated most of the site will have Class V within three weeks; the only concern is the installation of dry utilities (electricity and gas) which may be put in place in October. Mr. Neumann stated builders constructing the model homes will be using generators. There was discussion on what code requirements were for utilities and if a certificate of occupancy could be withheld if utilities were not in place when construction was complete. Attorney Berglund stated limiting building permits to model homes was part of a previous discussion and is not a surprise, so an amendment to the motion can be made. Mr. Radach asked for clarification on how the motion was going to be amended. Building and Zoning Official Jones stated the amendment to the motion will be adding that three permits will be issued for model homes and no other building permits will be issued until curb, the first lift of asphalt and utilities are in place. Mr. Radach asked if additional building permits could be allowed. Attorney Berglund stated three permits for model homes will be allowed to avoid any potential issues for the city and future homeowners. Mr. Radach again asked for an allowance of more than three permits for model homes. Building and Zoning Official Jones stated this was discussed, and agreed upon by all, including Mr. Radach. Mr. Radach stated he did not think the restriction on building permits would be a problem.

Motion to amend the previous motion by Pogalz, seconded by Lejonvarn, to add: allowing up to three building permits for model homes prior to curb, first lift of asphalt, power, gas and storm sewer being fully installed and operational, All present in favor, motion carried. *This application will be placed on the City Council's Tuesday, September 2, 2025, agenda.*

COMMISSION BUSINESS:

City Council Update

Chair Pogalz stated the City Council concurred with the Commission's recommendations to approve the Certificate of Occupancy for Nishan Auction and Sales LLC and the Commercial Site Plan for Markquart Ham Lake, LLC or North Country RV. There will not be a Planning Commissioner present at the September 2, 2025, City Council meeting.

ADJOURNMENT:

Motion by Dixon, seconded by Lejonvarn, to adjourn the Planning Commission meeting at 7:55 p.m. All present in favor, motion carried.

Jennifer Bohr
Building and Zoning Clerk

**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: September 8, 2025

INSPECTION ISSUED TO: Jeff Entsminger

APPLICANT/CONTACT: Adam Bradley

TELEPHONE NUMBER: 763-269-1307

BUSINESS/PLAT NAME: Enthusiast Car Co.

ADDRESS/LOCATION OF INSPECTION: 1353 172nd Ln NE

APPLICATION FOR: Commercial Site Plan

RECOMMENDATION: _____

DATE: _____

PLANNING COMMISSIONER SIGNATURE: _____



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 8.22.25

Date of Receipt 8.22.25

Receipt # 103501/103502 Amount \$ 400/750

Meeting Appearance Dates:

Planning Commission 9-8-25

City Council _____

Please check request(s):

☐ Metes & Bounds Conveyance

☐ Sketch Plan

☐ Preliminary Plat Approval*

☐ Final Plat Approval

☐ Rezoning*

☐ Multiple Dog License*

☒ **Commercial Building Permit** (9-8-25)

☐ Certificate of Occupancy

☐ Home Occupation Permit

☒ **Conditional Use Permit (New)*** (9-22-25)

☐ Conditional Use Permit (Renewal)

☐ Other _____

***NOTE:** Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.

Development/Business Name: Enthusiast Car Co.

Address/Location of property: 1353 172nd LN NE Ham Lake, MN 55304

Legal Description of property: _____

PIN # _____ Current Zoning IP Proposed Zoning _____

Notes: Request to construct asphalt parking lot + CUP for auto repair

Applicant's Name: Adam Bradley

Business Name: Enthusiast Car Co.

Address 1353 172nd LN NE

City Ham Lake State MN Zip Code 55304

Phone 763 269 1307 Cell Phone _____ Fax _____

Email address _____

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE _____

DATE 8.22.25

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____

City Council _____

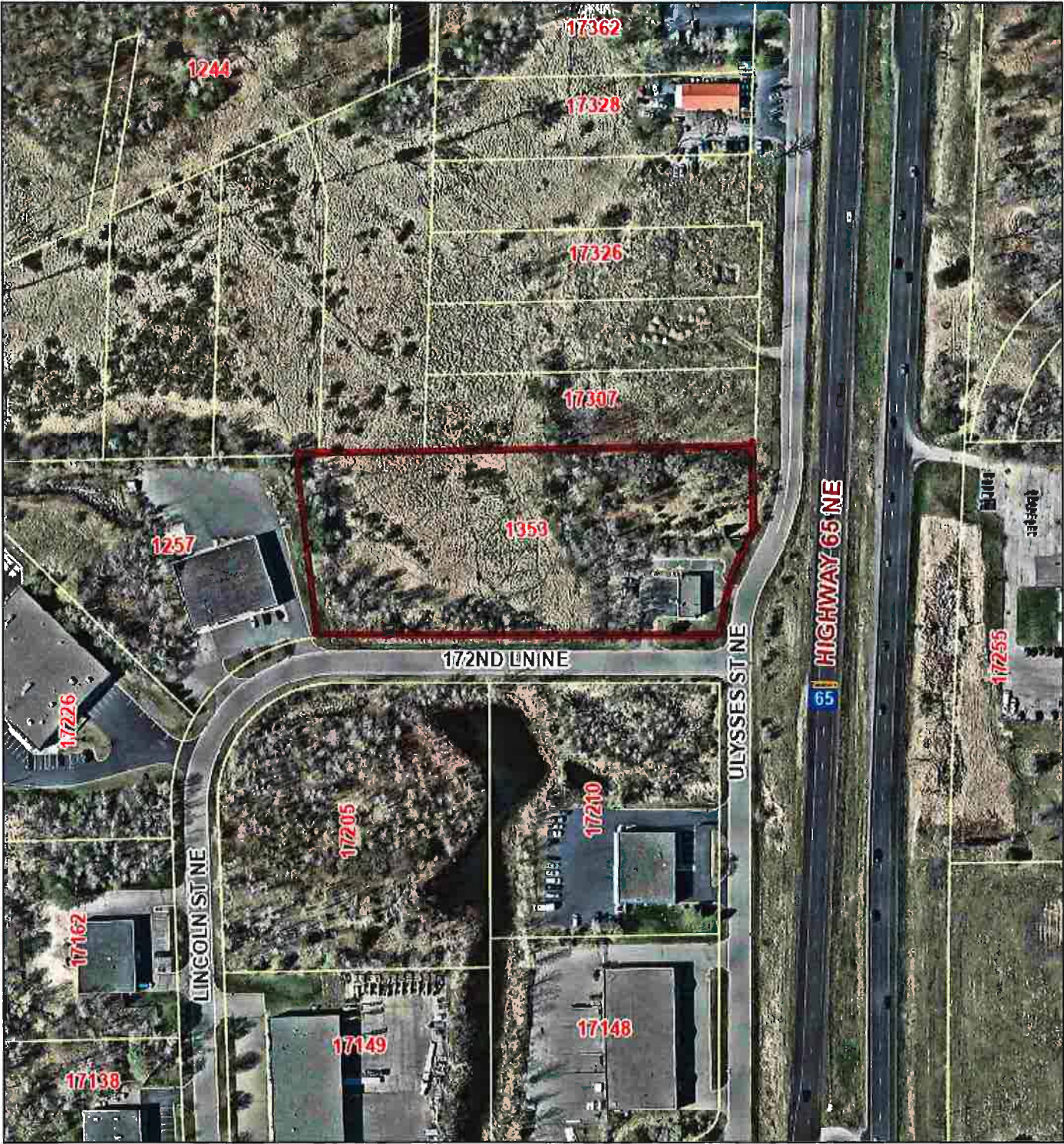
PROPERTY TAXES CURRENT YES

Any Active/Deferred Assessments YES

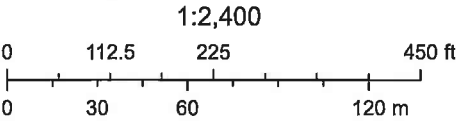
NO

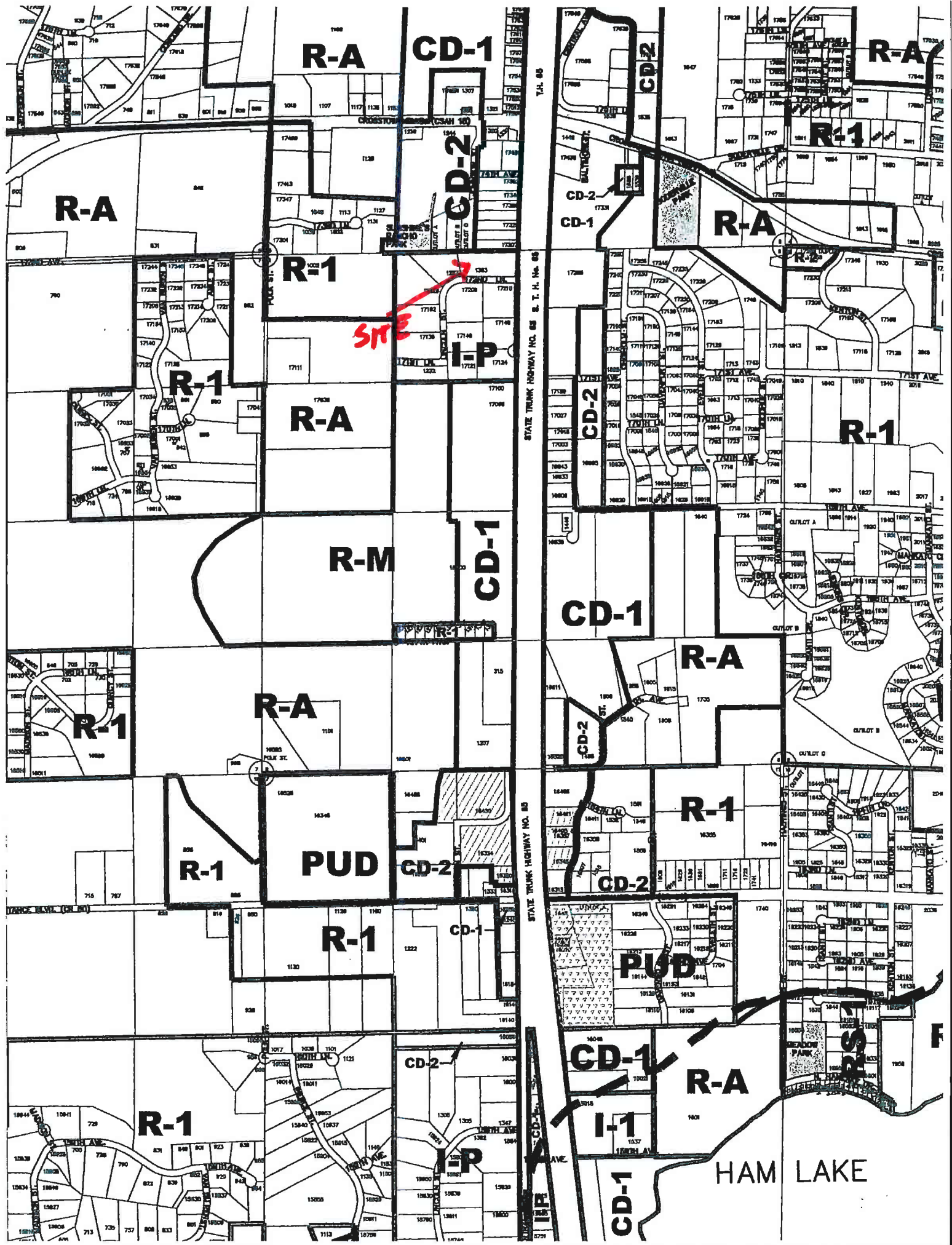
NO

ArcGIS Web Map



9/5/2025, 7:39:57 AM





September 8, 2025

CITY OF HAM LAKE

STAFF REPORT

To: Members of the Planning Commission

From: Mark Jones, Building Official

Subject: Commercial Site Plan for Enthusiast Car Co. at 1353 172nd Lane NE

Introduction/Discussion:

Enthusiast Car Co. is requesting commercial site plan approval to construct an approximately 90' X 90' paved parking area north of the existing building. Access to the expanded parking area will be from the existing paved area to the north and northeast of the building and Ulyssess Street NE. Because the area proposed to be paved is less than 10,000 sq. ft., Coon Creek Watershed District is not requiring a permit. The septic area is located north of the existing parking lot. The applicant has provided documentation, from a certified septic contractor, that shows a secondary septic site can be located west of the existing system.

The applicant intends to display used vehicles for sale on the new lot. This property is in the Industrial Park (I-P) zoning district; used vehicle sales is a permitted use in the I-P zoning district. Because the use of the lot is intended to be for used vehicle sales, the applicant must comply with the requirements of Articles 7-905.E and 7-905.F which state, a business holding a Motor Vehicle Sales Lot License, must ensure *all motor vehicles be currently capable of obtaining applicable licenses, and all motor vehicles shall be completely assembled motor vehicles as customarily delivered from the factory. No junk cars, parts stockpiling or storage of dismantled cars shall be permitted.*

Enthusiast Car Co. will obtain some vehicles that will require repair prior to selling them and intends to do the repair work on-site. Automobile repair shops are a conditionally permitted use in the I-P zoning district. The applicant has applied for a Conditional Use Permit to do automobile repair; that application will be reviewed at the September 22, 2025 Planning Commission meeting.

The certificate of survey provided by the applicant identifies the dimensions and location of the proposed parking area north of the existing building. It does not show how vehicles will be arranged on the lot. The applicant must create a diagram that shows 9' X 20' parking spaces which does not include the curb width, and 24-foot drive aisles between rows of cars, and, on at least one end of each row of vehicles. A B612 curb

allowance for must be shown around the perimeter of the parking lot and each driveway access must be at least 24' wide per the City Engineer. Once the diagram is received, a determination will be made on how many vehicles can be accommodated on the lot.

Recommendation:

I recommend approval of the Commercial Site Plan requested by Enthusiast Car Co. at 1353 172nd Lane NE with the following conditions:

- 1) The applicant must submit a parking layout showing curbing, parking stalls with dimensions of 9' X 20', 24-foot drive aisles between rows of cars, and, on at least one end of each row of vehicles to be approved by the city.
- 2) The parking lot is to be painted to identify parking stalls, and the striping/painting is to be maintained.
- 3) Per Article 9-220.1(g), Parking Lots and Lighting, the parking lot shall have security lighting to discourage theft or vandalism.
- 4) Per Articles 9-220.1(f) and 9-220.6(b)(i), trash containers shall be completely screened from view.
- 5) Meeting all requirements of Article 7-900, Motor Vehicle Sales Lots.
- 6) Meeting all city, county and state requirements.



Business Narrative – Enthusiast Car Co.

1353 172nd Lane NE, Ham Lake, MN

Phone: (763) 269-1307

Email: adam@ecarcomn.com

Hours: Monday–Friday, 7:00 AM to 4:00 PM

Owner: Adam Bradley

Business Type: Automotive Service & Retail Sales

Number of Employees: 1 Full-Time Mechanic (W-2)

Business Description

Enthusiast Car Co. is an automotive service and retail operation located at 1353 172nd Lane NE in Ham Lake, MN. The business provides light-duty mechanical repair and maintenance services to the public, along with internal repair and prep services for vehicles that are bought and sold on-site.

The facility includes two lift bays:

- One bay is dedicated to light mechanical services for customers.
- One bay is reserved for servicing and preparing dealer-owned inventory for resale.

The shop is staffed by one full-time ASE-certified mechanic, capable of completing approximately two customer vehicles per day. This allows for high-quality, detailed work and supports internal service needs for retail inventory.

All services and sales are limited to passenger vehicles only. We do not service or sell commercial vehicles, RVs, trailers, or heavy-duty trucks.

Scope of Services

- Oil changes and fluid flushes
- Brake service and minor suspension work
- Basic diagnostics and engine-related services
- Battery, filter, and belt replacements
- Performance bolt-on part installation
- Wheel/tire swaps and seasonal changeovers

No heavy engine or transmission work is performed on-site. There is no fabrication or bodywork performed. All work is completed during operating hours, and vehicles are stored indoors or within designated outdoor parking during business hours.

Customer Volume & Traffic

- The shop services up to 2 outside customers per day, Monday through Friday.
- This limited volume helps reduce traffic impact on the area.
- Appointments are scheduled in advance; there are no walk-in or emergency services.
- Vehicle test drives (when applicable) are conducted on local roads within legal and safe limits.

Retail Vehicle Sales

In addition to mechanical work, the business also buys and sells enthusiast-style and performance passenger vehicles. All vehicles are prepped on-site and listed for sale online. Vehicle sales are by appointment only and handled entirely on the property.

Proposed Lower Lot – Vehicle Sales Parking

Enthusiast Car Co. proposes the development of a 90' x 90' lower lot located on the property to accommodate vehicle inventory for sale. The lot will be designed for efficient parking, organized layout, and safe customer access.

Each parking stall will measure 9 feet in width by 20 feet in length, which aligns with industry standards for passenger vehicle parking. A central 20-foot-wide drive aisle will provide safe and convenient circulation for both employees and customers.

With these dimensions, the lot can accommodate approximately 30–35 passenger vehicles, depending on final striping and circulation layout.

This designated sales area will:

- Keep dealer-owned vehicles organized and separate from customer service vehicles.
- Provide clear space for customer parking and viewing of vehicles.
- Maintain a professional and efficient appearance.
- Reduce congestion in and around the main service bays.

The lower lot will be maintained with appropriate surfacing, striping, and signage to ensure a clean and safe layout for both employees and customers.

Noise, Waste, and Environmental Controls

- Normal shop noise (e.g., pneumatic tools) is limited to business hours only.
- Used oil and fluids are collected and disposed of by a certified waste hauler.
- No painting or hazardous chemical use occurs on-site beyond standard lubricants and cleaners.
- The business complies with all relevant environmental and zoning requirements.

Conclusion

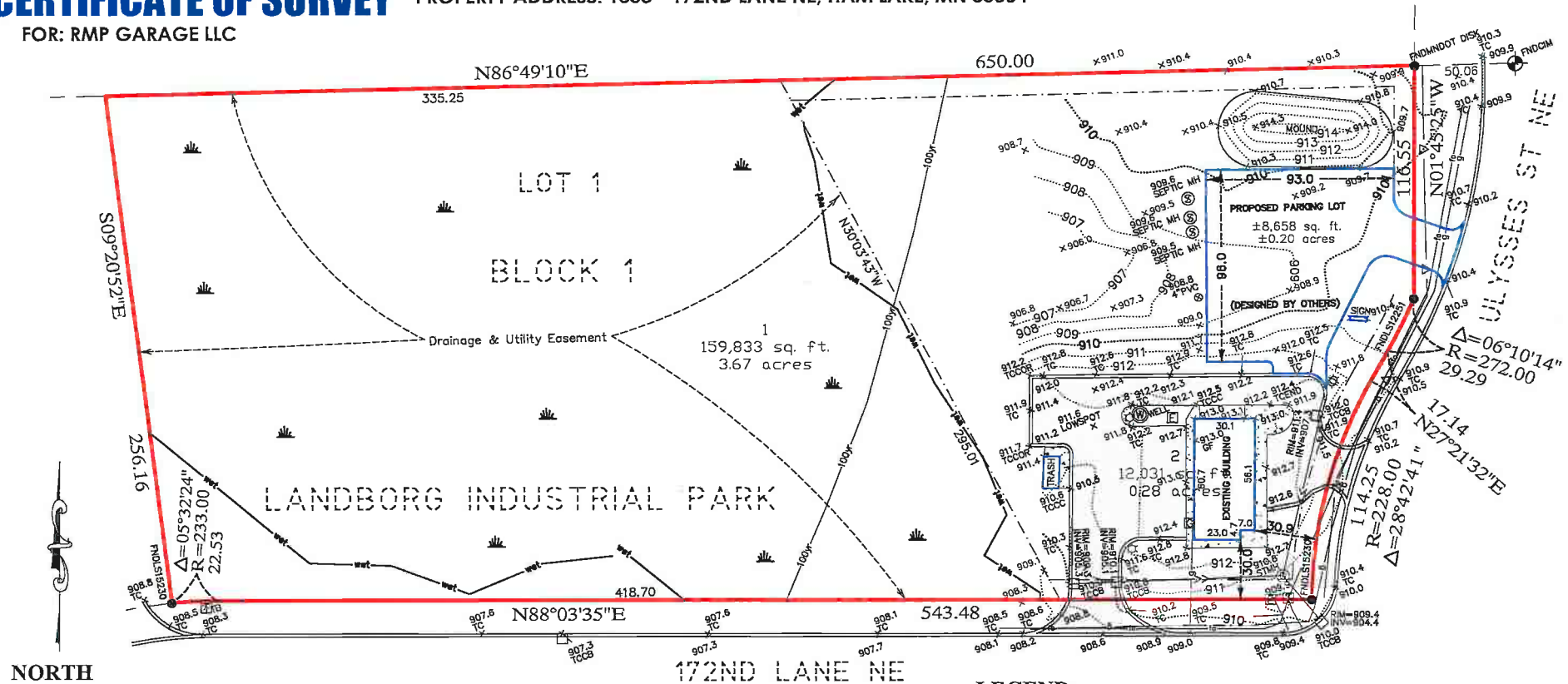
Enthusiast Car Co. is a low-traffic, specialty automotive shop that offers light repair and maintenance for the Ham Lake community while maintaining a small, focused car resale

operation. Our intent is to contribute to the local economy, offer reliable service, and create minimal disruption to the surrounding area.

CERTIFICATE OF SURVEY

FOR: RMP GARAGE LLC

PROPERTY ADDRESS: 1353 - 172ND LANE NE, HAM LAKE, MN 55304



NOTES

- Elevations based on NAVD88 datum.
- Basis of bearings: Anoka County Coordinates.
- Legal description was taken from Title Commitment File No. 713827, prepared by Land Title, Inc.
- A portion of this property is located in flood Zone A, per map No. 27003C0215E, eff. 12-16-2015.

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Joshua P. Schneider
JOSHUA P. SCHNEIDER

LEGAL DESCRIPTION

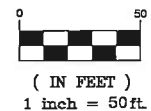
Lot 1, Block 1, LANDBORG INDUSTRIAL PARK,
Anoka County, Minnesota.

Revised: 8-21-25 (add proposed parking lot)

Date: 8-18-2025 Reg. No. 44655

LEGEND

- DENOTES IRON MONUMENT FOUND
- ⊕ DENOTES COUNTY MONUMENT
- ⊙ DENOTES WELL
- ⊞ DENOTES ELECTRIC METER/BOX
- ⊞ DENOTES TELEPHONE BOX
- ⊞ DENOTES SEWER MANHOLE
- △— DENOTES EXISTING CONTOUR
- △— DENOTES RIGHT OF ACCESS MNDOT/HAM LAKE
- △— DENOTES UNDERGROUND ELECTRIC
- △— DENOTES 100 YR FLOOD
- △— DENOTES UNDERGROUND FIBER
- △— DENOTES UNDERGROUND GAS
- △— DENOTES STORM SEWER
- △— DENOTES CONCRETE
- △— DENOTES BITUMINOUS



JOB #25183

ACRE LAND SURVEYING
9140 Baltimore Street NE #100
Blaine, MN 55449
763-238-6278 js.acrelandsurvey@gmail.com

Current Site



Jennifer Bohr

From: Erin Margl
Sent: Friday, September 5, 2025 8:28 AM
To: Jennifer Bohr
Cc: Abbey Lee
Subject: Re: 1353 172nd lane ham lake mn 55304

Hi Jennifer,

No permit is required. Just to give you some context on Abbey's response, the 8,000 square feet of disturbance is below the 10,000 square ft threshold. The 5,000 square foot threshold refers to disturbance that is 50 linear feet from a waterbody or less. Measuring on the proposed plan, it appears this disturbance is a little over 140 feet from the wetland. I think the SE corner was a typo and she meant NE.

Please let me know if you have any other questions.

Thanks!

Erin Margl, CPM
Watershed Development Coordinator



COON CREEK
WATERSHED DISTRICT

763.392.8875 direct

763.334.0192 cell

763.755.0975 office

13632 Van Buren NE

Ham Lake, MN 55304

www.cooncreekwd.org

From: Jennifer Bohr <JBohr@hamlakemn.gov>
Sent: Friday, September 5, 2025 8:14 AM
To: Erin Margl <emargl@cooncreekwd.org>
Subject: FW: 1353 172nd lane ham lake mn 55304

From: Jennifer Bohr <JBohr@hamlakemn.gov>
Sent: Thursday, September 4, 2025 11:17 AM
To: Abbey Lee <alee@cooncreekwd.org>
Cc: David Krugler <dkrugler@rfcengineering.com>; Mark Jones <MJones@hamlakemn.gov>
Subject: RE: 1353 172nd lane ham lake mn 55304
Importance: High

Lashinski Services, Incorporated

M.P.C.A. Certificate # 4266

1244 Crosstown Blvd NE Ham Lake, MN 55304

Office: (763) 434-3915

service@lashinskiseptic.com

August 15, 2025

Enthusiast Car Co.
Adam Bradley
1353 172nd Lane NE
Ham Lake MN 55304

A Soil sample were taken at the above address to determine the location of a secondary septic site. There is ample room, directly to the West of the current mound system, for a secondary septic location. Soils in the area are mapped as Zimmerman fine sand with redoximorphic mottling observed at a depth of 24-30". A mound system will be required. Detailed soil logs are attached. The owner is to protect this site for future SSTs installation.

Keep all heavy equipment off the proposed treatment area before and after construction. The treatment area should be marked off before construction. Failure to protect the site of the proposed treatment area can result in this design being invalid and the system will need to be relocated.

Nothing other than human waste, toilet tissue, laundry, showers, water softeners, etc. should be disposed into the septic tanks. **Iron filters must be diverted out of the system.** Garbage disposals are not recommended due to adding more solids and fine solids passing through the tanks and into the treatment area. Excessive amounts of soaps, cleaning agents, and chlorine may kill the bacteria needed to treat septic effluent. Limit the use of anti-bacterial soaps. We recommend using liquid laundry and dish soap instead of powder. **Additives should not be used.**

Let me know if you have any questions.

Sincerely,



Ryan Lashinski

Excerpt from Article 9 of the Ham Lake City Code

...

9-220.1 Standards Common to All Mercantile Districts

The following standards shall apply to all of the mercantile districts as listed in Article 9-220.

- a) **Paving** All parking lots, drives and surfaces upon which the general public and employees shall have access shall be paved according to specifications to be established by the city's engineer;
- b) **Drainage** Surface water drainage and ponding needs shall be implemented in the manner directed by the city's engineer;
- c) **Landscaping** Landscaping shall be implemented in the manner provided in Article 11-1800;
- d) **Setbacks for Paved Areas** There shall be a ten-foot setback between any lot line and the back of curb of any parking lot or driveway, and a six-foot setback between the back of curb of any parking lot and any building;
- e) **Buffering** When any mercantile land use is located adjacent to a residential area, it shall be screened by opaque fencing, vegetation, or both;
- f) **Refuse Containers** Refuse containers shall be stored in locations which are completely screened from outside view; hazardous materials shall be stored and disposed of in the manner provided by law;
- g) **Parking Lots and Lighting** Off-street parking shall be provided for the general public and employees. The *Zoning Officer* shall maintain a schedule of parking requirements, to be ratified from time to time by resolution of the City Council, to serve as the general guideline for the establishment of parking requirements, subject to modification by the City Council where merited. Security lighting shall be permitted, and may be required on review of site plans, but shall be directed away from adjacent properties. No light or combination of lights that cast light upon a Residential Land Use shall exceed 4-foot candle meter reading as measured at the residential property line. All measurements shall be made after dark at the property line or edge of roadway.
- h) **Off-Street Loading** All deliveries and bulk pickups of merchandise, inventory and supplies shall be made to loading facilities preferably located in the rear of the building, which loading facilities shall be sufficient to enable the prompt and safe transfer of goods.
- i) **Signage** All signage shall conform to the provisions of Article 11-300.

- j) **Special Considerations** Notwithstanding the limitations as to building styles, construction types and exterior treatments, the City Council, after Planning Commission review, may depart from strict adherence to the standards found in Article 9-220, where special conditions merit such departure, and where certain standards are met. Such special conditions and standards may include, without limitation, the following items.
- i) The departure is not being requested for purely economic reasons;
 - ii) The nature of the business is such that it requires a specific type of building construction in order to improve the business function, such as requirements for sunlight, specialty equipment, interior lighting or the like;
 - iii) The business is a permitted or conditional use in the zoning district;
 - iv) The applicant proposes the usage of special aesthetic treatments which provide a superior exterior view, such as landscaping, vegetation screening, berming, or the like;
 - v) The property contains unusual topography, mature vegetation or other features which can be preserved or enhanced to produce an overall superior appearance;
 - vi) The property contains unusual accessibility problems to or from adjacent roadways;
 - vii) The applicant offers to implement more stringent design limitations in certain site plan features than would normally be required, in exchange for being permitted less stringent design limitations in other site plan features.
- k) **Outside Storage** Outside storage and activities for areas zoned CD-3, CD-4, Industrial Park (I-P) and Light Industrial (I-1) shall be as specifically detailed in the Code Sections dealing with those land uses (Articles 9-220.4 through 9-220.7). For areas zoned CD-1 and CD-2, the following provisions shall apply to outside storage, excepting Fireworks sales and storage, which are governed by the provisions of Article 9-330.6. **Unless specifically permitted by this**

Article 220.1(k), no Outside Storage shall be allowed in any area zoned CD-1 or CD-2.

...

9-220.6 Industrial Park (I-P) This zoning category shall apply to mercantile parcels which are intended for manufacturing, warehousing, machining, tooling, fabricating, assembly, processing, equipment storage, storage of raw materials or supplies, and the like, as opposed to mercantile parcels used primarily for office or retail activities. Limited office space activity may occur in an Industrial Park, but only as incidental to the main industrial usage of a given parcel.

a) Physical Requirements

- i) **Building Materials** All building construction shall be of masonry or of products made from concrete or materials related to concrete. Metal framed with architectural panel shall be allowed, but no other metal buildings shall be allowed in any I-P District.
- ii) **Screening** Any I-P area developed after the effective date of this ordinance which is adjacent to land which is now or which is intended to become a residential land use shall be completely fenced by attractive, opaque fencing of sufficient height to completely screen all future activities within I-P area. Opaque fencing shall be deemed to mean only solid wood or solid metal components. Fence height shall be as determined upon site plan review by the *Planning Commission*, which may also require different screening material, including earthen berming.
- iii) **Paving** All drives, parking lots or sidewalks which will be utilized by the general public or by employees of the business shall be paved in accord with standards established by the City's engineer. Equipment storage areas may be surfaced with Class V or other material if the area so surfaced is not to be open to the general public.
- iv) **Landscaping** Article 11-1800 of this code shall apply to landscaping in I-P areas.

b) Usage Limitations All uses in the I-P areas shall be subject to the same review procedures as are found in Article 9-220 for Mercantile Areas. The following specific usage limitations shall apply to the I-P areas:

- i) **Outside Storage** All outside storage shall be fenced for security purposes. Trash containers or accumulations of waste or debris of any kind shall be completely screened from view from outside the lot. All waste and debris shall be properly and promptly disposed of, storage of such material

being allowed only for the time interval reasonably necessary to arrange for regular disposal service. During hours in which the business activity within the main building is not being conducted, all storage areas shall be gated and locked. Machinery and vehicles stored on the premises shall be secured so as not to be readily operable or moveable during non-business hours. No unregistered motor vehicles or inoperable vehicle or machinery shall remain on the premises.

- ii) **Semi-Trailers, Large Trucks and Truck-Tractors** Semi-trailers may be stored within the fenced area of an I-P lot, provided that each semi-trailer shall be fully licensed and road-worthy. The use of dilapidated, inoperable or otherwise non-functioning semi-trailers for warehousing or other purposes shall be prohibited. Large trucks and truck-tractors may likewise be stored within the fenced area, but shall likewise be fully and currently licensed and operable. Each semi-trailer shall have a parking stall with minimum dimensions of 12 feet by 125 feet.

- iii) **Noise** Noise generated from lots in the I-P areas that are audible in *Residential Land Uses* shall not exceed standards as established by the Minnesota Pollution Control Agency.

- iv) **Lighting** No light or combination of lights that cast light upon a *Residential Land Use* shall exceed 4-foot candle meter reading as measured at the residential property line. All measurements shall be made after dark at the property line or edge of roadway.

- v) **Fumes and Odor** Fumes and odors generated from lots in the I-P districts shall not exceed published standards as established by the United States Environmental Protection Agency, herein adopted by reference.

Excerpt from Article 7 of the Ham Lake City Code

...

7-900 Motor Vehicle Sales Lots

7-901 License Required

A license shall be required for any person operating a motor vehicle sales lot. Application for such license shall be made in writing to the City Clerk on such form as the Clerk may from time to time designate and shall include such information as may be required by the Clerk including the following:

- A. The correct legal description of the premises.
- B. The name and address of the applicant and owner of the land.
- C. The number of motor vehicles intended to be displayed thereon.
- D. Such other information as may be required by the City Council.

7-902 Prohibited Conduct

It shall be unlawful within the City of Ham Lake for any person to conduct the business of a motor vehicle sales lot unless he meets the requirements of this Ordinance and other applicable provisions of the City Code except that the owner or lessee of any premises may offer to show one motor vehicle for sale on those premises as long as the business of a motor vehicle sales lot is not engaged in on those premises.

7-903 Definitions

Whenever used in this ordinance unless a different meaning appears from the context, the following definitions shall be applied.

- A. **Motor Vehicle Sales Lot**
Premises outside a building whereon one or more motor vehicles are offered for sale.
- B. **Motor Vehicle**
The word motor vehicle shall include passenger cars, snowmobiles, trucks, motor scooters, motor cycles, trailers, and all other equipment customarily moved on and touching the streets and highways.

7-904 Fee. An annual license fee shall be charged.

7-905 Additional Requirements

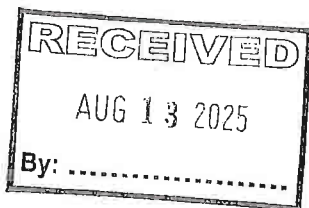
The following requirements shall be followed:

- A. There shall be sufficient space provided so that the total space will accommodate each motor vehicle parked, stored, or displayed as determined by the City Council.
- B. The parking, storing, and display area shall be paved, according to the recommendations of the City Engineer.
- C. Lighting shall be such as not to disturb the users of adjoining land.
- D. Any signs constructed shall conform to the requirements of the City Code.
- E. All motor vehicles be currently capable of obtaining applicable licenses, and all motor vehicles shall be completely assembled motor vehicles as customarily delivered from the factory.

- F. No junk cars, parts stockpiling or storage of dismantled cars shall be permitted.
- G. Such other requirements as the City Council may impose.

7-906 Insurance

No license shall be issued hereunder unless there is in full force and effect a liability insurance policy issued by an insurance company authorized to do business in the State of Minnesota covering all vehicles to be driven by prospective customers and others members of the public with limits of one hundred thousand (\$100,000) dollars for bodily injury to any one person. Three hundred thousand (\$300,000) dollars for each accident and fifty thousand (\$50,000) dollars property damage.



PLANNING REQUEST

CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 08/12/2025

Date of Receipt _____

Receipt # _____ Amount \$ _____

Meeting Appearance Dates:

Planning Commission 8-25-25

City Council _____

Please check request(s):

☐ Metes & Bounds Conveyance

☐ Sketch Plan

☒ Preliminary Plat Approval*

☐ Final Plat Approval

☒ Rezoning*

☐ Multiple Dog License*

☐ Commercial Building Permit

☐ Certificate of Occupancy

☐ Home Occupation Permit

☐ Conditional Use Permit (New)*

☐ Conditional Use Permit (Renewal)

☐ Other _____

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: JD Ham Lake Holdings, LLC, Project Name: "Kohler Farms" - REVISED Preliminary Plat and Rezoning

Address/Location of property: 4 Parcels, only one address- 15946 LEXINGTON AVE NE, Ham Lake, MN 55304

Legal Description of property: THE NE1/4 OF SW1/4 OF SEC 13 TWP 32 RGE 23 EX THE S 667 FT OF THE E 670 FT THEREOF, EX RD SUBJ TO EASE OF REC, HAM LAKE TWP NW 1/4 OF SW 1/4 13 32 23, HAM LAKE TWP SW 1/4 OF SW 1/4 13 32 23, THE S 667 FT OF E 670 FT OF THE NE1/4 OF SW1/4 OF SEC 13 TWP 32 RGE 23, EX RD SUBJ TO EASE OF REC

PIN # #13-32-23-31-0002, #13-32-23-32-0001, #13-32-23-33-0001, #13-32-23-31-0003

Current Zoning RA

Proposed Zoning R-1 / R-A

Notes: An Narrative had been provided as part of this application package.

Applicant's Name: Darren Lazan (Developer- JD Ham Lake Holdings, LLC; Jason Osberg (612)205-1226)

Business Name: Landform Professional Services, LLC

Address 105 5th Ave S, Suite 513

City Minneapolis

State MN

Zip Code 55401

Phone 612-638-0250

Cell Phone 612-221-8143

Fax _____

Email address _____

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE _____

DATE 8/12/2025

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____

City Council _____

PROPERTY TAXES CURRENT YES

Any Active/Deferred Assessments YES

NO

NO

Memorandum

Date: September 5, 2025
To: Planning Commissioners
From: David A. Krugler, City Engineer
Subject: Kohler Farms



Introduction:

The Existing Conditions & Demolition, Preliminary Plat & Site Plan, Grading, Drainage, Erosion Control & Storm Sewer, SWPPP, Storm Sewer Plan & Profile, Street Profiles, Civil Construction Details, Livability Map and Tree Preservation Plan were received September 5th for the proposed 43 lot residential development located on 124.3 acres of parcels 13-32-23-31-0002, 13-32-23-31-0003 (15946 Lexington Avenue NE), 13-32-23-32-0001 and 13-32-23-33-0001. The parcels are currently zoned Rural Single Family Residential (R-A) and will be rezoned to Single Family Residential (R-1) except for the southeast parcel, Lot 1 of Block 4 which will remain R-A. A 600-scale aerial photo, a 600-scale zoning map and a 400-scale half-section maps are attached.

Discussion:

This plat previously received Sketch Plan approval for a total of 43 lots at the August 11th Special City Council meeting. Preliminary Plat approval was tabled at the August 25th Planning Commission meeting to allow time for the developer to finalize the grading plan, ensure all lots meet the one-foot soil separation required by City Code, obtain Coon Creek Watershed District approval and to meet other engineering requirements. The original sketch plan required a lot line adjustment involving parcel 13-32-23-31-0003 (15946 Lexington Avenue) prior to final plat approval. By incorporating this parcel into the plat, the need for a separate lot line adjustment has been eliminated. In accordance with City Code Section 11-450.4(c), a compliance inspection will be required for the existing septic system at 15946 Lexington Avenue. The plans already show soil borings that indicate a suitable secondary septic location on the 15946 Lexington Avenue parcel. The existing buildings located on the future 10.8-acre Lot 1, Block 4 are in compliance with applicable city and state codes; therefore, no modifications or demolition will be necessary, as confirmed in the attached email from the City Building Official. The August 26th Tradewell letter certifies that each of the proposed lots will support two standard septic systems in accordance with Minnesota Rules 7080.

An outlot is shown in the southwesterly portion of the proposed development. The 2,645 square foot Outlot A is to be combined with the adjacent 4157 158th Avenue parcel to the west. The Development Agreement will include the courtesy combination of the outlot to the adjacent property. The Development Agreement will stipulate that no building permits be issued until proof of recordings and conveyance are received.

The Future Trails Maps for Ham Lake identify Lexington Avenue as a future bike path. Per the attached memo, the Park Committee recommended that a trail easement be dedicated along the west side of Lexington Avenue for a future bike path. A 15-foot trail easement is required adjacent to the 10-foot drainage and utility easement along Lexington Avenue. A trail easement is required to ensure neighborhood connectivity, including access to the Enchanted Estates subdivision and Enchanted Estates Park. A 20-foot trail easement is shown connecting Hupp Street to 158th Lane. In addition, parkland dedication fees will be collected rather than parkland dedication. The Developer will be credited for land dedicated and improvements for the trail easement minus any easement overlapping a required drainage and utility easement.

The Midwest Natural Resources rare plant survey documented the presence of DNR classified endangered plants within the properties. The proposed plans outline avoidance of these plants therefore a taking permit will not be required. No FEMA letter of map amendments will be required.

The parcels are not located within any of the 20 natural resource clusters identified in the Anoka Conservation District's April 2008 Natural Resources Inventory and Assessment (NRIA). The NRIA is Appendix K of the Storm Water Pollution Prevention Plan.

<https://www.rfcengineering.com/HamLake/SWPPP.pdf>

The Coon Creek Watershed District (CCWD) has reviewed and issued comments on August 29th. The application has not been approved. A 100-foot-wide required minimum easement is shown for County Ditch 44-3-1. The Anoka County Highway Department has not completed their review, however since the only concern is the connection to Lexington Avenue with a temporary construction access, it is not anticipated to require any modifications. The U.S. Army Corps of Engineers are the only agency outstanding for comments for the September 18th deadline. It is not anticipated they will have any comments.

Recommendations:

It is recommended that the Preliminary Plat of Kohler Farms be recommended for approval to the City Council conditioned on the Plans being updated to meet the requirements of the CCWD and Anoka County Transportation Division and no land disturbance or dewatering is to be performed until a CCWD and NPDES permit is obtained.

PUBLIC HEARING:

Darren Lazan of Landform Professional Services, LLC, on behalf of Jason Osberg, JD Ham Lake Holdings, LLC, requesting preliminary plat approval and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for Kohler Farms, a 43-lot single family residential development in Section 13

Mr. Darren Lazan and Mr. Jason Osberg were present. Mr. Lazan spoke on behalf of the project. Mr. Lazan provided background on their company's subdivision development history and some details on the Kohler Farms plat. Mr. Lazan stated they will be creating ponds within the plat and plan to excavate them to a depth of five feet below ground water level; several homes will have backyards that will have access to the ponds. Mr. Lazan stated the ponds, and chains of hydrology, will positively affect the floodplain in the immediate area, primarily on the north and west sides of the project. Mr. Lazan stated the floodplain will be lowered approximately 1.8 feet resulting in a substantial amount of buildable land. Mr. Lazan stated a few lots will be custom graded lots. Mr. Lazan stated they are trying to move the project forward as quickly as they can to close as many lot sales as they can. Mr. Lazan expressed gratitude for all the help and direction provided by city staff, the City Engineer and the Planning Commission to date. Mr. Lazan stated he would like to discuss a couple of the comments on the City Engineer's most recent review letter related to trails and the temporary construction access off of Lexington Avenue NE as well as steps taken thus far in the Kohler Farms platting process. Mr. Lazan stated the Coon Creek Watershed District (CCWD) is still reviewing plans for the plat. Mr. Lazan stated he believes outstanding items listed in the City Engineer's review letter will change once they receive feedback from CCWD. Mr. Lazan stated his team has been following the guidelines provided on plat checklists for the city found on the RFC Engineering website. Mr. Lazan stated he and his partner believe they have satisfied the requirements for the preliminary plat based on the checklists and are requesting conditional approval of the Kohler Farms preliminary plat. Chair Pogalz asked if dewatering would be necessary on the site if digging is done below the water table, and how will that affect existing wells. Mr. Lazan stated dewatering may be necessary, and if dewatering is necessary, the maximum depth of the dewatering would be to depth of ten feet. Chair Pogalz stated residents in the area are concerned about their wells due to the issue Blaine created when they opened three large wells a few years ago causing some Ham Lake residents' wells to go dry. Chair Pogalz asked Mr. Lazan what was at stake if a recommendation for approval of the preliminary plat was not received at this meeting. Mr. Lazan stated approval would allow them to take the next steps in completing plans for the plat; not receiving a recommendation for approval tonight will extend the timeline for completing various tasks and breaking ground. Commissioner Ringler stated there has been discussion about city preliminary plat, grading drainage and erosion control and construction and checklists and the CCWD review. Commissioner Ringler asked for clarification on why recommendation for preliminary plat approval should not be made if the guidelines on the checklist were followed. Engineer Krugler stated a CCWD permit is required before the developer can break ground. Engineer Krugler stated preliminary plat documents should be plans ready for construction. Engineer Krugler stated the current set of plans under review indicate grading issues that could require a change in the proposed type of home to be constructed on a lot, could change the livability plans or change the grade between proposed homes potentially reducing the number of lots that could be created. Engineer Krugler stated he has reviewed several plats that were

approved in the past and found the preliminary plat documents for those plats met all requirements and the final plat was approved shortly after. Engineer Krugler stated the CCWD just started reviewing the plans for Kohler Farms and their feedback will likely require some modifications to the plans. Engineer Krugler stated there are too many unanswered questions at this time, hence he has recommended tabling the plat until additional modifications, that meet Code and engineering requirements, are made. Engineer Krugler stated Mr. Lazan has asked if a trail could be constructed on the property line, partially within drainage and utility easements on two lots. Commissioner Lejonvarn asked how many lots would be impacted by the bike trail if it was constructed on the property line. Engineer Krugler stated four. Engineer Krugler stated trails constructed in previous developments have been on one lot and were not on a property line or within a drainage and utility easement. Engineer Krugler stated if the developer opts to construct the trail within the development on the property line, the developer will get credit for the paving of the trail but will not get credit toward the parkland dedication requirement due to being within drainage and utility easements. Mr. Lazan stated it is acceptable to him to get credit for paving a trail on the property line without receiving credit toward the parkland dedication requirement. There was discussion about how drainage would be managed on the trail. Commissioner Ringler stated the discussion has helped him determine that there are enough issues to work through, including finalizing the grading plan, to table this matter. Attorney Berglund stated the preliminary plat is currently under review; review of the final plat to be sometime in the future. Attorney Berglund stated Engineer Krugler referenced City Code earlier; there are a few *shalls* in the Code that have not been met. Attorney Berglund stated statutory interpretation of *shall* is that it must be done before a project can be advanced to the next phase. Attorney Berglund stated checklists are guides but ultimately the requirements of the Code must be met. Attorney Berglund stated Article 10-204 of the Code, Preliminary Plat, states the preliminary plat shall be a final subdivision design. Attorney Berglund stated Engineer Krugler has concerns that the incomplete grading elements may change the plat design or may change the number of lots. Attorney Berglund stated, per the Code, the preliminary plat shall be a final subdivision design. Attorney Berglund stated the other *shall* is that city staff shall have submitted the preliminary plat drawing and other related documents to all other agencies or entities necessary to review and comment on the plat, and shall either have received replies from each, or, if thirty days have elapsed since submission, the failure to have replied shall be deemed to be an approval by the entity. Attorney Berglund stated staff has sent the plans to the agencies, we are currently within the 30-day period and the CCWD has not reviewed or commented on the plans. Attorney Berglund stated because all comments have not yet been received, and there is potential for the design of the plat to change, the preliminary plat plans may not reflect the final plat design. Attorney Berglund stated work toward completing all preliminary plat requirements can continue, and ultimately the timeline for final plat approval may not be any different than if the preliminary plat was recommended for approval at this meeting. Mr. Lazan asked if the Planning Commission, or City Council, acted after the 30-day comment period. Attorney Berglund stated the Planning Commission will review the preliminary plat again and then the City Council would review the preliminary plat. Mr. Lazan presented a line of reasoning related to his interpretation of what should be considered at the final plat. Attorney Berglund cautioned Mr. Lazan on his interpretation of the final plat and stated this is not the final plat – correct? Mr. Lazan stated it was not

the final plat. Engineer Krugler asked Mr. Lazan if he had received any feedback on the plat from the CCWD. Mr. Lazan stated he had not. Mr. Lazan stated an application was submitted to the CCWD two months ago, but he asked the CCWD not to review the plans until the City Engineer had done a couple reviews of them. Mr. Lazan stated he is concerned about changes to the plat that may be required by the CCWD and the impact those requirements would have on the project timeline. Chair Pogalz stated the points of concern are understood, but the Planning Commission must follow the rules and code requirements before making a recommendation to approve a project. Chair Pogalz stated other developers have had to comply with the same requirements. Commissioner Lejonvarn asked who would be responsible if any wells in the area were impacted or dried up due to the development of this plat. Building and Zoning Official Jones stated the City of Blaine drew a very large volume of water from a deep aquifer which caused the issue; the wells in the Kohler Farms development will draw from ground water which should not create an issue. Engineer Krugler stated there will be one well per home which will be on parcels of one acre or larger; the aquifers in the area should have sufficient water for regular household usage. There was discussion about the proposed temporary construction access off Lexington Avenue NE where all construction traffic will be directed to. Chair Pogalz asked Building and Zoning Official Jones if he had any comments on the plat. Building and Zoning Official Jones stated the issues related to grading and low elevations are of concern to him and those issues need to be addressed now to avoid problems when homes are constructed in the future.

Chair Pogalz opened the public hearing at 7:06 p.m. and asked for public comment.

Michelle Naughton, 4130 159th Avenue NE

Ms. Naughton expressed concerns related to traffic flow and safety, snow removal and city resources and emergency response. Ms. Naughton stated she understood there would be more development in the area when her home was constructed but did not expect the development to be a project the size of Kohler Farms. Ms. Naughton expressed concern about increased traffic on existing neighborhood roads due to no new outlets being created. Ms. Naughton stated 155th Avenue NE recently required an infrastructure assessment and upgrade to handle increased traffic that it was not designed for. Ms. Naughton stated she felt 155th Avenue NE, Austin Street NE, Yalta Street NE, Wake Street NE and Cord Street NE may all have the same problem. Ms. Naughton stated when the Enchanted Estates subdivision was developed, the addition of Cord Street NE was required to better manage traffic. Ms. Naughton asked why Kohler Farms is allowed to move forward without similar consideration. Ms. Naughton stated adding more cul-de-sacs, or more dead-end streets, will increase the time and resources needed to plow and maintain the streets, increasing long-term costs for the city and service delays for residents. Ms. Naughton stated a more serious matter to consider is emergency response. Ms. Naughton stated that the size of the Kohler Farms development, that includes several dead-end streets, may increase response times for emergency services. Ms. Naughton stated wetlands on the Kohler Farms site appear to be making connectivity within the development complicated and it appears the wetlands have not been fully assessed. Ms. Naughton stated residents, and the Planning Commission deserve to see the full environmental realities before approving a design that could compromise safety, infrastructure and the integrity of the neighborhood. Ms.

Naughton expressed concern that not all neighbors were notified of the hearing. Ms. Naughton urged the Planning Commission not to approve the Kohler Farms plat until wetlands were further assessed, additional access points were secured and the broader impacts on safety, snow removal and infrastructure were addressed.

Christopher Bailey, 4113 159th Avenue NE

Mr. Bailey stated he also has the same concerns as Ms. Naughton. Mr. Bailey stated one of the things that brought him and his wife to the area were the protective covenants that brought uniformity to the neighborhood, ensured cohesive development and maintained property values. Mr. Bailey stated he has not seen anything that would ensure standards of development for Kohler Farms. Mr. Bailey stated he is very concerned about the amount of construction traffic the new development will generate. Mr. Bailey is concerned that the roads in the existing developments are not constructed to handle the increased traffic and large trucks. Mr. Bailey stated he has small children. Mr. Bailey stated he is concerned about their safety as there are no sidewalks to walk or ride bikes on. Mr. Bailey stated many vehicles speed through the neighborhood now and he is concerned the speeding will get worse. Mr. Bailey stated he noticed the developers are not being required to provide park space and that the new development will use the small park in the Enchanted Estates subdivision. Mr. Bailey stated the Enchanted Estates Park is a very small park with a lot of open grassy area; the park is not a very significant park space for 43 more families. Mr. Bailey stated he is also concerned about the impact the increased population will have on schools and class sizes. Mr. Bailey asked what is being discussed related to ensuring the city's infrastructure can support the growth in the city.

Diana Olsen, 15729 Lexington Avenue NE

Ms. Olsen stated she hears a lot of talk about the wetlands. Ms. Olsen stated she is wondering what happened to the wetlands as they are not visible like they used to be. Ms. Olsen stated she is concerned about the wells in the area; every time there is new development in the area the water level in the wells gets low and the water quality gets worse in that she notices more rust and more sediment in the water. Ms. Olsen stated the developer claims the wells that will be put in will not affect existing wells, but they do, every time. Ms. Olsen stated no one takes responsibility for what happens to wells on land homeowners have had for 60 years. Ms. Olsen asked why every piece of nature must have a house put on it. Ms. Olsen asked the Planning Commission to consider not approving the plans and consider less housing in Ham Lake. Ms. Olsen stated there is a reason people move to Ham Lake and that is because they want to be in a rural area.

Chair Pogalz stated he understands Ham Lake has been more rural in the past and that some people are against development. Chair Pogalz stated that the people who own the land have the right to develop it if the development is permitted in that zoning district. Chair Pogalz stated that well drilling is overseen by the DNR and if any residents have issues with their wells, they should contact the DNR. Chair Pogalz stated the Planning Commission, nor the City of Ham Lake, control or get involved in how the school district designates school assignments or class sizes. Chair Pogalz stated city staff monitor and determine when land should be dedicated for a park. Chair Pogalz stated it was determined that money would be accepted in lieu of park land for this development. Chair Pogalz stated the City of Ham Lake does not require covenants for development;

covenants are created by developers. Chair Pogalz stated property owners can construct whatever style house they want if they meet applicable code. Chair Pogalz stated notifications for public hearings are sent to residents within the distance required by State Statute. Chair Pogalz stated the concern regarding traffic is one that is discussed with each new development. Chair Pogalz acknowledged that anyone that has children is concerned about how traffic may impact their safety. Chair Pogalz stated the developments each of us live in were not there at one time. Chair Pogalz stated these developments all created additional traffic in their area and the traffic is accepted. Chair Pogalz stated neighboring communities, such as Blaine, have hundreds of new units in the same development; residents there have been able to adjust. Chair Pogalz stated Ham Lake is a community that is growing, and traffic will continue to increase.

Chair Pogalz closed the public hearing at 7:22 p.m.

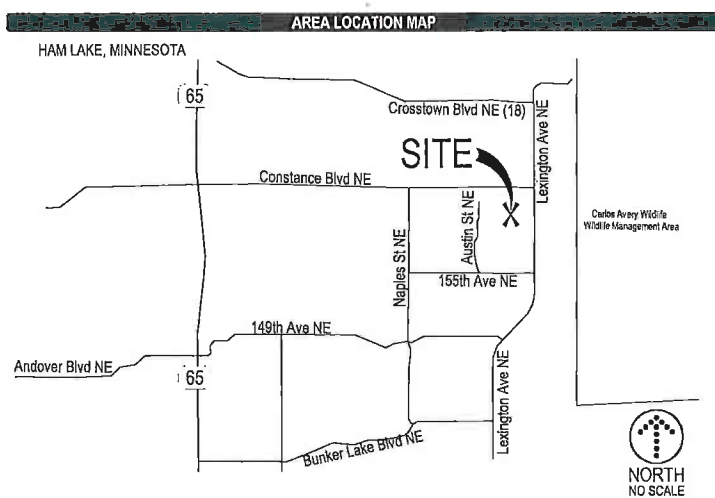
Motion by Ringler, seconded by Ross, to table the request for Preliminary Plat and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for Kohler Farms, a 43-lot single family residential development in Section 13, submitted by Darren Lazan of Landform Professional Services, LLC, on behalf of Jason Osberg, JD Ham Lake Holdings, LLC, to allow time for the developer to finalize the grading plan, ensure all lots meet the one-foot soil separation required by City Code, obtain approval from the Coon Creek Watershed District, meet all requirements of the City Engineer and meet all City, County and State requirements. All present in favor, motion carried.

Chair Pogalz asked what the next step is for the developer. Building and Zoning Clerk Bohr stated the developer will continue to work with the City Engineer to ensure the plans meet the City Engineer's requirements and the Code. Building and Zoning Clerk Bohr stated once the plans meet the City Engineer's requirements, the Planning Commission will review the updated Preliminary Plat. Building and Zoning Clerk Bohr stated the plans are currently under review by outside agencies; they have until September 18th to submit comments or request additional time to comment. Engineer Krugler asked if all agencies responded before the September 18th deadline, and if the plans meet all requirements, could the Planning Commission review the updated preliminary plat before September 18th. Building and Zoning Clerk Bohr stated that would be possible.

NEW BUSINESS:

Joseph Radach of Contour Development LLC, requesting Final Plat approval, for Elwell Farms (50 Single Family Residential lots and 8 outlots) in Section 36





Mr. Joseph Radach was present. Mr. Jesse Neumann from Design Earth Contracting and Steve Jones with Keller Williams were also in attendance. Mr. Radach stated the first final plat submission consists of 50 lots. Mr. Radach stated he would like to discuss parkland dedication requirements and the \$9,000 escrow requirement for custom graded lots. Mr. Radach asked if money paid for parkland dedication during the first phase of development would it be returned to them once they dedicate park land and build the park. Mr. Radach stated he did not understand why escrow for custom graded lots was necessary when the builders constructing the home on those lots would be submitting construction plans to the Building and Zoning Official for review and approval. Engineer








ABBREVIATIONS

D	Angle	LB.	Pound
&	And	LGU	Local Government Unit
100 YR	100 Year Flood Elevation	LB	Pound
A.B.	Anchor Bolt	LD	Longitudinal
A.D.	Area Drain	LT	Light / Lighting
AC	Air Conditioning Unit	MAINT.	Maintenance
ADD.	Addendum	MAS.	Masonry
ADDL.	Additional	MATL.	Material
ADJ.	Adjacent / Adjust	MAX.	Maximum
AHU	Air Handling Unit	MECH	Mechanical
ALT.	Alternate	MED.	Medium
ALUM.	Aluminum	MFR.	Manufacturer
ANOD.	Anodized	MH	Manhole
APPROX.	Approximate	MIN.	Minimum / Minute
ARCH	Architect / Architectural	MISC.	Miscellaneous
AUTO.	Automatic	MNOST	Minnesota Department Of Transportation
AVG.	Average	MOD.	Module / Modular
B.C.	Back of Curb	MUL.	Mulch
BW	Bottom of Wall	N	North
BFE	Basement Floor Elevation	N.C.	Not In Contact
BT	Bituminous (Asphaltic)	NO. OR #	Number
BLDG	Building	NOM	Nominal
BN	Benchmark	NTS	Not To Scale
BSMT.	Basement	NWE	Normal Water Elevation
C.F.	Cubic Feet	NWL	Normal Water Level
C.F.S.	Cubic Feet Per Second	O.F.	On Center
C.G.	Corner Guard	O.G.	Outside Dimension
C.J.	Control Joint	O.H.	Overhead
C.L.	Centerline	OHVL	Ordinary High Water Level
C.M.U.	Concrete Masonry Unit	OPNG.	Opening
C.O.	Cleanout	ORIG.	Original
C.O.E.	U.S. Army Corps Of Engineers	P.C.	Point of Curvature
C.Y.	Cubic Yards	P.I.	Point of Intersection
CB	Catch Basin	P/V	Post Indicator Valve
CBWH	Catch Basin Manhole	P.L. OR PL	Property Line
CEM.	Cement	P.O.B.	Point of Beginning
CP	Ceiling Pipe	P.S.F.	Pounds Per Square Foot
CWP	Corrugated Metal Pipe	P.S.I.	Pounds Per Square Inch
CONC.	Concrete (Portland)	P.T.	Point of Tangency
CONN.	Connection	P.V.C.	Point of Vertical Curvature
CONST.	Construction	P.V.I.	Point of Vertical Intersection
CONT.	Continuous	P.V.T.	Point of Vertical Tangency
CONTR.	Contractor	PE	Polyethylene
COP.	Copper	PED.	Pedestal / Pedestrian
CUL.	Culic	PERF.	Perforated
D.B.	Down Spout	PRIP.	Preparation
DEG.	Degree	PROJ.	Project
DEMO.	Demolition / Demolish	PROP.	Proposed
DEPT.	Department	PVC	Poly-Vinyl-Chloride (Piping)
DET.	Detail	PMHT.	Perimeter
DIA.	Diameter	QTR.	Quarter
DAG.	Diagonal	QTY.	Quantity
DIM.	Dimension	R	Radius
DP	Ductile Iron Pipe	RAD.	Radius
DN	Down	RE	Rim Elevation (Casting)
DWG.	Drawing	R.D.	Roof Drain
E	East	R.E.	Remove Existing
E.J.	Expansion Joint	R.O.	Rough Opening
E.O.	Emergency Overflow	R.P.	Radius Point
E.O.S.	Emergency Overflow Swale	RC	Reinforced Concrete Pipe
E.W.	Each Way	R.S.	Rough Slab
EA.	Each End	RSD	Road Storm Drain
ELEC.	Electrical	RE	Regarding
ELEV.	Elevation	REINF.	Reinforced
EMER.	Emergency	REQD	Required
ENGR.	Engineer	REV.	Revision / Revised
ENTR.	Entrance	RGU	Regulatory Government Unit
EQ.	Equal	ROW OR R/W	Right of Way
EQUIP.	Equipment	S.	South
EQUIV.	Equivalent	S.F.	Square Feet
EXIST.	Existing	SAN.	Sanitary Sewer
EXP.	Expansion	SECT.	Section
F & I	Furnish and Install	SE	Split Entry / Side Exit
F&O.	Furnished by Others	SEWO	Split Entry Walk Out / Side Exit Walk Out
F.C.	Face of Curb	SH.	Sheet
F.D.	Floor Drain	SIM.	Similar
F.O.C.	Fire Department Connection	SLNT.	Sealant
F.V.	Field Verify	SPEC.	Specification
FB	Full Basement	SQ.	Square
FBYO	Full Basement Walk Out	SSD	Subsurface drain
FBLO	Full Basement Look Out	STHM	Storm Sewer Manhole
FDN	Foundation	STD.	Standard
FES	Flamed End Section	STRUCT.	Structural
FFE	Finished Floor Elevation	SYM.	Symmetrical
FLR.	Floor	T	Thickness
FT. OR (T)	Foot	T/R	Top of Rim
FUT.	Future	T/W	Top of Wall
G.B.	Grade Break	TEMP.	Temporary
G.C.	General Contractor	THK.	Thick / Thickness
GAL.	Galvanized	T.J.	Tool Joint
GALV.	Galvanized	T.NH	Top Nut Hydraulic
GFE	Garage Floor Elevation	TYP.	Typical
GL	Glass	U.N.O.	Unless Noted Otherwise
GR.	Grade	V.B.	Vapor Barrier
H.	Height	V.C.	Vertical Curve
H.P.	High Point	V.I.F.	Vanity In Field
HOPEP	High Density Polyethylene Pipe	VER.	Verify
HGT.	Height	VER.	Vertical
HORIZ.	Horizontal	VEST.	Vestibule
HVAC	Heating, Ventilation, Air Conditioning	W	Width
HYD	Hydrant	W.P.T.	Working Point
I.D.	Inside Dimension OR Identification	W.M.F.	Welded Wire Fabric
IE. or IE	Invert Elevation	W	With
IN. OR (")	Inches	WO	Without
INFO.	Information	WO	Walk Out
INL.	Inlet Elevation	WO	Without
INSUL.	Insulation	YP	Waterproof
INV.	Invert Elevation	WEIL.	Weight
JT.	Joint	YD.	Yard
L.F.	Linear Feet	YR.	Year
L.P.	Low Point / Liquid Petroleum		

SYMBOLS			
EXISTING	DESCRIPTION	NEW	DESCRIPTION
	MAJOR CONTOUR		MAJOR CONTOUR
	MINOR CONTOUR		MINOR CONTOUR
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY / OVERHANG		CANOPY / OVERHANG
	CONCRETE		CONCRETE
	BITUMINOUS		CONCRETE CURB
	LANDSCAPING		EDGE OF PAVEMENT
	GRAVEL		FENCING
	PAVING BLOCK		GUARD RAIL
	PAVING BLOCK		CONCRETE RETAINING WALL
	STORM SEWER LINE		FIELDSTONE RETAINING WALL
	SANITARY SEWER LINE		EXIT LOCATION
	WATER MAIN		LIGHT STANDARD
	OVERHEAD ELECTRIC		POWER POLE
	UNDERGROUND TELEPHONE		SLOPE DIRECTION
	UNDERGROUND FIBER OPTIC		CATCH BASIN
	UNDERGROUND ELECTRIC		MANHOLE
	GAS LINE		BOLLARD
	CONCRETE CURB		STORM SEWER
	FENCING		SANITARY SEWER-WASTE
	RETAINING WALL		FORCE MAIN
	SET 1/2" X 1/4" IRON PIPE		ROOF DRAIN SYSTEM
	IRON MONUMENT FOUND		WATERMAIN
	SURVEY DISK (BENCHMARK)		FIRE LINE (IF SEPARATE)
	POWERPOLE		FIRE DEPT. CONNECTION
	GUY WIRE		SOIL SUBDRAIN
	GUARD POST		GAS LINE-UNDERGROUND
	GAS METER		ELECTRIC-UNDERGROUND
	TRANSFORMER		TELEPHONE-UNDERGROUND
	WATER SHUT-OFF VALVE		CATV
	TRAFFIC SIGN		LAWN SPRINKLER SLEEVE
	FLAG POLE		
	LIGHT POLE		
	TREES		
	TREE LINE		
	STORM MANHOLE		
	SANITARY MANHOLE		
	CATCH BASIN		
	FIRE HYDRANT		
	WATER VALVE		
	FLARED END SECTION		
	MAILBOX		
	NOTE NUMBER		
	MEASURED DISTANCE		
	DISTANCE PER RECORDED PLOT		
	SOIL BORING		

EROSION CONTROL SYMBOLS	
SYMBOL	DESCRIPTION
	SILT FENCE
	COMPOSTING LOG
	INLET PROTECTION
	EROSION CONTROL BLANKET

DRAWING SYMBOLS	
SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION - ADDENDUM, BULLETIN, ETC.
	REVISION AREA (THIS ISSUE)

LEGAL DESCRIPTION

The Northeast Quarter of the Southwest Quarter of Section 13, Township 32, Range 23, Anoka County, Minnesota.

AND

The West Half of the Southwest Quarter of Section 13, Township 32 North, Range 23 West, according to the United States Government thereof, Anoka County, Minnesota.

BENCHMARK

Project Benchmark:
Name: Apollo County Benchmark No. 2005
Location: Second Order Benchmark as in ground in a covered tube. Benchmark is approximately 35 feet westerly of the centerline of C.S.A.H. No. 17 and 40 feet northerly of the centerline of 155th Avenue N.E.
Elevation = 905.73 (NAVD 88)

RELEVANT SPECIFICATIONS AND ORDER OF PRECEDENCE

If there is a conflict between or among any of the terms or provisions of the Contract Documents, the Contract Documents shall be generally construed as being complementary with one another with the intent of providing the highest quality to the CLIENT. However, if a conflict cannot be reconciled the ENGINEER shall be consulted and their written directions shall be followed. In general, unless otherwise defined in writing by the ENGINEER, the following order of precedence shall apply from highest precedence (1*) to lowest (7*):

1. Agreement between OWNER and CONTRACTOR
2. City Standard Specifications and Detail Plates
3. MnDOT Specifications for Construction
4. City Engineers Association of Minnesota (CEAM) Specifications
5. Conditions of the Contract
6. Plans
7. Digital Model
Bid Proposal

ZONING SUMMARY

The Property is Zoned: R-A Zone (Residential Rural Family)
Proposed Zoning: Single Family Residential (R-1), limited to Blocks 1, 2 & 3.

KOHLER FARMS

HAM LAKE, MINNESOTA

DEVELOPER
JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070



PROJECT KOHLE FIELDS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
CONTACT ENGINEER FOR ANY PROOF HISTORY		
DATE	ISSUE / REVISION	REVISION
10 JUL 2005	PRE PLAT SUBMITTAL	0
22 JUL 2005	SKETCH PLAN RE-SUBMITTAL	0
23 JUL 2005	WATERSHED SUBMITTAL	0
25 JUL 2005	PRE PLAT RE-SUBMITTAL	0
18 AUG 2005	PRE PLAT RE-SUBMITTAL	0
29 AUG 2005	PRE PLAT RE-SUBMITTAL	0
06 SEP 2005	PRE PLAT RE-SUBMITTAL	0

OWNER


JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
MINNEAPOLIS, MINNESOTA 55401
TEL: (612)-252-0070
EMAIL: DLAZANSKI@LANDFORM.NET
CONTACT: DARREN LAZAN

PROJECT CONTACTS	
CIVIL ENGINEER LANDFORM 106 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-522-9070 CONTACT: ERIC LUTH, PE	SURVEYOR LANDFORM 186 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-522-9070 CONTACT: JERROD LESAVAGE, LS

LANDSCAPE ARCHITECT
LANDFORM
105 SOUTH FIFTH AVENUE, SUITE 613
MINNEAPOLIS, MN 55401
TEL 612-252-9070
CONTACT: JOHN ORTIZ, RLA

CIVIL / LANDSCAPE SHEET INDEX & REVISION MATRIX		07-10-23	07-23-23	08-23-23	09-04-23
SHEETS ISSUED BY DATE					
SHEET NO.	DESCRIPTION				
C0.1	CIVIL & LANDSCAPE TITLE SHEET	X	X	X	X
C1.0	EXISTING CONDITIONS & DEMOLITION INDEX & NOTES	X	X	X	X
C1.1	EXISTING CONDITIONS & DEMOLITION INSET 1	X	X	X	X
C1.2	EXISTING CONDITIONS & DEMOLITION INSET 2	X	X	X	X
C1.3	EXISTING CONDITIONS & DEMOLITION INSET 3	X	X	X	X
C1.4	EXISTING CONDITIONS & DEMOLITION INSET 4	X	X	X	X
C1.5	EXISTING CONDITIONS & DEMOLITION INSET 5	X	X	X	X
C1.6	EXISTING CONDITIONS & DEMOLITION INSET 6	X	X	X	X
C2.0	PRELIMINARY PLAT & SITE PLAN INDEX & NOTES	X	X	X	X
C2.1	PRELIMINARY PLAT & SITE PLAN INSET 1	X	X	X	X
C2.2	PRELIMINARY PLAT & SITE PLAN INSET 2	X	X	X	X
C2.3	PRELIMINARY PLAT & SITE PLAN INSET 3	X	X	X	X
C2.4	PRELIMINARY PLAT & SITE PLAN INSET 4	X	X	X	X
C2.5	PRELIMINARY PLAT & SITE PLAN INSET 5	X	X	X	X
C2.6	PRELIMINARY PLAT & SITE PLAN INSET 6	X	X	X	X
C3.0	GRADING, DRAINAGE, EROSION CONTROL, STORM SEWER INDEX & NOTES	X	X	X	X
C3.1	GRADING, DRAINAGE, EROSION CONTROL, STORM SEWER INSET 1	X	X	X	X
C3.2	GRADING, DRAINAGE, EROSION CONTROL, STORM SEWER INSET 2	X	X	X	X
C3.3	GRADING, DRAINAGE, EROSION CONTROL, STORM SEWER INSET 3	X	X	X	X
C3.4	GRADING, DRAINAGE, EROSION CONTROL, STORM SEWER INSET 4	X	X	X	X
C3.5	GRADING, DRAINAGE, EROSION CONTROL, STORM SEWER INSET 5	X	X	X	X
C3.6	GRADING, DRAINAGE, EROSION CONTROL, STORM SEWER INSET 6	X	X	X	X
C3.7	SWPPP	X	X	X	X
C5.0	STORM SEWER INDEX & NOTES	X	X	X	X
C5.1	STORM SEWER PLAN & PROFILE	X	X	X	X
C5.2	STORM SEWER PLAN & PROFILE	X	X	X	X
C5.3	STORM SEWER PLAN & PROFILE	X	X	X	X
C5.4	STORM SEWER PLAN & PROFILE	X	X	X	X
C5.5	STORM SEWER PLAN & PROFILE	X			
C6.0	STREET PROFILES INDEX & NOTES	X	X	X	X
C6.1	STREET PROFILES	X	X	X	X
C6.2	STREET PROFILES	X	X	X	X
C6.3	STREET PROFILES	X	X	X	X
C7.1	CIVIL CONSTRUCTION DETAILS	X	X	X	X
C7.2	CIVIL CONSTRUCTION DETAILS	X	X	X	X
C7.3	CIVIL CONSTRUCTION DETAILS	X	X	X	X
C7.4	CIVIL CONSTRUCTION DETAILS	X	X	X	X
C8.0	LIABILITY MAP	X	X	X	X
L1.0	TREE PRESERVATION INDEX & NOTES	X	X	X	X

CERTIFICATION
I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.


Eric T. Lech, PE
License No. 55473 Date: 05/04/2025
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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

LAND FOR
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105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

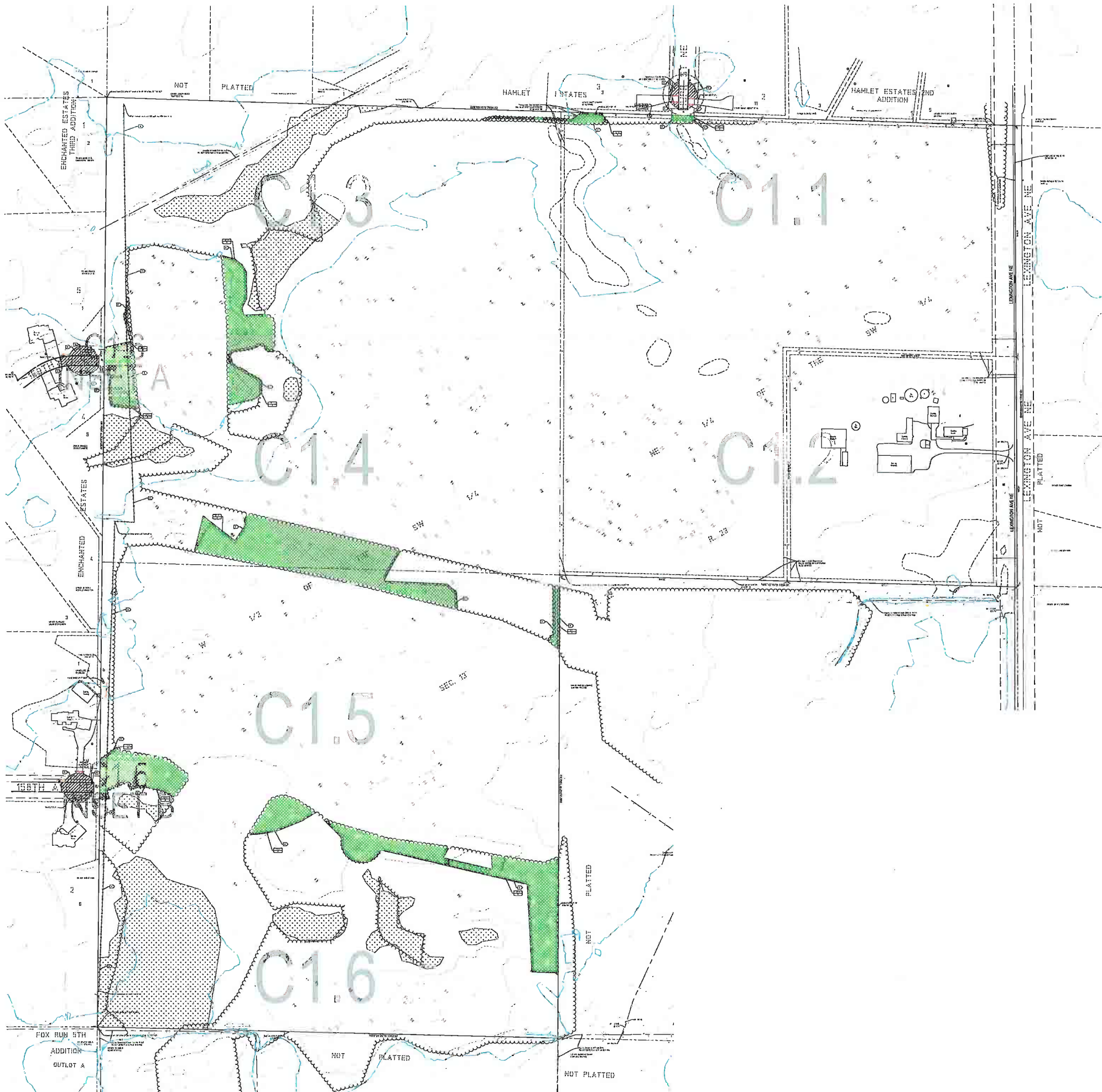
Tel: 612-252-9
Fax: 612-252-9
Web: landform.

FILE NAME	C001LDP010.DWG
PROJECT NO	LDP240

CIVIL & LANDSCAPE TITLE SHEET

C0.1

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- GENERAL NOTES**
- For construction staking and surveying services contact Landform at 612.252.9070.
 - Wetland delineation completed by Kjolhaug Environmental Services, NOD completed on August 8, 2025.
- EXISTING CONDITIONS**
- Background information shown is from survey by Landform, Minneapolis, MN, on April 5, 2025 expressly for this project. City of Ham Lake, MN record drawings and utility service providers, Landform offers no warranty, expressed or written, for information provided by others. Existing project conditions shall be verified prior to beginning construction. Errors, inconsistencies, or omissions discovered shall be reported to the Engineer IMMEDIATELY.
 - Geotechnical boring locations are approximate and are based on information provided in the Geotechnical Report prepared by Braun Intersect Corporation, Minneapolis, MN on July 9, 2025.
 - Parcel(s) 13-32-23-31-0002, 13-32-23-32-0001, 13-32-23-33-0001. Existing zoning: RA Zone (Residential Rural Single Family).

LEGAL DESCRIPTION

The Northeast Quarter of the Southwest Quarter of Section 13, Township 32, Range 23, Anoka County, Minnesota.

AND

The West Half of the Southwest Quarter of Section 13, Township 32 North, Range 23 West, according to the United States Government thereof, Anoka County, Minnesota.

BENCHMARK

Project Benchmark:
Name: Anoka County Benchmark No. 2005
Location: Second Order Benchmark set in ground in a covered tube. Benchmark is approximately 35 feet westerly of the centerline of C.S.A.H. No. 17 and 40 feet northerly of the centerline of 158th Avenue N.E.
Elevation = 805.73 (NAVD 88)

Site Benchmark:
Type: Nail in Southwest of 16 in. oak
Location = 41-50R, West of Hupp St NE along North line.
Elevation = 805.47 (NAVD 88)

- DEMOLITION AND CLEARING NOTES**
- Obtain permits for demolition, clearing, and disposal prior to beginning.
 - Contact utility service providers for field location of services 72 hours prior to beginning demolition and clearing.
 - See Sheet C3.0-C3.8 for erosion prevention and sediment control measures that must be in place prior to disturbances to site.
 - Reserved.
 - Dimensions shown for removal are approximate. Coordinate with new construction to ensure appropriate removal of existing facilities.
 - Pavement sawcut. Remove concrete walks and curbing to the nearest existing joint beyond construction limits.
 - Complete demolition with minimal disruption of traffic. Coordinate lane closures with the regulatory authority and provide advance notification to affected emergency response providers.
 - Provide barricades, lights, signs, traffic control, and other measures necessary for protection and safety of the public and maintain throughout construction.
 - Protect structures, utilities, trees, plant material, soil, and adjacent property from damage during construction unless noted for removal. Damage shall be repaired to equal or better condition at no additional cost.
 - Remove existing site features including, but not limited to, underground utilities, paving, curbing, walkways, fencing, retaining walls, screen walls, aprons, lighting, related foundations, signage, bollards, landscaping, and stairways within the construction limits unless noted otherwise.
 - Coordinate removal, relocation, termination, and re-use of existing private and public utility services and appurtenances with the utility companies. Restore electric handholes, pullboxes, powerpoles, guywires, and structures disturbed by construction in accordance with utility owner requirements.
 - Haul demolition debris off-site to a facility approved by regulatory authorities for the handling of demolition debris, unless noted otherwise.
 - Remove existing storm sewer.

LEGEND

EXISTING	EXISTING	EXISTING
⊙	STORM MANHOLE	STRUCTURE &/OR PAVEMENT REMOVAL
⊙	SANITARY MANHOLE	SOIL BORING
⊙	CATCH BASIN	UTILITY LINE & FENCE REMOVAL
⊙	FIRE HYDRANT	MASS TREE REMOVAL
⊙	WATER VALVE	TREE PROTECTION FENCE
⊙	FLARED END SECTION	WETLAND
⊙	STORM SEWER	SAWCUT
⊙	SANITARY SEWER	FLOODPLAIN
⊙	WATERMAIN	FARMED SEASONAL WET LAND AREA
⊙	WATER SERVICE	
⊙	EASEMENT	
⊙	SPOT ELEVATION	

DEVELOPER

JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070



PROJECT

KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

CONTRACT ENGINEER FOR PRELIMINARY PROJECT HISTORY

DATE	ISSUE / REVISION	REVIEW
19 JUL 2025	PRELIM PLAT SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN RE SUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
25 JUL 2025	PRE PLAT RE SUBMITTAL	ETL
18 AUG 2025	PRE PLAT RE SUBMITTAL	ETL
29 AUG 2025	PRE PLAT RE SUBMITTAL	ETL
04 SEP 2025	PRE PLAT RE SUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Eric T. Luth

Eric T. Luth, PE
License No. 50473 Date: 09/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

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Minneapolis, MN 55401 Web: landform.net

FILE NAME C100LDP010.DWG
PROJECT NO. LDP24010

EXISTING CONDITIONS & DEMOLITION INDEX & NOTES

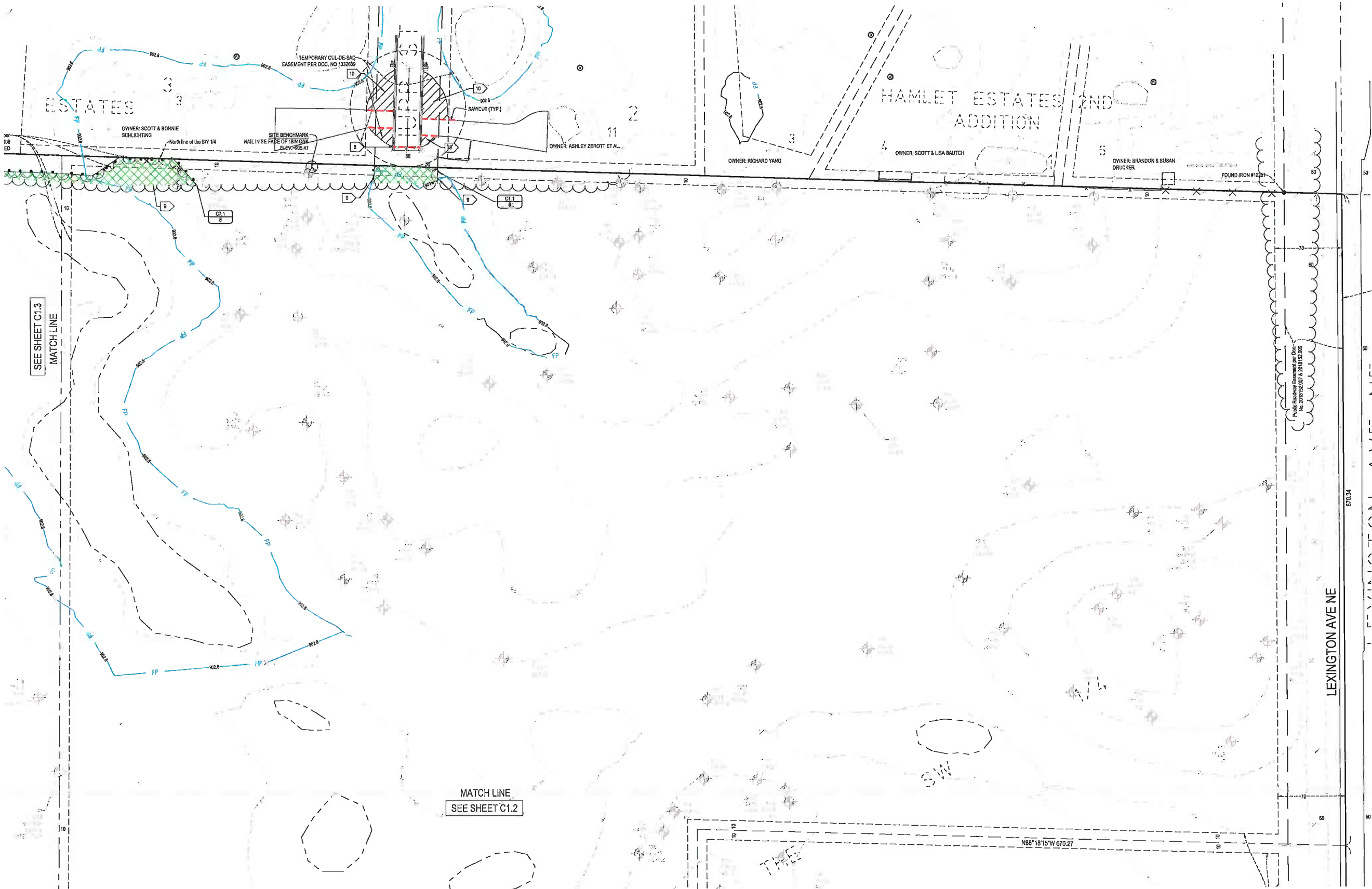
C1.0

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CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	WATER SHED P. SUBMITTAL	ETL
29 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL
29 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

C1.3	C1.1
C1.4	C1.2
C1.5	
C1.6	

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Evan F. Luth
Evan F. Luth, PE
License No: 50475 Date: 09/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

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FILE NAME C100LDP010.DWG

PROJECT NO. LDP24010

EXISTING CONDITIONS & DEMOLITION
INSET 1

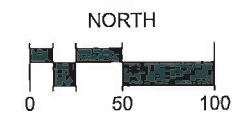
C1.1

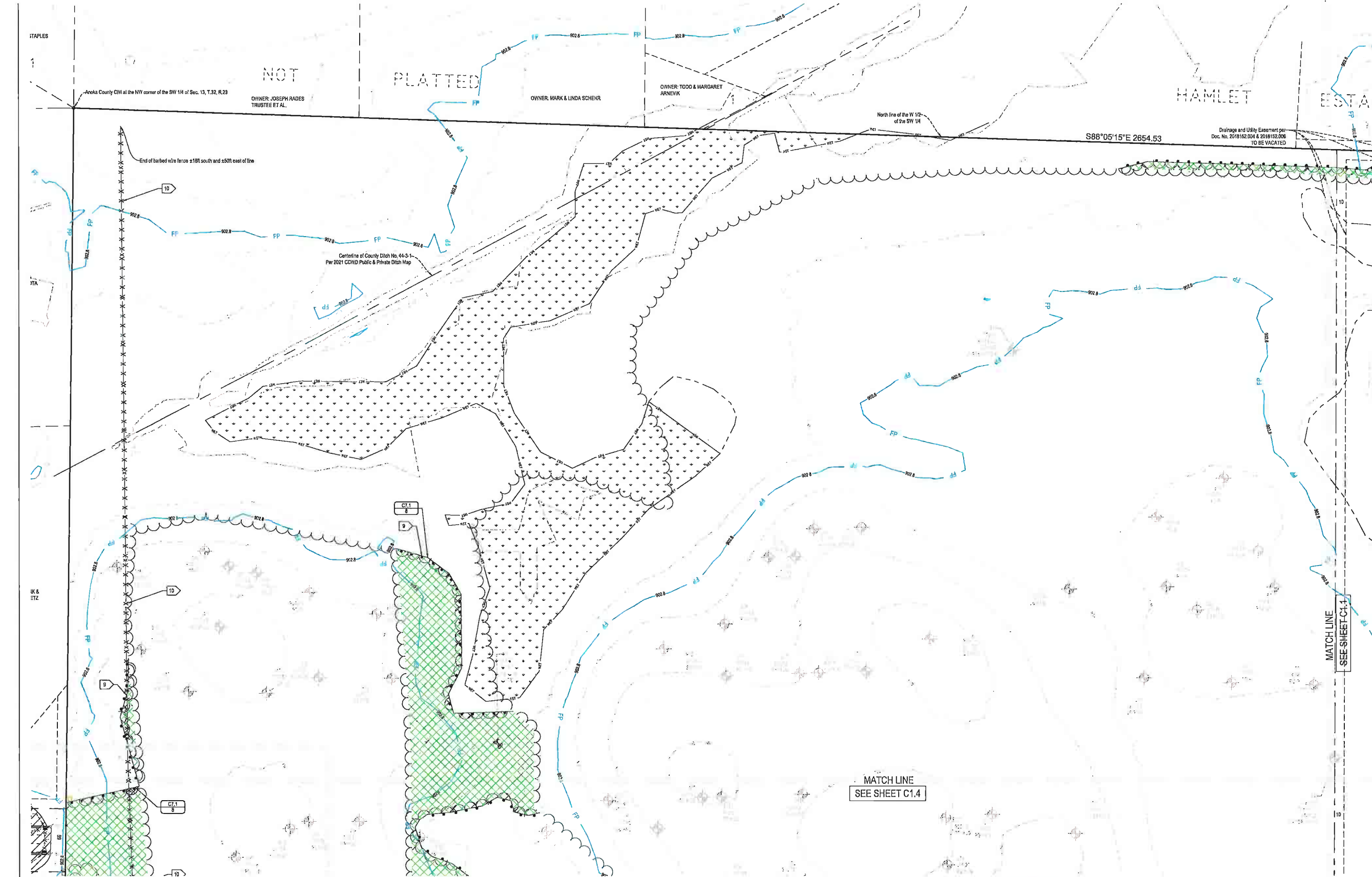
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LEGEND	
EXISTING	EXISTING
① STORM MANHOLE	STRUCTURE &/OR PAVEMENT REMOVAL
② SANITARY MANHOLE	SOIL BORING
③ CATCH BASIN	UTILITY LINE & FENCE REMOVAL
④ FIRE HYDRANT	MASS TREE REMOVAL
⑤ WATER VALVE	TREE PROTECTION FENCE
⑥ FLARED END SECTION	WETLAND
⑦ STORM SEWER	SAWCUT
⑧ SANITARY SEWER	FLOODPLAIN
⑨ WATERMAIN	FARMED SEASONAL WET LAND AREA
⑩ WATER SERVICE	
⑪ EASEMENT	
⑫ SPOT ELEVATION	



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MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	EXISTING PLAN RESUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
29 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL
29 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

C1.3	C1.1
C1.4	C1.2
C1.5	
C1.6	

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Eric T. Luth
Eric T. Luth, PE
Lic No: 50475
Date: 29/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025



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Web: landform.net

FILE NAME C100LDP010.DWG

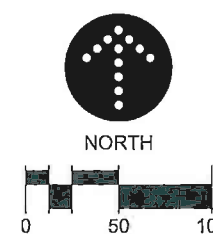
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EXISTING CONDITIONS & DEMOLITION
INSET 3

C1.3

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LEGEND	
EXISTING	EXISTING
⊙	STORM MANHOLE
⊙	SANITARY MANHOLE
⊙	CATCH BASIN
⊙	FIRE HYDRANT
⊙	WATER VALVE
⊙	FLARED END SECTION
⊙	STORM SEWER
⊙	SANITARY SEWER
⊙	WATERMAIN
⊙	WATER SERVICE
⊙	EASEMENT
⊙	SPOT ELEVATION
⊙	STRUCTURE AID
⊙	PAYMENT REMOVAL
⊙	SOIL BORING
⊙	UTILITY LINE & FENCE REMOVAL
⊙	MASS TREE REMOVAL
⊙	TREE PROTECTION FENCE
⊙	WETLAND
⊙	SAWCUT
⊙	FLOODPLAIN
⊙	FARMED SEASONAL
⊙	WET LAND AREA

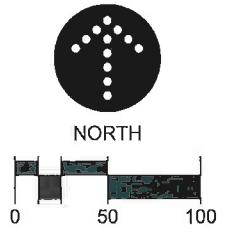




SEE SHEET C1.3
MATCH LINE

MATCH LINE
SEE SHEET C1.5

LEGEND			
EXISTING		EXISTING	
⊙	STORM MANHOLE	▨	STRUCTURE &/OR PAVEMENT REMOVAL
⊙	SANITARY MANHOLE	⬮	SOIL BORING
⊕	CATCH BASIN	⬮	UTILITY LINE & FENCE REMOVAL
⬮	FIRE HYDRANT	⬮	MASS TREE REMOVAL
⬮	WATER VALVE	⬮	TREE PROTECTION FENCE
⬮	FLARED END SECTION	⬮	WETLAND
⬮	STORM SEWER	⬮	SANICUT
⬮	SANITARY SEWER	⬮	FLOODPLAIN
⬮	WATERMAIN	⬮	FARMED SEASONAL WET LAND AREA
⬮	WATER SERVICE		
⬮	EASEMENT		
⬮	SPOT ELEVATION		



DEVELOPER
JD HAM LAKE HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN RESUBMITTAL	ETL
22 JUL 2025	WATERSHED SUBMITTAL	ETL
29 JUL 2025	PRE PLAT RESUBMITTAL	ETL
15 AUG 2025	PRE PLAT RESUBMITTAL	ETL
29 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

C1.3	C1.1
C1.4	C1.2
C1.5	
C1.6	

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Eric T. Loh, PE

Eric T. Loh, PE
License No: 50473 Date: 09/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

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EXISTING CONDITIONS & DEMOLITION
INSET 4
C1.4

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PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN RESUBMITTAL	ETL
22 JUL 2025	WETLANDS SUBMITTAL	ETL
29 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL
29 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

OWNER:
HOFFMA

C1.3	C1.1
C1.4	C1.2
C1.5	
C1.6	

CERTIFICATION
I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.
Eric T. Luth
Eric T. Luth, PE
License No: 36473 Date: 09/04/2025
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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

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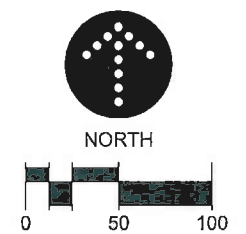
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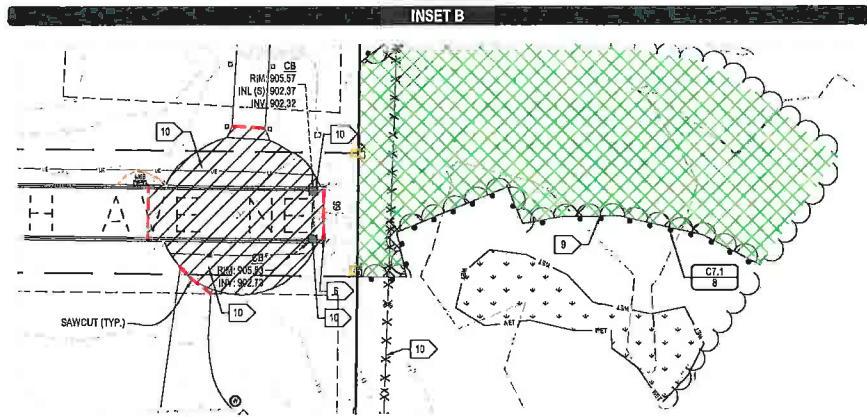
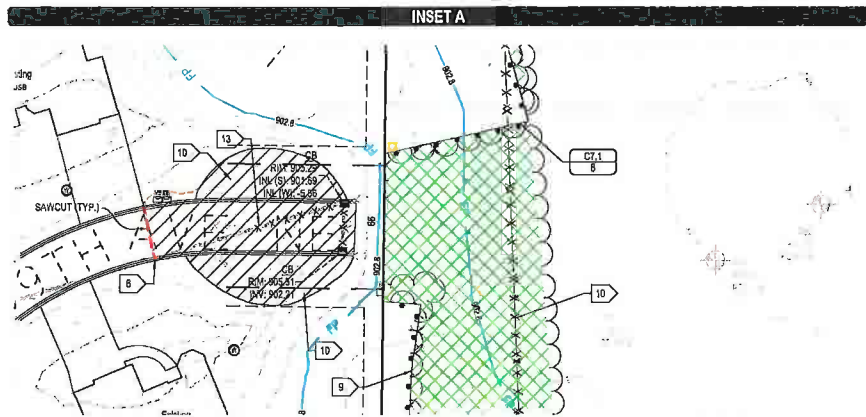
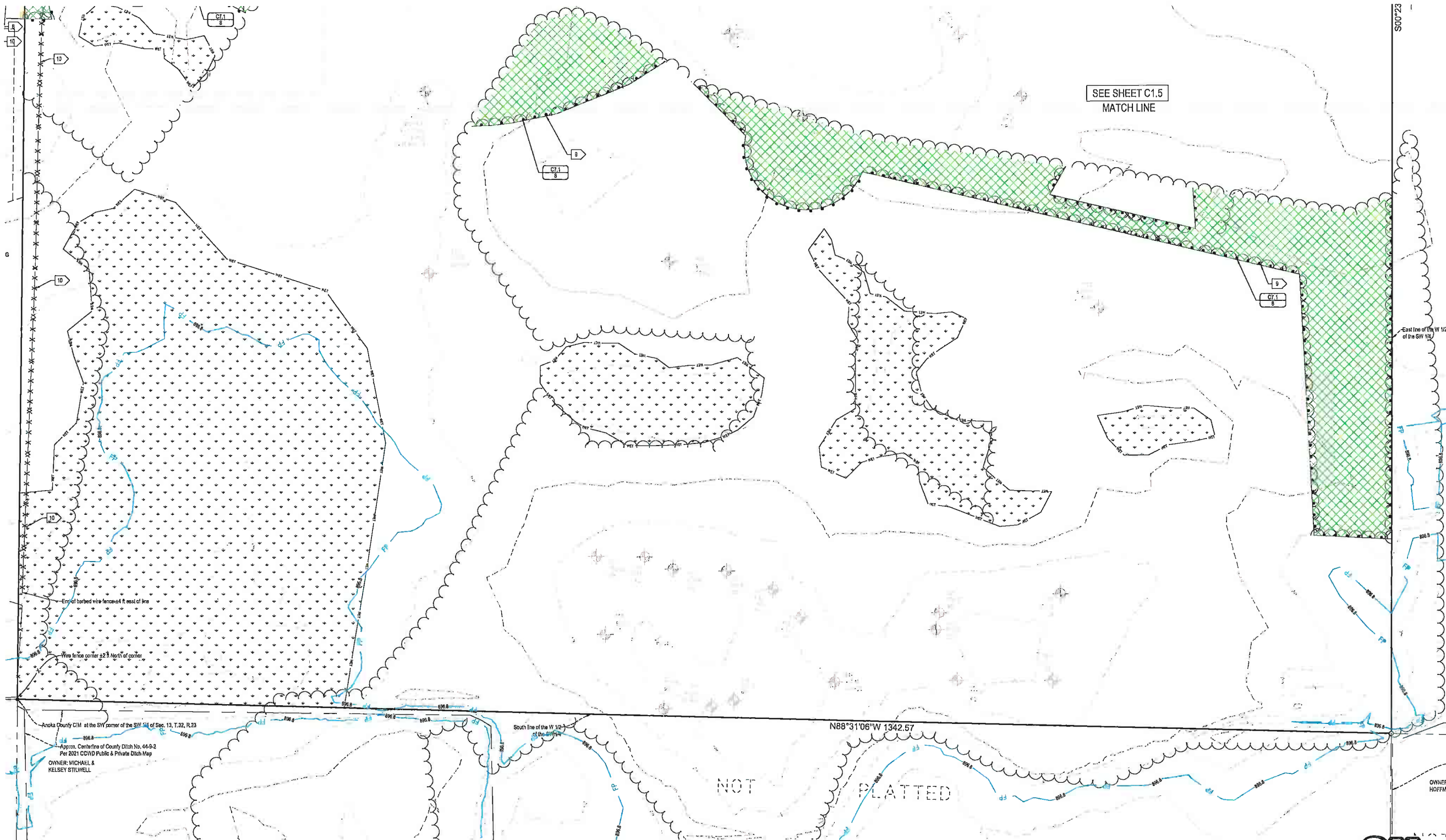
FILE NAME C100LDP010.DWG
PROJECT NO. LDP24010

EXISTING CONDITIONS & DEMOLITION
INSET 5
C1.5

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LEGEND	
EXISTING	EXISTING
①	STORM MANHOLE
②	SANITARY MANHOLE
③	CATCH BASIN
④	FIRE HYDRANT
⑤	WATER VALVE
⑥	FLARED END SECTION
⑦	STORM SEWER
⑧	SANITARY SEWER
⑨	WATERMAIN
⑩	WATER SERVICE
⑪	EASEMENT
⑫	SPOT ELEVATION
⑬	STRUCTURE AND/OR PAVEMENT REMOVAL
⑭	SOIL BORING
⑮	UTILITY LINE & FENCE REMOVAL
⑯	MASS TREE REMOVAL
⑰	TREE PROTECTION FENCE
⑱	WETLAND
⑲	SAWCUT
⑳	FLOODPLAIN
㉑	FARMED SEASONAL WETLAND AREA





LEGEND	
EXISTING	EXISTING
STORM MANHOLE	STRUCTURE &/OR PAVEMENT REMOVAL
SANITARY MANHOLE	SOIL BORING
CATCH BASIN	UTILITY LINE & FENCE REMOVAL
FIRE HYDRANT	MASS TREE REMOVAL
WATER VALVE	TREE PROTECTION FENCE
FLARED END SECTION	WETLAND
STORM SEWER	SAWCUT
SANITARY SEWER	FLOODPLAIN
WATERMAIN	FARMED SEASONAL WET LAND AREA
WATER SERVICE	
EASEMENT	
SPOT ELEVATION	

811
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NORTH

0 50 100

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CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	DRAWING REVISION	ETL
22 JUL 2025	WATERSHED SUBMITTAL	ETL
29 JUL 2025	PRE PLAT SUBMITTAL	ETL
18 AUG 2025	PRE PLAT SUBMITTAL	ETL
29 AUG 2025	PRE PLAT SUBMITTAL	ETL
04 SEP 2025	PRE PLAT SUBMITTAL	ETL

C1.3	C1.1
C1.4	C1.2
C1.5	
C1.6	

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Eric T. Luth, PE
License No: 50475 Date: 08/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

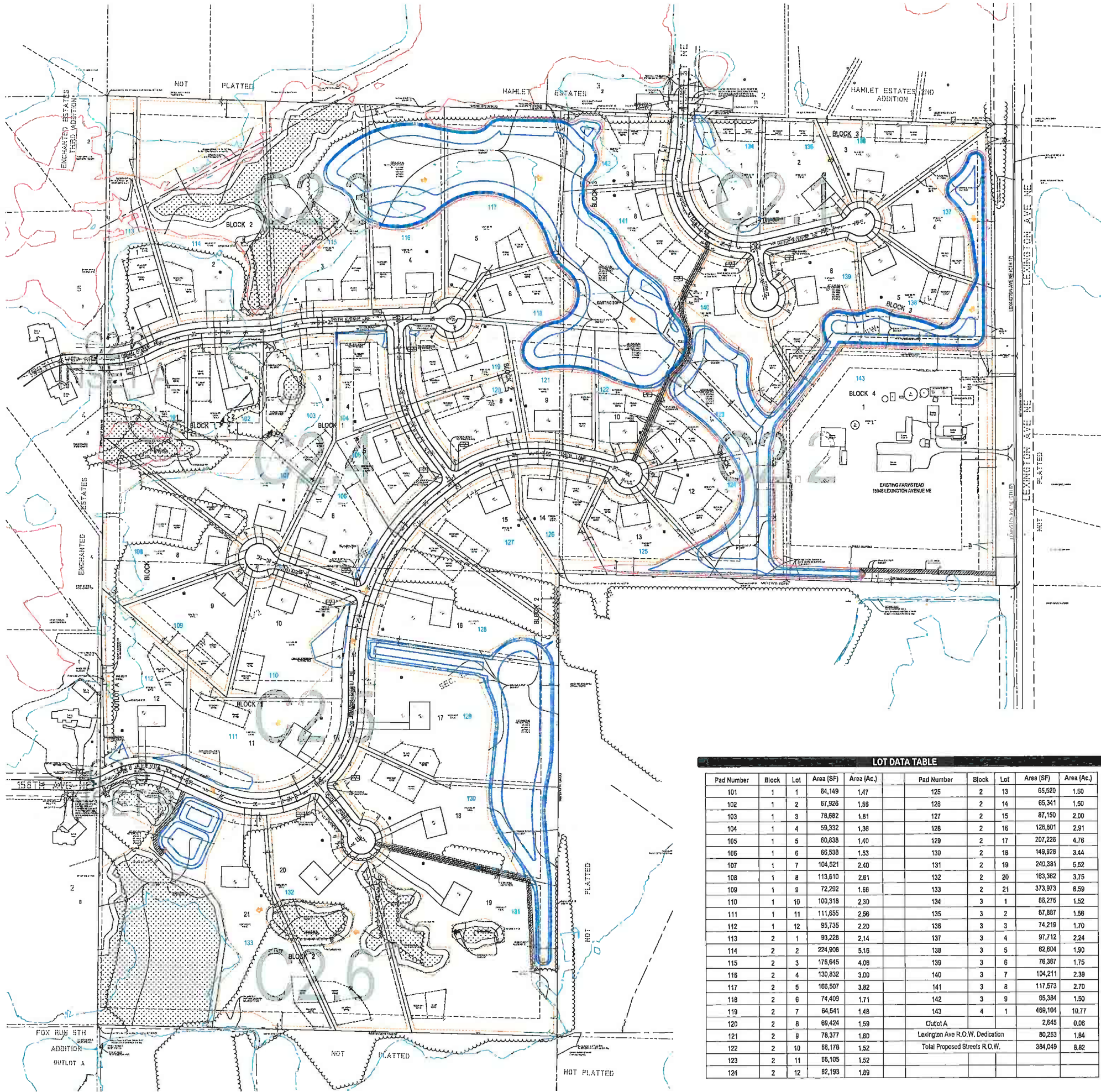
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PROJECT NO.: LDP24010

EXISTING CONDITIONS & DEMOLITION
INSET 6
C1.6

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LOT DATA TABLE									
Pad Number	Block	Lot	Area (SF)	Area (Ac.)	Pad Number	Block	Lot	Area (SF)	Area (Ac.)
101	1	1	84,149	1.47	125	2	13	85,520	1.50
102	1	2	87,928	1.59	126	2	14	85,341	1.50
103	1	3	78,682	1.41	127	2	15	87,150	2.00
104	1	4	59,332	1.36	128	2	16	128,801	2.91
105	1	5	60,838	1.40	129	2	17	207,228	4.76
106	1	6	66,538	1.53	130	2	18	149,928	3.44
107	1	7	104,521	2.40	131	2	19	240,381	5.52
108	1	8	113,810	2.61	132	2	20	163,362	3.75
109	1	9	72,292	1.68	133	2	21	373,973	8.59
110	1	10	100,318	2.30	134	3	1	68,275	1.52
111	1	11	111,655	2.56	135	3	2	67,887	1.56
112	1	12	85,735	2.20	136	3	3	74,219	1.70
113	2	1	93,228	2.14	137	3	4	97,712	2.24
114	2	2	224,908	5.16	138	3	5	82,604	1.90
115	2	3	176,845	4.06	139	3	6	76,387	1.75
116	2	4	130,832	3.00	140	3	7	104,211	2.39
117	2	5	166,507	3.82	141	3	8	117,573	2.70
118	2	6	74,409	1.71	142	3	9	85,384	1.50
119	2	7	84,541	1.48	143	4	1	469,104	10.77
120	2	8	69,424	1.59	Outlot A			2,645	0.06
121	2	9	78,377	1.80	Lexington Ave R.O.W. Dedication			80,263	1.84
122	2	10	86,178	1.52	Total Proposed Streets R.O.W.			384,049	8.82
123	2	11	88,105	1.52					
124	2	12	82,193	1.89					

GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.
- Obtain all necessary permits for construction within, or use of, public right-of-way.
- The digital file, which can be obtained from the Engineer, shall be used for staking. Discrepancies between the drawings and the digital file shall be reported to the Engineer. The building footprint, as shown on these drawings, and the digital file, shall be compared to the structural drawings prior to staking.
- Building layout angles are parallel with or perpendicular to the property line at the location indicated.
- Dimensions shown are to back of curb unless noted otherwise.
- Home sites shown are conceptual only. Houses may be built in custom location approved by the City.

LEGAL DESCRIPTION

The Northeast Quarter of the Southwest Quarter of Section 13, Township 32, Range 23, Anoka County, Minnesota.
AND
The West Half of the Southwest Quarter of Section 13, Township 32 North, Range 23 West, according to the United States Government Survey, Anoka County, Minnesota.

BENCHMARK

Posted Benchmark:
Name: Anoka County Benchmark No. 2005
Location: Second Order Benchmark set in ground in a covered tube. Benchmark is approximately 35 feet westerly of the centerline of C.S.A.H. No. 17 and 40 feet northerly of the centerline of 155th Avenue N.E.
Elevation = 906.73 (NAVD 88)
Site Benchmark:
Type: Nail in Southwest of 18 in. oak
Location = +1.50N West of Maple St. Line along North line.
Elevation = 906.47 (NAVD 88)

ZONING AND SETBACK SUMMARY

The Property is Zoned: R-A Zone (Residential Rural Single Family)
Proposed Zoning: Single Family Residential (R-1) limited to blocks 1, 2 & 3.
Adjacent Properties Zoning:
North: R-1 Residential Single Family
South: R-A Residential-Rural Single Family
East: R.O.W. (R-A Residential-Rural Single Family)
West: R-1 Residential Single Family
Building Setback Information is as follows:
Front Yard = 30 ft.
Rear Yard = 50 ft.
Side Yard (Corner) = 10 ft.
Side Yard (Corner) = 30 ft.
Lot Coverage Information is as follows:
Lot Area Minimum = 43,560 s.f. = 1.0 ac.
Lot Width Minimum = 200 ft.
Lot Width Minimum (cul-de-sac) = 60 ft.
Right-of-way Width = 66 ft.
Wetland Buffer Width = 18.5 ft.
Total Site Area = 5,372,831 s.f. = 124.34 ac.
Wetland & Floodplain Area = 959,168 s.f. = 22.02 ac.
Net Developable Site Area = 4,413,663 s.f. = 101.32 ac.

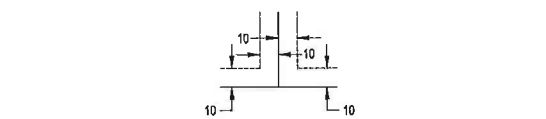
AREA SUMMARY

Existing:				
Previous	5,371,775	s.f.	123.32	ac.
Impervious	1,058	s.f.	0.02	ac.
Total	5,372,831	s.f.	123.34	ac.
Proposed:				
Previous	4,932,439	s.f.	113.23	ac.
Impervious	440,392	s.f.	10.11	ac.
Total	5,372,831	s.f.	123.34	ac.

LEGEND

Property Line	—
Interior Lot Line	- - -
Underlying Parcel Line	- - -
Existing Easement	- - -
Proposed Easement	- - -
Proposed Setback	- - -
Proposed Floodplain	- - -
Proposed Pond Line	- - -
Proposed Well	- - -
Soil Boring	- - -

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS: (Not to Scale)



Being 10 feet in width and adjoining lot lines, unless otherwise shown and 10 feet in width and adjoining right of way lines as shown on the plat.

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NORTH

0 150 300

DEVELOPER

JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

CITY



PROJECT

KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN RESUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
29 JUL 2025	PRE PLAT RESUBMITTAL	ETL
15 AUG 2025	PRE PLAT RESUBMITTAL	ETL
29 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Eric T. Luth, PE
License No: 90075 Date: 08/04/2025
Signature shown is a digital reproduction of original. Will signed copy of this plan on file at Landform Professional Services, LLC office and is available upon request.

PRELIMINARY PLAT SUBMITTAL SEPTEMBER 4, 2025



105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

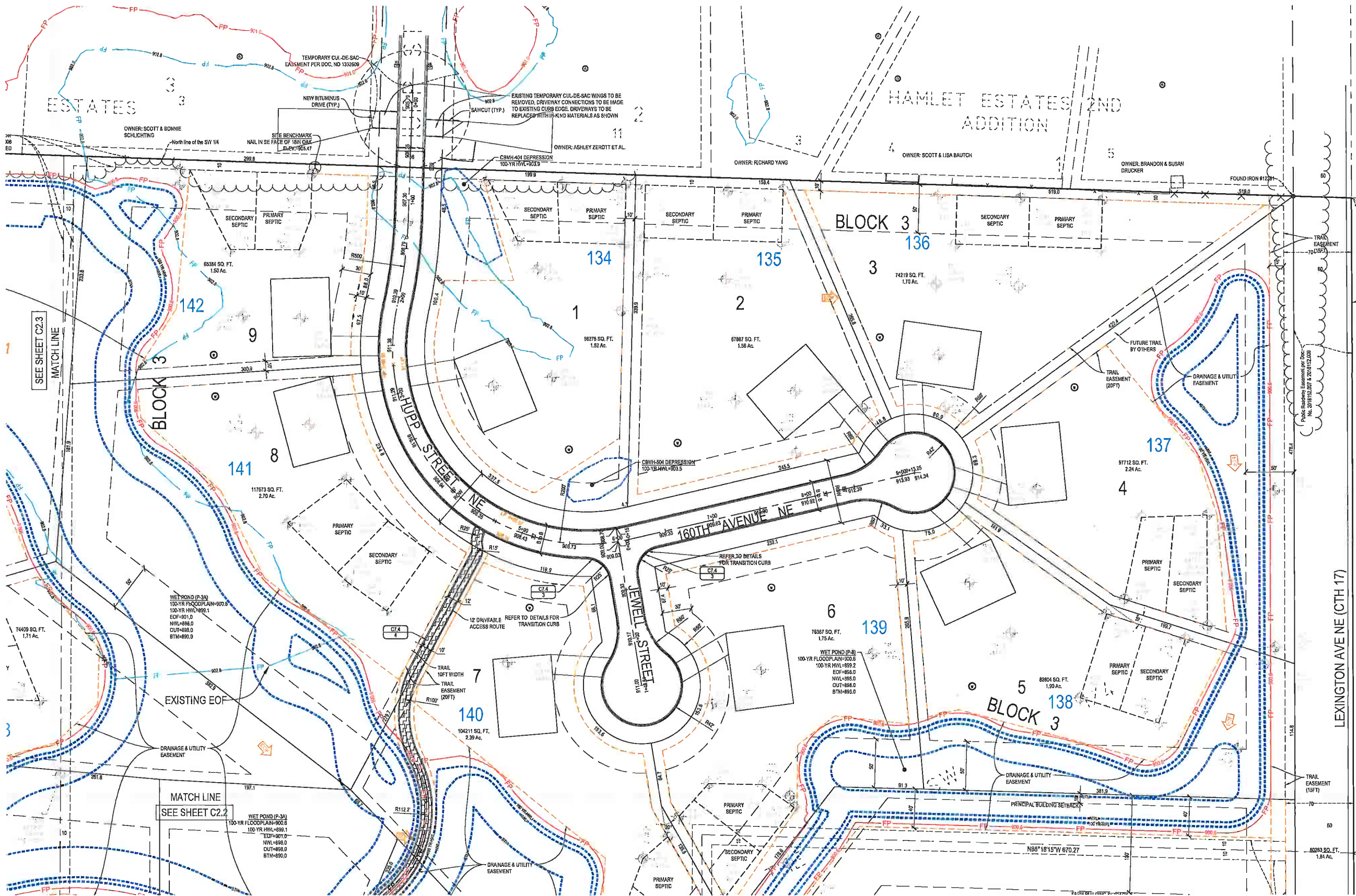
FILE NAME C200LDP010.DWG

PROJECT NO. LDP24010

PRELIMINARY PLAT & SITE PLAN INDEX & NOTES

C2.0

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DEVELOPER
JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	PRELIMINARY SUBMITTAL	ETL
23 JUL 2025	WATERPDS SUBMITTAL	ETL
28 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL
20 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

C2.3	C2.1
C2.4	C2.2
C2.5	
C2.6	

CERTIFICATION
I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.
Erik T. Luth
Erik T. Luth, PE
License No: 50475
Date: 09/04/2025
Signature shown is a digital reproduction of original. Full signed copy of this plan on file at Landform Professional Services, LLC office and is available upon request.

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

LANDFORM
From Site to Finish

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Suite 513
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME C200LDP010.DWG

PROJECT NO. LDP24010

PRELIMINARY PLAT & SITE PLAN INSET

C2.1

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LEGEND

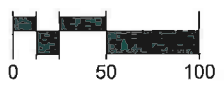
- PROPERTY LINE
- INTERIOR LOT LINE
- UNDERLYING PARCEL LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- PROPOSED SETBACK
- WETLAND LINE
- EXISTING FLOODPLAIN
- PROPOSED FLOODPLAIN
- PROPOSED POND LINE
- PROPOSED WELL
- WET
- FP
- W
- SOIL BORING

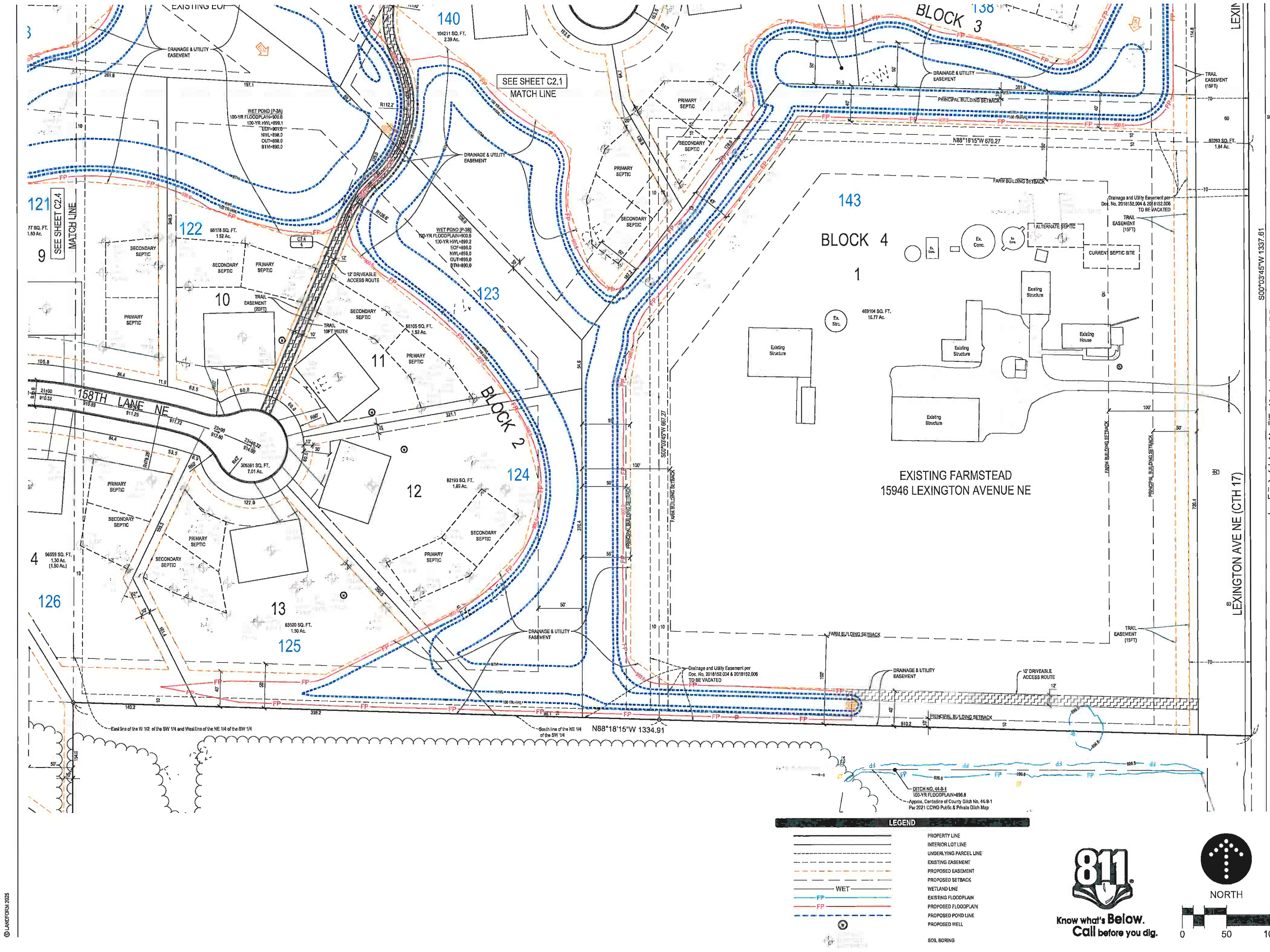


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JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETP
22 JUL 2025	SKETCH PLAN RESUBMITTAL	ETP
23 JUL 2025	WATERSHED SUBMITTAL	ETP
29 JUL 2025	PRE PLAT RESUBMITTAL	ETP
18 AUG 2025	PRE PLAT RESUBMITTAL	ETP
23 AUG 2025	PRE PLAT RESUBMITTAL	ETP
04 SEP 2025	PRE PLAT RESUBMITTAL	ETP

C2.3	C2.1
C2.4	C2.2
C2.5	
C2.6	

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Eva Ruth
Eva T. Ruth, PE
License No: 10475 Date: 09/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

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From Site to Finish

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Minneapolis, MN 55401 Web: landform.net

FILE NAME C200LDP010.DWG

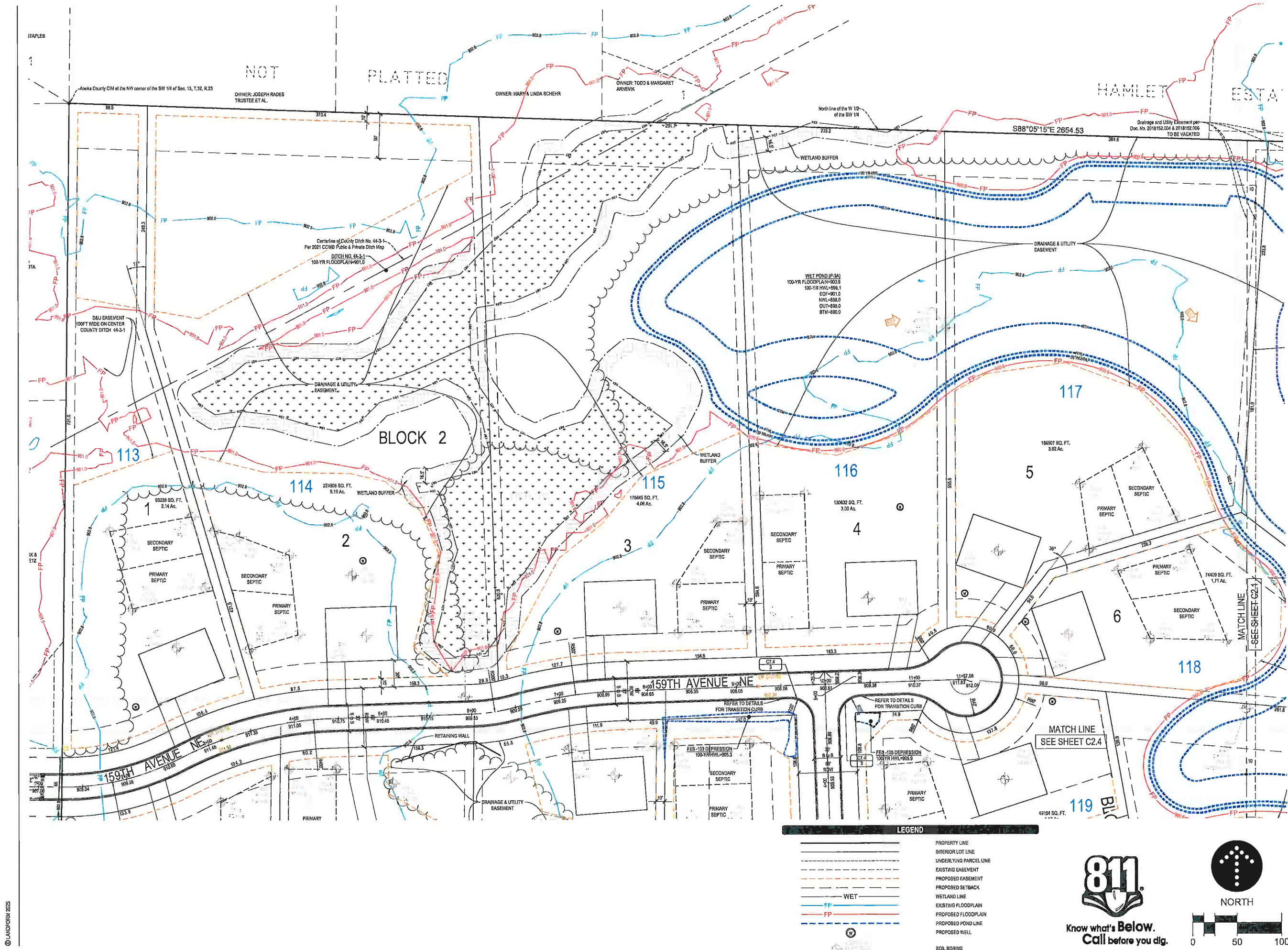
PROJECT NO. LDP24010

PRELIMINARY PLAT & SITE PLAN INSET

2

C2.2

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SUITE 513
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CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN RESUBMITTAL	ETL
23 JUL 2025	WATERDEP RESUBMITTAL	ETL
29 JUL 2025	PRE PLAT RESUBMITTAL	ETL
19 AUG 2025	PRE PLAT RESUBMITTAL	ETL
29 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

C2.3	C2.1
C2.4	C2.2
C2.5	
C2.6	

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Eric T. Lutz
Eric T. Lutz, PE
License No. 50475 Date: 09/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

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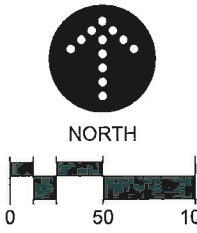
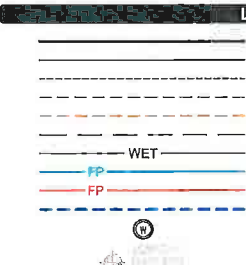
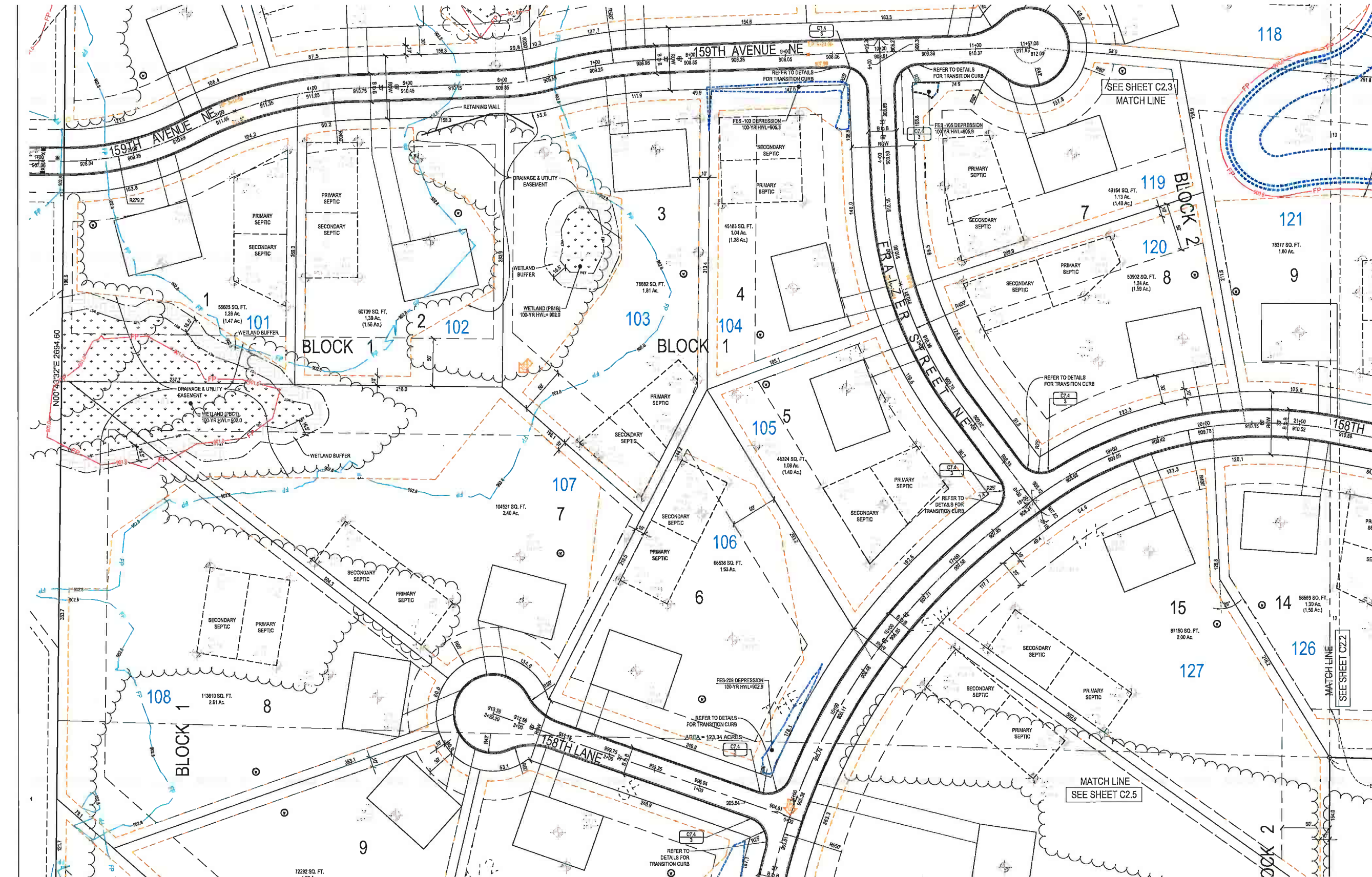
Tel: 612-252-9070
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Web: landform.net

FILE NAME C200LDP010.DWG
PROJECT NO. LDP24010

PRELIMINARY PLAT & SITE PLAN INSET

3
C2.3

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MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

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PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	PRE PLAT SUBMITTAL	ETL
28 JUL 2025	PRE PLAT SUBMITTAL	ETL
18 AUG 2025	PRE PLAT SUBMITTAL	ETL
29 AUG 2025	PRE PLAT SUBMITTAL	ETL
04 SEP 2025	PRE PLAT SUBMITTAL	ETL

C2.3	C2.1
C2.4	C2.2
C2.5	
C2.6	

CERTIFICATION
I, the undersigned, certify that the plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Erik T. Luth
Erik T. Luth, PE
License No. 50473
Date: 09/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

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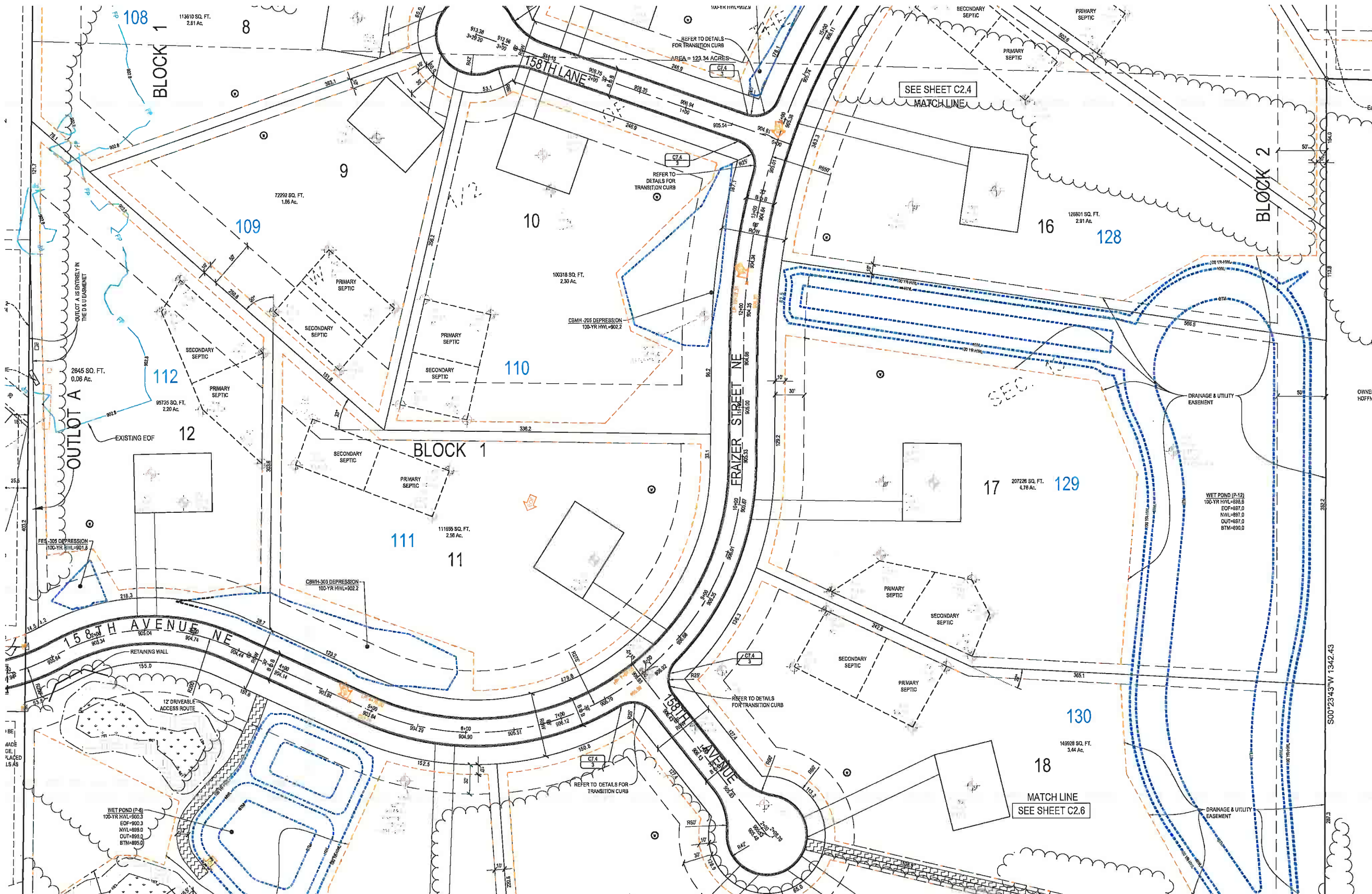
105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME: C200LDP010.DWG
PROJECT NO.: LDP24010

PRELIMINARY PLAT & SITE PLAN INSET
4
C2.4

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SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

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PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	DRAWING REVISIONS	ETL
23 JUL 2025	WETLANDS SUBMITTAL	ETL
29 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL
29 AUG 2025	PRE PLAT RESUBMITTAL	ETL
24 SEP 2025	PRE PLAT RESUBMITTAL	ETL

OWNER:
HOFFMA

C2.3	C2.1
C2.4	C2.2
C2.5	
C2.6	

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Eric T. Luth, PE
Eric T. Luth, PE
License No: 50475
Date: 09/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025



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FILE NAME: C200LDP010.DWG
PROJECT NO.: LDP24010

PRELIMINARY PLAT & SITE PLAN INSET
5
C2.5

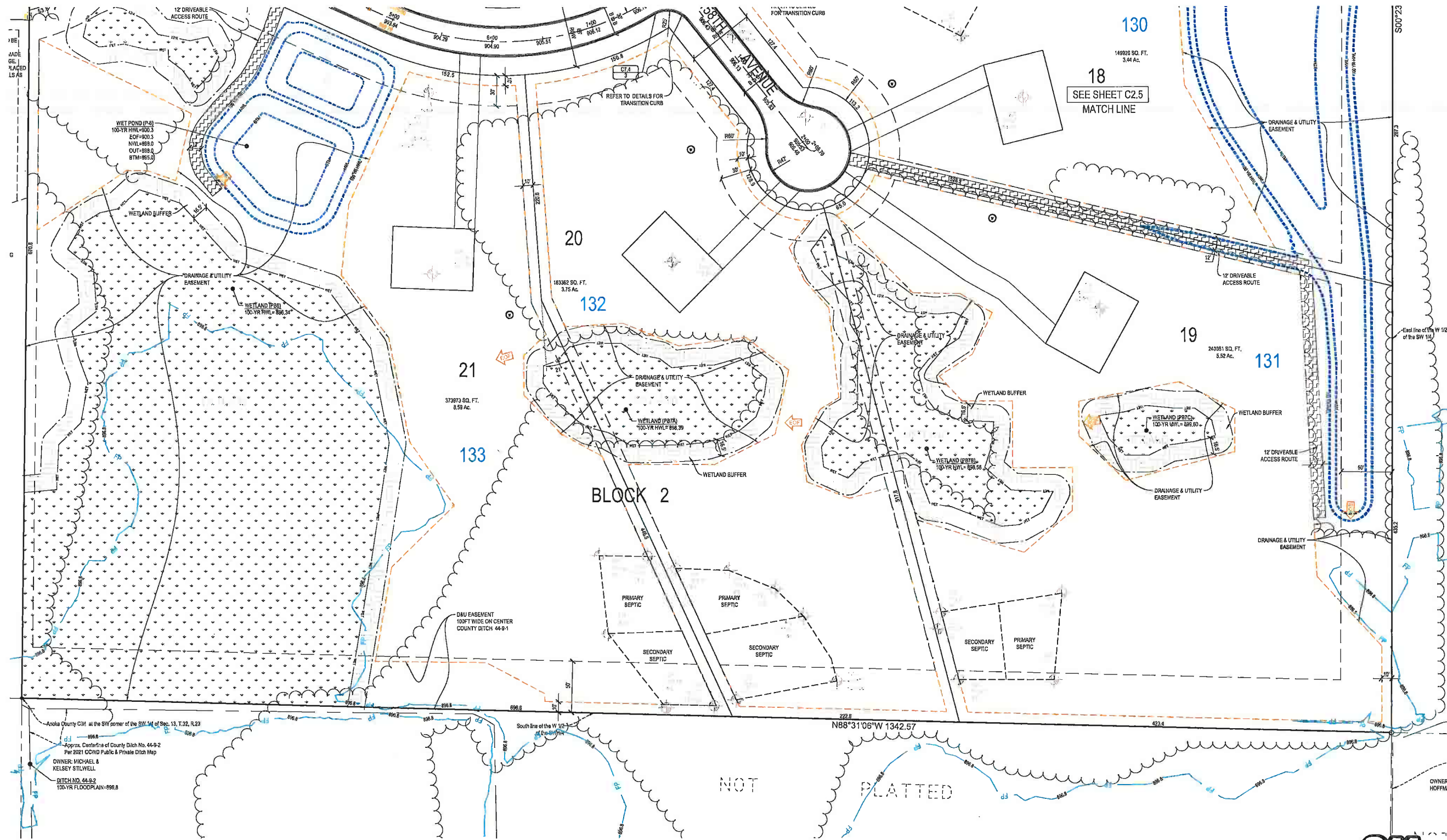
LEGEND

	PROPERTY LINE
	INTERIOR LOT LINE
	UNDERLYING PARCEL LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED SETBACK
	WETLAND LINE
	EXISTING FLOODPLAIN
	PROPOSED FLOODPLAIN
	PROPOSED POND LINE
	PROPOSED WELL
	SOIL BORING

811
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NORTH

0 50 100



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HOLDINGS, LLC
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CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
12 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN RESUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
23 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL
29 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

C2.3	C2.1
C2.4	C2.2
C2.5	
C2.6	

CERTIFICATION

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Erik T. Lutz
Erik T. Lutz, PE
License No. 50475
Date: 09/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

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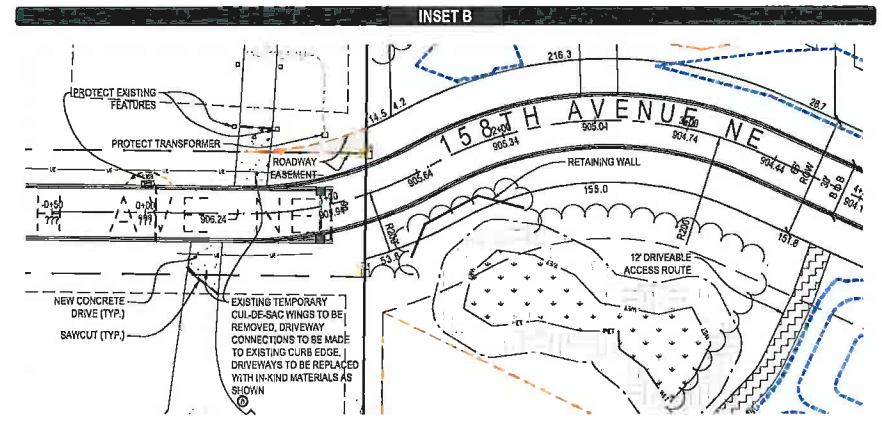
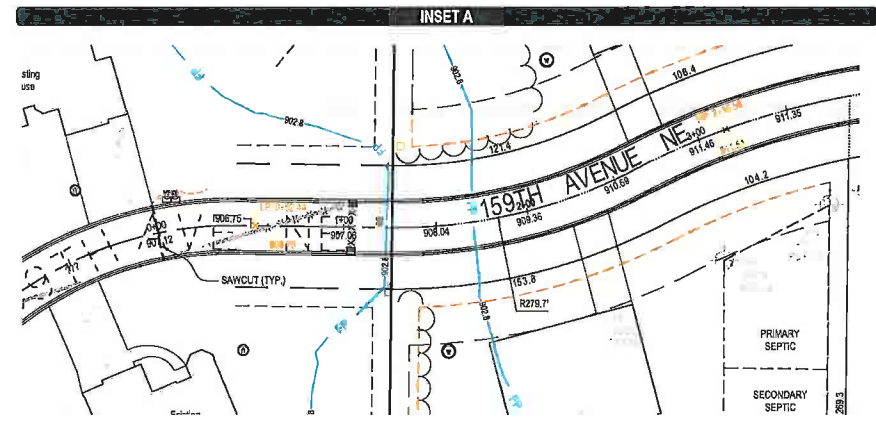
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File Name: C200LP010.DWG
Project No.: LOP24010

PRELIMINARY PLAT & SITE PLAN INSET

C2.6

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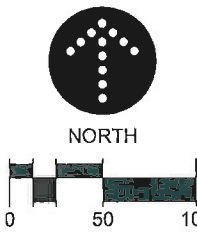


LEGEND

---	PROPERTY LINE
---	INTERIOR LOT LINE
---	UNDERLYING PARCEL LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
---	PROPOSED SETBACK
---	WETLAND LINE
---	EXISTING FLOODPLAIN
---	PROPOSED FLOODPLAIN
---	PROPOSED POND LINE
---	PROPOSED WELL
---	SOIL BORING



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PROJECT KOHLE FIELDS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

CONTRACT ENGINEER FOR ANY PRICE HISTORY		
DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ET
22 JUL 2025	SUBMITTAL PLAN RE-SUBMITTAL	ET
23 JUL 2025	WATERSHED SUBMITTAL	ET
29 JUL 2025	PRE PLAT RESUBMITTAL	ET
18 AUG 2025	PRE PLAT RESUBMITTAL	ET
29 AUG 2025	PRE PLAT RESUBMITTAL	ET
04 SEP 2025	PRE PLAT RESUBMITTAL	ET

C3.3	C3.1
C3.4	C3.2
C3.5	
C3.6	

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

E. T. Felt

Eric T. Luhn, PE
License No. 50475 Date: 08/04/2025

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Lunenburg Professional Services, LLC office and is available upon request.

PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

LAND FOR

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Suite 513
Minneapolis, MN 55401

Tel: 612-252-9000
Fax: 612-252-9000
Web: landform.com

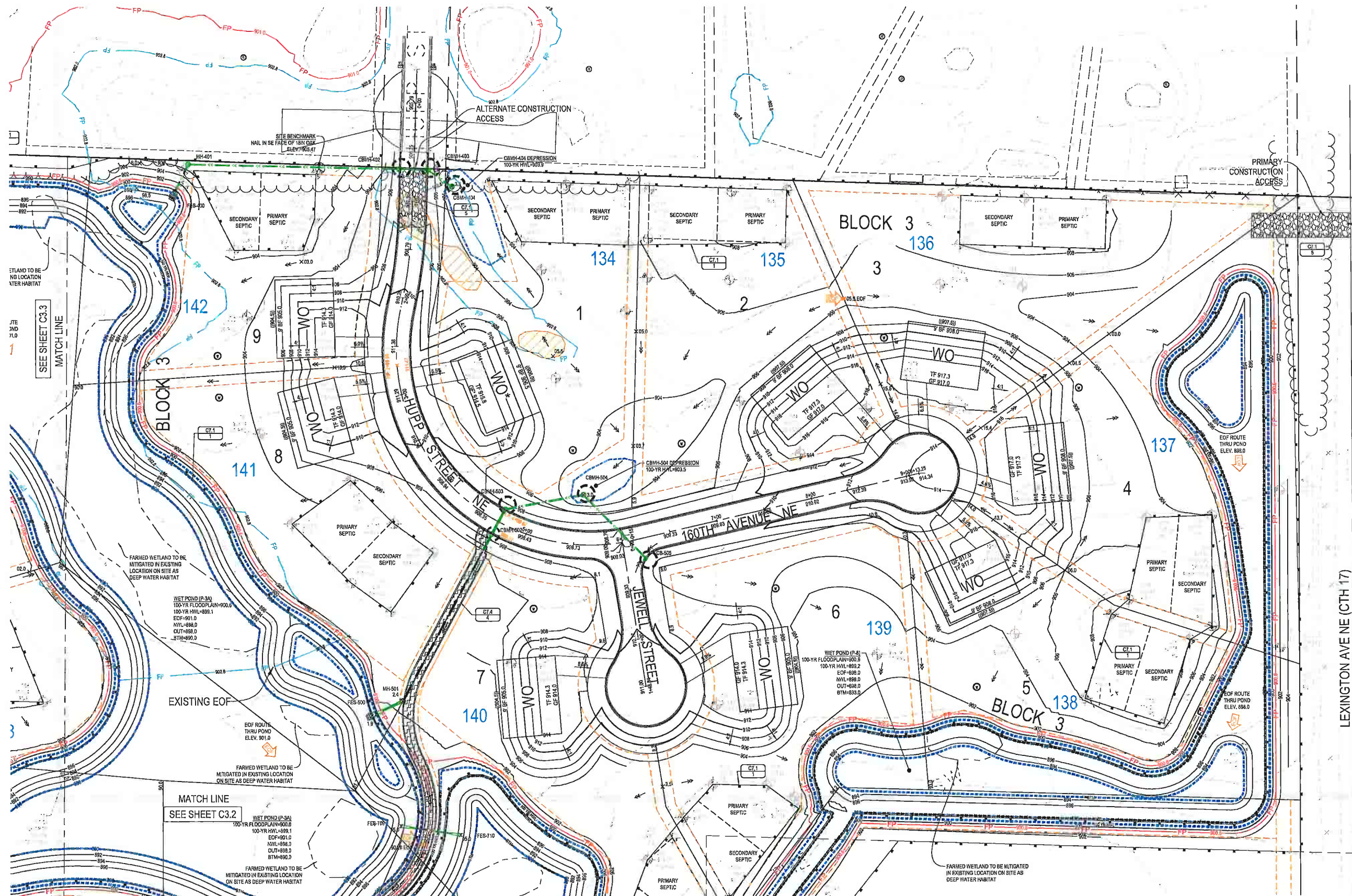
FILE NAME	C300LDP010.DWG
PROJECT NO	LDP240

PROJECT NO. _____

**GRADING, DRAINAGE, EROSION
CONTROL & STORM SEWER INSET 1**

C3.1

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WETLAND IMPACTS

WETLAND IMPACT = 3.443 SF



LEGEND

<u>EXISTING</u>	<u>EXISTING</u>
	
	
	
	
	
	
	
	
	

EASEMENT
SPOT ELEVATION
EXISTING FLOODPLAIN NORTH - 802.8
EXISTING FLOODPLAIN SOUTH - 806.8
WETLAND

FARMED SEASONAL
WET LAND AREA

PROPOSED	
DESCRIPTION	ESTIMATED QUANTITY
INLET PROTECTION	REFER TO C3.0
SILT FENCE	REFER TO C3.0
COMPOST OR BIO LOG	REFER TO C3.0
VEHICLE TRACKING PAD	REFER TO C3.0
ENKAMET 7010	REFER TO C3.0

PROPOSED	
SYMBOL	DESCRIPTION
	TIP OUT CURB
	GRADING LIMITS
	16.5 FT WETLAND BU
	PROPOSED FLOODP
	POND LINE
	SPOT ELEVATION

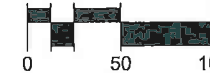
PROPOSED	
SYMBOL	DESCRIPTION
	CATCH BASIN
	MANHOLE
	STORM SEWER
	SOIL SUBDRAIN
	CURB & GUTTER
	PROPERTY LINE
	EASEMENT
	DRIVEABLE ACCESS ROUTE

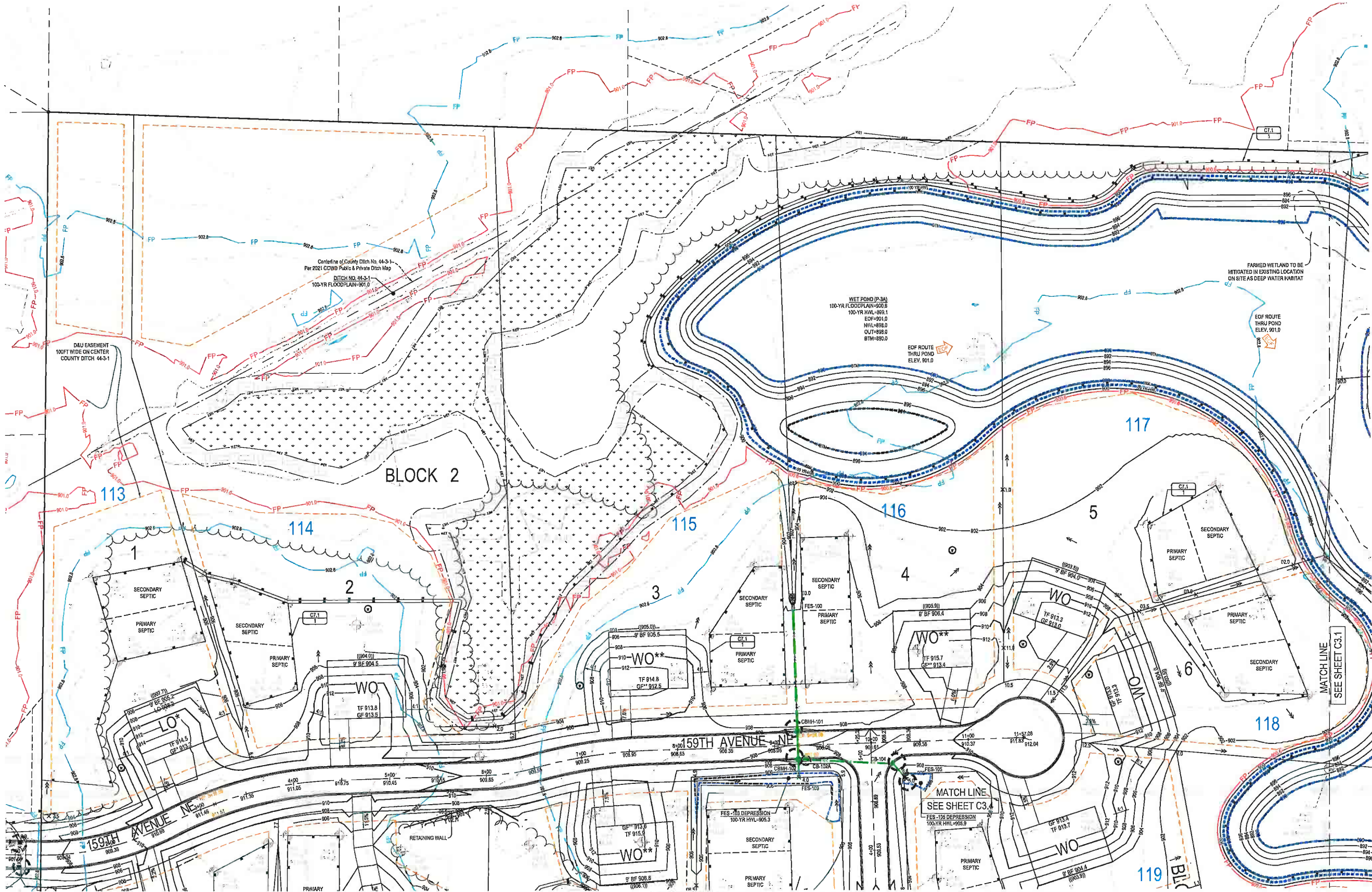


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JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
DATE	ISSUE / REVISION	REVIEW
12 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	GRADING PLAN RE-SUBMITTAL	ETL
23 JUL 2025	WATERSHED 8 SUBMITTAL	ETL
23 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL
27 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

C3.3	C3.1
C3.4	C3.2
C3.5	
C3.6	

CERTIFICATION
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Eric T. Loh, PE
Eric T. Loh, PE
License No. 50475
Date: 08/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

LANDFORM
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Suite 513
Minneapolis, MN 55401

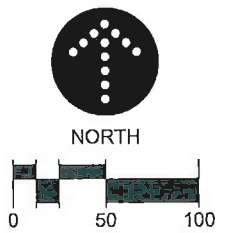
TEL: 612-252-9070
FAX: 612-252-9077
Web: landform.net

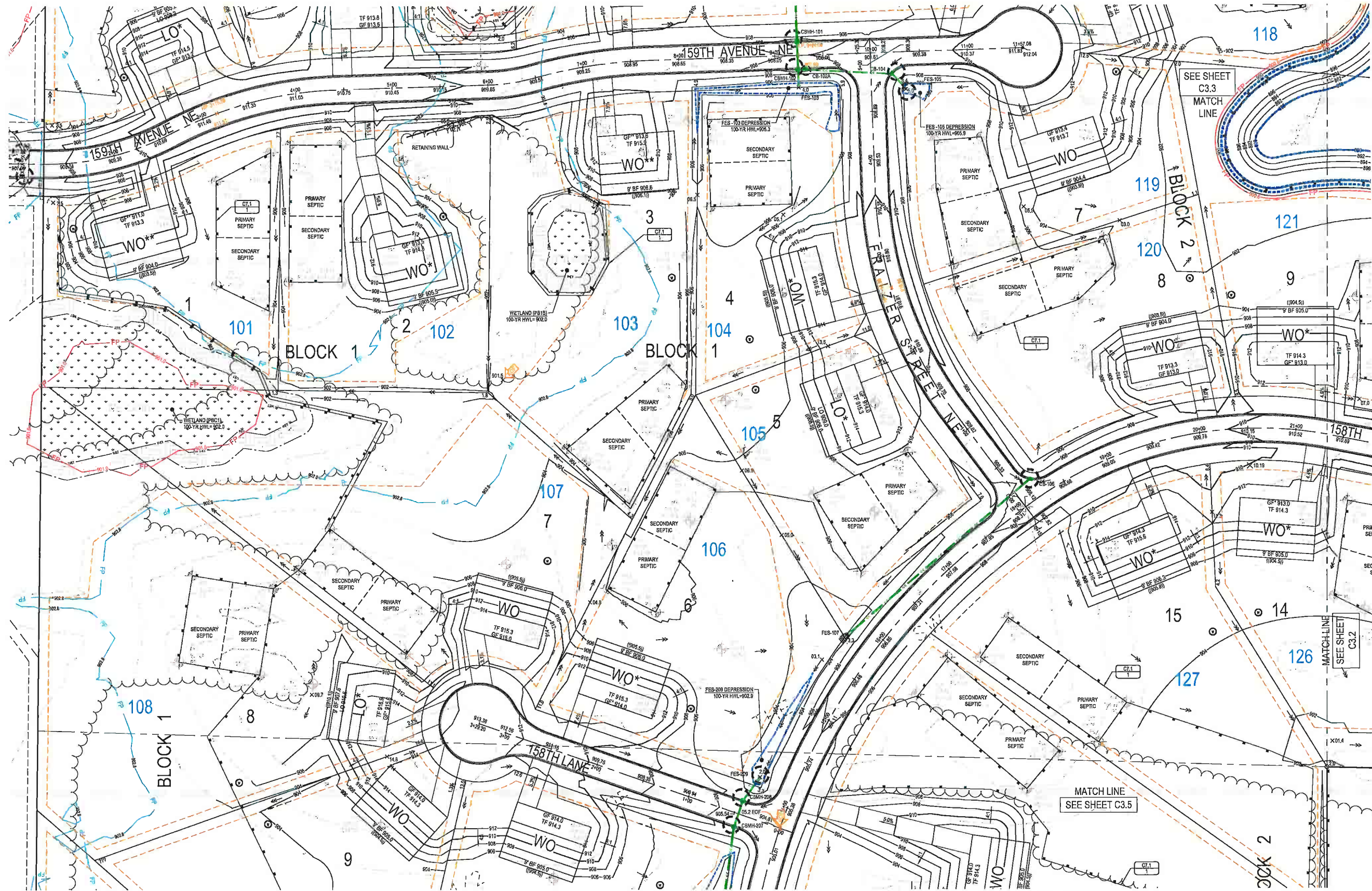
FILE NAME: C300LDP010.DWG
PROJECT NO.: LDP24010

GRADING, DRAINAGE, EROSION
CONTROL & STORM SEWER INSET 3
C3.3

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EXISTING			PROPOSED		
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY	SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
⊙	STORM MANHOLE		⊙	TIP OUT CURB	
⊙	SANITARY MANHOLE		---	GRADING LIMITS	
⊙	CATCH BASIN		---	18.5 FT WETLAND BUFFER	
⊙	FIRE HYDRANT		---	PROPOSED FLOODPLAIN	
⊙	WATER VALVE		---	POND LINE	
⊙	FLARED END SECTION		---	SPOT ELEVATION	
⊙	STORM SEWER				
⊙	SANITARY SEWER				
⊙	WATERMAIN				
⊙	WATER SERVICE				
---	BASEMENT				
---	SPOT ELEVATION				
---	EXISTING FLOODPLAIN NORTH - 902.8				
---	EXISTING FLOODPLAIN SOUTH - 896.8				
---	WETLAND				
---	FARMED SEASONAL WETLAND AREA				
---	VEHICLE TRACKING PAD				
---	ENKAMET 70'10"				
---	RIP RAP				





DEVELOPER
JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
CONTRACT ENGINEER FOR ANY PRIOR HISTORY		
DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRELIMINARY SUBMITTAL	ETL
22 JUL 2025	SEPTIC PLAN RESUBMITTAL	ETL
22 JUL 2025	WETLAND SUBMITTAL	ETL
29 JUL 2025	PRELIMINARY SUBMITTAL	ETL
18 AUG 2025	PRELIMINARY SUBMITTAL	ETL
29 AUG 2025	PRELIMINARY SUBMITTAL	ETL
04 SEP 2025	PRELIMINARY SUBMITTAL	ETL

C3.3	C3.1
C3.4	C3.2
C3.5	
C3.6	

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Eric T. Lutz, PE

Eric T. Lutz, PE
License No: 50475
Date: 09/24/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

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Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

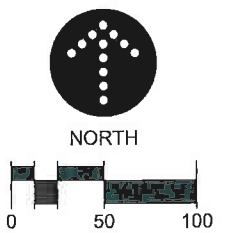
FILE NAME C300LDP010.DWG
PROJECT NO. LDP24010

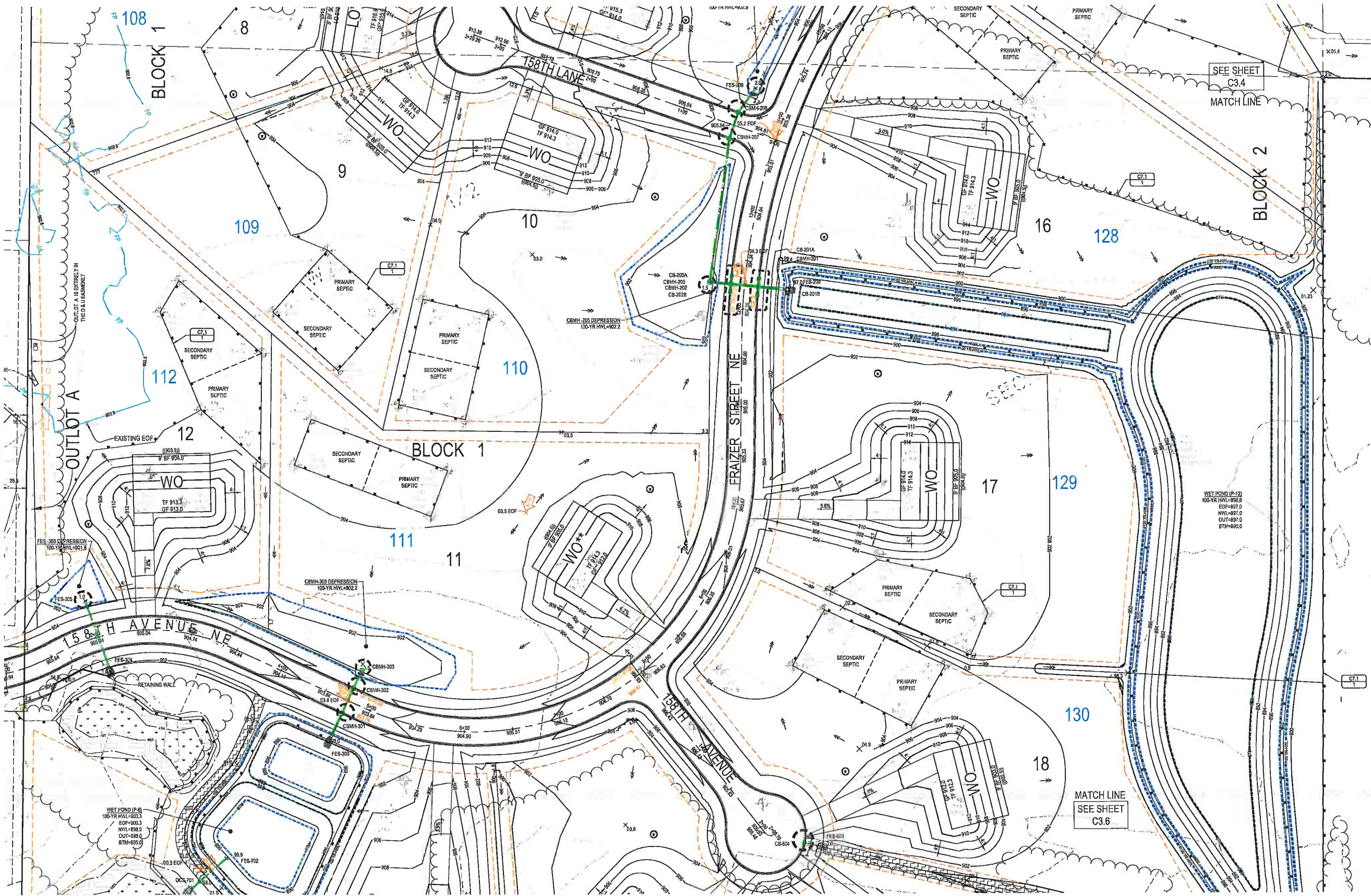
GRADING, DRAINAGE, EROSION
CONTROL & STORM SEWER INSET 4
C3.4

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EXISTING			PROPOSED		
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY	SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
①	STORM MANHOLE		①	INLET PROTECTION	REFER TO C3.0
②	SANITARY MANHOLE		②	SILT FENCE	REFER TO C3.0
③	CATCH BASIN		③	COMPOST OR BIO LOG	REFER TO C3.0
④	FIRE HYDRANT		④	VEHICLE TRACKING PAD	REFER TO C3.0
⑤	WATER VALVE		⑤	ENHANCED 7010	REFER TO C3.0
⑥	FLARED END SECTION		⑥	RIP RAP	
⑦	STORM SEWER				
⑧	SANITARY SEWER				
⑨	WATERMAIN				
⑩	WATER SERVICE				
⑪	EASEMENT				
⑫	SPOT ELEVATION				
⑬	EXISTING FLOODPLAIN NORTH - 902.8				
⑭	EXISTING FLOODPLAIN SOUTH - 898.8				
⑮	WETLAND				
⑯	FARMED SEASONAL WETLAND AREA				

811
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DEVELOPER
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HOLDINGS, LLC
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PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
13 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SWITCH PLANS SUBMITTAL	ETL
23 JUL 2025	10% REVISION SUBMITTAL	ETL
29 JUL 2025	PRE PLAT RESUBMITTAL	ETL
14 AUG 2025	PRE PLAT SUBMITTAL	ETL
29 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

C3.3	C3.1
C3.4	C3.2
C3.5	
C3.6	

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Eric Keith
Eric T. Keith, PE
License No. 50415
Date: 08/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

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Fax: 612-252-9077
Web: landform.net

FILE NAME: C300LDP010.DWG

PROJECT NO.: LDP24010

GRADING, DRAINAGE, EROSION
CONTROL & STORM SEWER INSET 5

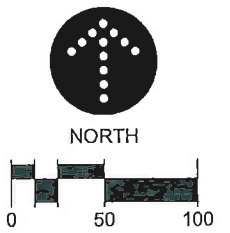
C3.5

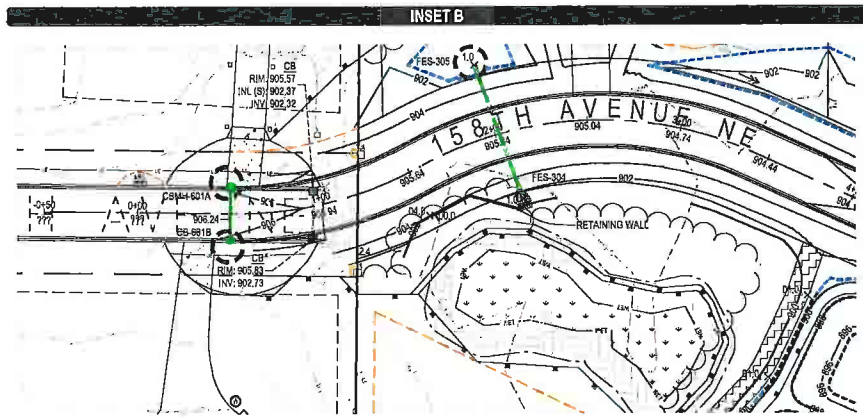
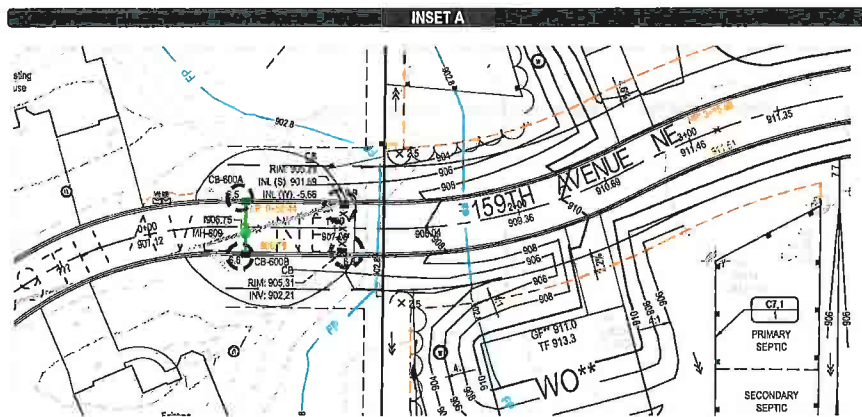
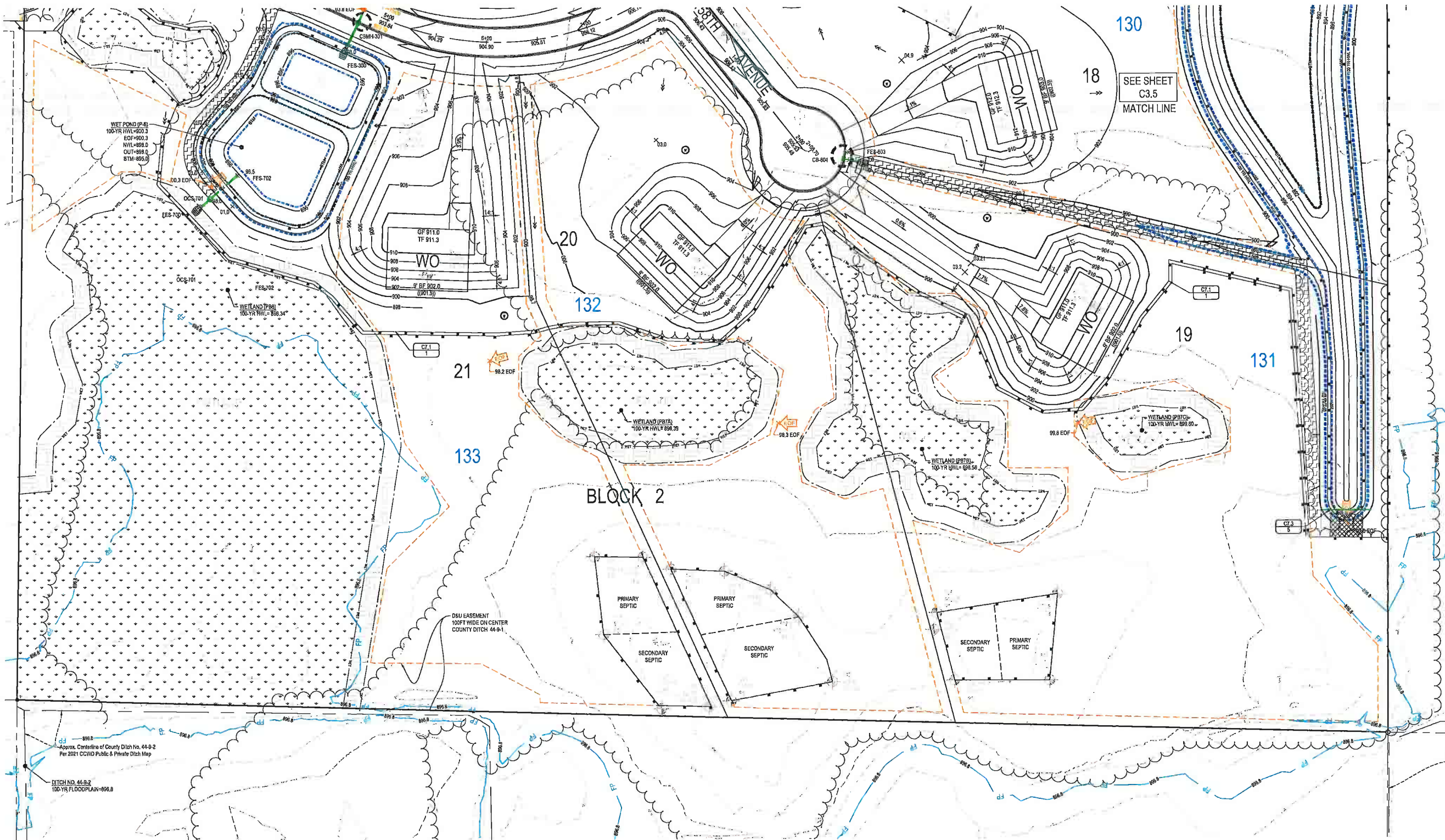
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NOTE:
LOTS 18, 19, 20, & 21 OF BLOCK 2 WILL BE CUSTOM GRADED BY BUILDER. CONTOURS SHOWN REFLECT ACCEPTABLE CONFIGURATION.

EXISTING			PROPOSED			PROPOSED		
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY	SYMBOL	DESCRIPTION	ESTIMATED QUANTITY	SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	STORM MANHOLE			STORM MANHOLE			STORM MANHOLE	
	SANITARY MANHOLE			SANITARY MANHOLE			SANITARY MANHOLE	
	CATCH BASIN			CATCH BASIN			CATCH BASIN	
	FIRE HYDRANT			FIRE HYDRANT			FIRE HYDRANT	
	WATER VALVE			WATER VALVE			WATER VALVE	
	FLARED END SECTION			FLARED END SECTION			FLARED END SECTION	
	STORM SEWER			STORM SEWER			STORM SEWER	
	SANITARY SEWER			SANITARY SEWER			SANITARY SEWER	
	WATERMAIN			WATERMAIN			WATERMAIN	
	WATER SERVICE			WATER SERVICE			WATER SERVICE	
	EASEMENT			EASEMENT			EASEMENT	
	SPOT ELEVATION			SPOT ELEVATION			SPOT ELEVATION	
	EXISTING FLOODPLAIN NORTH - 902.8			EXISTING FLOODPLAIN NORTH - 902.8			EXISTING FLOODPLAIN NORTH - 902.8	
	EXISTING FLOODPLAIN SOUTH - 896.8			EXISTING FLOODPLAIN SOUTH - 896.8			EXISTING FLOODPLAIN SOUTH - 896.8	
	WETLAND			WETLAND			WETLAND	
	FARMED SEASONAL WETLAND AREA			FARMED SEASONAL WETLAND AREA			FARMED SEASONAL WETLAND AREA	
	INLET PROTECTION	REFER TO C3.0		INLET PROTECTION	REFER TO C3.0		INLET PROTECTION	REFER TO C3.0
	SILT FENCE	REFER TO C3.0		SILT FENCE	REFER TO C3.0		SILT FENCE	REFER TO C3.0
	COMPOST OR BIO LOG	REFER TO C3.0		COMPOST OR BIO LOG	REFER TO C3.0		COMPOST OR BIO LOG	REFER TO C3.0
	VEHICLE TRACKING PAD	REFER TO C3.0		VEHICLE TRACKING PAD	REFER TO C3.0		VEHICLE TRACKING PAD	REFER TO C3.0
	ENRAMET 7010	REFER TO C3.0		ENRAMET 7010	REFER TO C3.0		ENRAMET 7010	REFER TO C3.0
	RIP RAP			RIP RAP			RIP RAP	
	TIP OUT CURB			TIP OUT CURB			TIP OUT CURB	
	GRADING LIMITS			GRADING LIMITS			GRADING LIMITS	
	16.5 FT WETLAND BUFFER			16.5 FT WETLAND BUFFER			16.5 FT WETLAND BUFFER	
	PROPOSED FLOODPLAIN			PROPOSED FLOODPLAIN			PROPOSED FLOODPLAIN	
	POND LINE			POND LINE			POND LINE	
	SPOT ELEVATION			SPOT ELEVATION			SPOT ELEVATION	
	CATCH BASIN			CATCH BASIN			CATCH BASIN	
	MANHOLE			MANHOLE			MANHOLE	
	STORM SEWER			STORM SEWER			STORM SEWER	
	SOIL SUBDRAIN			SOIL SUBDRAIN			SOIL SUBDRAIN	
	CURB & GUTTER			CURB & GUTTER			CURB & GUTTER	
	PROPERTY LINE			PROPERTY LINE			PROPERTY LINE	
	EASEMENT			EASEMENT			EASEMENT	
	DRIVEABLE ACCESS ROUTE			DRIVEABLE ACCESS ROUTE			DRIVEABLE ACCESS ROUTE	

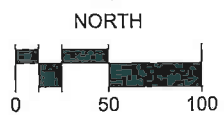




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BY BUILDER. CONTOURS SHOWN REFLECT ACCEPTABLE
CONFIGURATION.



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JD HAM LAKE
HOLDINGS, LLC
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SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRELIMINARY SUBMITTAL	ETL
20 JUL 2025	WETLAND SUBMITTAL	ETL
20 JUL 2025	PRELIMINARY SUBMITTAL	ETL
18 AUG 2025	PRELIMINARY SUBMITTAL	ETL
20 AUG 2025	PRELIMINARY SUBMITTAL	ETL
04 SEP 2025	PRELIMINARY SUBMITTAL	ETL

C3.3	C3.1
C3.4	C3.2
C3.5	
C3.6	

CERTIFICATION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Eric T. Luth
Eric T. Luth, PE
License No. 50475
Date: 09/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

LANDFORM
From Site to Finish

105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME: C300LDP010.DWG

PROJECT NO.: LDP24010

GRADING, DRAINAGE, EROSION
CONTROL & STORM SEWER INSET 6

C3.6

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NPDES PERMIT AND SWPPP COMPONENTS

1. The current Minnesota Construction Stormwater General Permit (Permit) dated August 1, 2018 is referenced in this document as the Permit.

The SWPPP includes the following components:

- Construction Documents prepared by Landform
- Stormwater Management Plan prepared by Landform
- Maintenance Plan for permanent BMPs
- Geotechnical Report prepared by Braun Intertec

All components must be kept onsite, or electronically available onsite, by the Operator during regular work hours. The Operator shall contact Civil Engineer if they do not have all of the above documents.

SITE INFORMATION

Site location: Latitude: 45.269213, Longitude: -93.157584
Disturbed area = 54.51 ac.
Pre-construction impervious area within disturbed area = 0.01 ac.
Post-construction impervious area within disturbed area = 10.11 ac.
Net change in impervious area within disturbed area = -10.10 ac.

Type of stormwater management:
• Wet sedimentation

Erosion prevention and sediment control quantities are on sheets C3.0 - C3.8.

SITE EVALUATION / ASSESSMENT / PLANNING

1. The Operator shall have primary responsibility and significant authority for the development, implementation, maintenance, inspection and amendments to the approved SWPPP. Duties include but are not limited to:
- Ensuring full compliance with the SWPPP and the Permit.
 - Implementing all elements of the SWPPP, including but not limited to:
 - Implementing prompt and effective erosion and sediment control measures
 - Implementing all non-storm water management, and good housekeeping BMPs ensuring that no materials other than storm water are discharged in quantities, which will have an adverse effect on receiving waters or storm drain systems, etc.
 - Conducting routine inspections and maintenance
 - Ensuring elimination of all unauthorized discharges
 - Coordinating to ensure all of the necessary corrections / repairs are made immediately, and that the project complies with the SWPPP, the Permit, and approved plans at all times.

STORMWATER POLLUTION PREVENTION MANAGEMENT MEASURES

1. Operator must develop pollution prevention management measures, implement good housekeeping BMPs, must follow all applicable federal, state, and local building codes, Occupational Safety and Health Act (OSHA), and the general conditions and general requirements of the construction contract.
2. The Operator shall minimize the exposures to stormwater of any of the products, material, or wastes stored on site that may wash downstream or contaminate stormwater.
3. Building products that have the potential to leach pollutants must be under cover.
4. Chemicals and landscape materials shall be under cover to prevent the discharge of pollutants.
5. Operator to track progress of the following items on site maps: portable toilets, material storage areas, vehicle and equipment fueling and maintenance areas, concrete washouts, paint and sludge washouts, dumpsters or other trash and debris containers, spill kits, stockpiles, any other non-structural non-storm water management BMPs, any temporary removed structural BMPs, any changes to the structural BMPs.
6. Solid waste: collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other waste must be disposed of properly and must comply with MPCA disposal requirements.
7. Hazardous waste: oil, gasoline, paint and any hazardous substances must be properly stored in sealed containers to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste or materials must be in compliance with Minn. R. Ch. 7045 including secondary containment as applicable.
8. Portable toilets must be positioned so that they are secure and will not be tipped or knocked over.
9. Concrete and other washout waste: operator must provide effective containment for all liquid and solid wastes generated by washout operations. The liquid and solid wastes must not contact the ground, and the containment must be designed so that it does not result in runoff from the washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA rules. A sign must be installed adjacent to each washout facility that requires site personnel to utilize the proper facilities for disposal of concrete and other washout wastes.
10. External vehicle washing: external washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed on site.
11. Operator shall take reasonable steps to prevent the discharge of spilled or leaked chemicals, including fuel, from any area where they will be loaded or unloaded as detailed in the Permit.

SWPPP CONTACT AND TRAINING INFORMATION

1. Owner:
JD Ham Lake Holdings, LLC
Attn: Jason Osberg
105 5th Ave S, Suite 513
Minneapolis, MN 55401
Phone: 612-252-9070
Email Address: Jason@creativeconcrete.com
2. Operator:
To Be Determined. Contact Owner until Contractor is Selected.
3. Long Term Maintenance And Operation:
To Be Determined. Contact Owner until Contractor is Selected.
4. SWPPP Designer:
John O'Leary, RLA
Landform Professional Services
105 South Fifth Avenue, Suite 513
Minneapolis, MN 55401
612-252-9070
jorl@landform.net
Certification: U of MN, Design of Construction SWPPP, Exp. May 31, 2027
5. SWPPP Inspector / Manager:
Chris Olson, CA
Landform Professional Services
105 South Fifth Avenue, Suite 513
Minneapolis, MN 55401
612-838-0239 colson@landform.net
Certification: U of MN, Design of Construction SWPPP, Exp. May 31, 2027
- BMP Installation And Repair:
To Be Determined. Contact Owner until BMP Installer And Maintainer is Selected.
Certification: Exp.

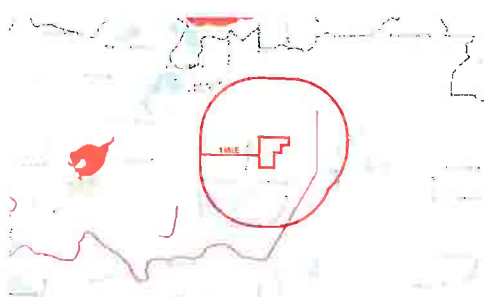
DESCRIPTION OF CONSTRUCTION ACTIVITY

1. Construction activity includes erosion and sediment control BMPs installation, clearing and grubbing, site grading, utility installation, building construction, paving, and landscaping.

SCHEDULE OF BMP INSTALLATION AND CONSTRUCTION ACTIVITY

1. Install perimeter sediment control BMPs prior to start of other site work. Refer to Grading, Drainage, Paving and Erosion Control sheet(s) for initial locations of BMPs.
2. Protect infiltration areas with construction fencing. Install fencing prior to site grading or within 24-hours of excavating an infiltration basin.
3. Construct temporary / permanent sedimentation basins prior to upland disturbance. Install perimeter sediment control BMPs around normal water levels within 48-hours of completion of basin grading.
4. Stabilize outlets from temporary / permanent sedimentation basins within 24-hours of outlet construction.
5. Perform work in phases to minimize disturbed area at any one time. Operator to develop phasing plan prior to start of work. Open work areas should be limited to those that can be managed and inspected within required time frames.
6. Strip topsoil from areas to be disturbed and stockpile with perimeter sediment control BMPs. Provide stabilization if stockpile is left longer than 14 days.
7. Rough grade site.
8. Install utilities.
9. Install small utilities (gas, electric, communications).
10. Final grade pavement areas and compact subgrade.
11. Lay down pavement aggregate and compact.
12. Install curb and gutter. Backfill after a minimum of three days and provide a minimum of two rows of sod at the back of curb.
13. Construct building / addition site features.
14. Construct site walks and patios.
15. Provide final stabilization.
16. Connect infiltration / filtration practices to storm sewer inlets.
17. Remove temporary BMPs and dispose of properly.

WATERS WITHIN ONE MILE OF SITE



MN SPECIAL (PROHIBITED, RESTRICTED, OTHER) & IMPAIRED WATERS

1. A. Coon Creek is impaired based on the current USEPA 303(d) clean water act list; is within 1 mile of this site; and stormwater does not discharge to it. Impairments are for E.coli.
- B. TMDLs have been established for this impaired water for E.coli; Fishable/Recreable TSS.
- C. This site will meet these TMDLs using the following methods: Wet Sedimentation Basins.

DRINKING WATER SUPPLY MANAGEMENT AREA

1. The site is not within a Drinking Water Supply Management Area (DWISMA).

EROSION PREVENTION AND SEDIMENT CONTROL

1. See Grading, Draining, Paving and Erosion Control sheets for the location and type of temporary erosion prevention and sediment control BMPs. See Grading and Drainage, Utility, and Landscape sheets for the location and type of permanent erosion prevention and sediment control BMPs.
2. Minimize Disturbed Areas and Protect Natural Features and Soil
- Appropriate construction practices (e.g. construction phasing, vegetative buffer strips, horizontal slope grading) shall be used to minimize erosion.
- Areas not to be disturbed (buffers, infiltration basins, etc.) shall be protected with construction or silt fence before work begins. Operator shall develop methods to minimize soil compaction outside of building pads, pavement areas and utility trenches and shall use tracked equipment wherever practicable.
- Topsoil shall be salvaged and reused to the extent practicable.
3. Phase Construction Activity
- Operator must not disturb more land than can be effectively inspected and maintained.
- Sediment control practices shall be established on all down gradient perimeters before any upgradient land disturbing activities begin. These practices shall remain in place until final stabilization has been established in accordance with the Permit.
- The timing of the installation of sediment control practices may be adjusted to accommodate short-term activities such as clearing or grubbing, or passage of vehicles. Any short-term activity must be completed as quickly as possible and the sediment control practices shall be installed immediately after the activity is completed. However, sediment control practices shall be installed before the next precipitation event even if the activity is not complete.
4. Control Stormwater Flowing onto and Through the Project
- The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, shall be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water.
- Stabilization of the last 200 lineal feet shall be completed within 24 hours after connecting to a surface water.
- Stabilization of the remaining portions of any temporary or permanent ditches or swales shall be complete within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
- Temporary or permanent ditches or swales that are being used as a sediment containment system (with properly designed rock ditch checks, bio rolls, silt dikes etc.) do not need to be stabilized. These areas shall be stabilized within 24 hours after no longer being used as a sediment containment system.
5. Stabilize Soils
- All exposed soil areas, including stockpiles, must be stabilized.
- Stabilization must be started immediately to limit soil erosion when the construction activity in that portion of the site has temporarily or permanently ceased and will not resume for 14 calendar days. Stabilization must be complete within 14 days of cessation of construction activity.
- Temporary soil stockpiles shall have all fence or other effective sediment controls, and cannot be placed in surface waters. Including storm water conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the storm water.
- Temporary stockpiles without significant silt, clay or organic components (e.g. clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces, are exempt from this requirement.
- Perimeter sediment control measures must be in place prior to the placement of any stockpiles.
- Any erosion control matting shall be " Wildlife friendly" and of a natural type that can decompose and shall have non-welded movable joints.
- Any sediment control device made of soil must be stabilized within 24 hours.
- Protect Slopes
- Operator shall avoid work on slopes with a grade of 3:1 or greater when practicable. Grading on slopes with a grade of 3:1 or steeper will require techniques such as phasing and stabilization practices designed for steep slopes (e.g. slope draining and terracing).
- Protect Storm Drain Inlets
- All storm drain inlets shall be protected by appropriate BMPs during construction until all sources with potential for discharging to the inlet have been stabilized. Inlet protection may be temporarily removed if a specific safety concern has been identified.
- Provide Energy Dissipation at all Pipe Outlets within 24 Hours
- After connection to a surface water or permanent stormwater treatment system.
- Establish Perimeter Controls and Sediment Barriers
- Prior to disturbing soils on a project site, establish sediment control BMPs on all down-gradient perimeters and where site discharges to public waters.
- Retain Sediment On-site and Control Dewatering Practices
- Discharge shall not cause nuisance conditions, erosion in receiving channels, adversely affect receiving water or impact wetlands, or downstream properties. Discharge points shall be adequately protected from erosion and scour by accepted energy dissipation measures.
- Discharge water containing oil or grease shall be treated to remove oil or grease prior to discharge to surface waters.
- Refer to Permit requirements for temporary or permanent sediment basins.
- Discharge shall be photographed at the beginning of discharge and at least every 24 hours afterward, while discharge is occurring. If nuisance conditions result from dewatering, dewatering shall be stopped until nuisance condition can be remedied.
- Establish Stabilized Construction Exits
- Vehicle tracking pads shall be established as shown on the Grading, Drainage, Paving and Erosion Control sheet(s) to minimize tracking of sediment from the construction site onto adjacent streets.
- Infiltration Basin Protection
- Operator must not excavate infiltration systems to final grade or within three (3) feet of final grade until the contributing drainage area has been constructed and fully stabilized unless rigorous erosion prevention and sediment controls have been installed.
- Dewatering and Basin Draining
- Permittees must discharge turbid or sediment-laden water related to dewatering or basin draining to a temporary or permanent sediment basin. Discharges must not cause erosion or scour near the discharge points.
- Remove Sediment from Surface Waters
- All sediment deposits and deltas must be removed from surface waters, including drainage ways, catch basins, and other drainage systems, and the removal areas restabilized within seven (7) days.
- 14.

SURFACE WATER BUFFERS

1. 50 foot buffers from Surface Waters have been maintained. Therefore double silt fence has been included within 50' of the Surface Waters.

TEMPORARY SEDIMENTATION BASIN(S)

1. This project does have more than ten (10) disturbed acres draining to a common location and the site does not drain to an impaired or special water, therefore a temporary sediment basin is not required. Refer to sheet(s) C3.0-C3.8 for further information.
2. Temporary sediment basins shall provide treatment to runoff before it leaves the construction site or enters surface waters. The contractor shall comply with the following requirements:
- A. Sedimentation basins must provide the storage of runoff resulting from the 2-year 24-hour rainfall event from each acre drained to the basin, with a minimum of 1,800 to 2,000 cu yds live storage volume. (Where no calculation has been performed, each basin shall provide at least 3,000 cu yds live storage.) Sedimentation basins must include a stabilized emergency overflow to prevent basin integrity failure.
- B. Discharge from temporary sedimentation basins will be withdrawn from the surface in order to minimize the discharge of pollutants.
- Discharge from basin draining shall not adversely affect the receiving water or downstream properties. Contractor will visually check to ensure adequate treatment has been obtained and that nuisance conditions will not result from the discharge.
- Any discharge observed to be occurring during the inspection shall be recorded, described, and photographed.
4. If any proposed temporary BMPs are not working as intended refer to the "Stormwater Compliance Assistance Toolkit for Small Construction Operators" MPCA, 2017 for additional information. Operator shall contact the SWPPP Designer for additional requirements and information.

POST CONSTRUCTION / PERMANENT BMPs

1. See Grading and Drainage, Utility, and Landscape sheets for post construction and permanent stormwater BMPs.

INSPECTIONS AND MAINTENANCE

1. Permittees must ensure that a trained person will inspect the entire construction site at least once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5-inches in 24 hours.
2. Records of inspections shall include all maintenance activities and must be recorded within 24 hours of the inspection and retained with the SWPPP.
3. Inspections shall include stabilized areas, erosion prevention and sediment control BMPs, and wet sedimentation areas. Additionally, areas adjacent to the project shall be inspected.
4. Surface waters on or adjacent to the site must be inspected for evidence of erosion or sediment deposition.
5. Permittees must record all inspection and maintenance activities within 24 hours of being conducted as detailed in the Permit.

- Inspection Reports content shall include:
- A. Date and time of inspection;
- B. Name of persons conducting inspections;
- C. Findings of inspections, including specific locations where corrective actions are needed;
- D. Corrective actions taken including dates, times, and the party taking the corrective action;
- E. Dates of all rainfall events greater than 1/2 inch in 24 hours (refer to Permit for measurement requirements);
- F. Any discovered discharge must be recorded, including photographs, descriptions of discharge (color, odor, settled or suspended solids, oil stains, or other obvious indications of pollution), and specific location of discharge location;
- G. Any amendments to the Permit as a result of inspections must be documented within seven calendar days as described in the Permit.
- H. All photographs of dewatering activities and documentation of nuisance conditions resulting from dewatering.
6. BMP Maintenance:
- A. Nonfunctional BMPs must be repaired or replaced by the end of the next business day after discovery unless a different time frame is indicated.
- B. Follow the designer's or manufacturer's recommended maintenance procedures for all BMPs.
- C. Remove sediment from BMPs when the depth of sediment has reached 1/2 the height of the BMP and properly dispose of sediment into controlled areas to prevent soil from returning to the BMP during subsequent rain events.
- D. Remove sediment from paved roadways within one calendar day of discovery.
- E. Remove sediment from around BMPs protecting storm drain inlets.
- F. Surface waters with evidence of sediment deposition must be stabilized and sediment removed within seven calendar days of discovery, or as stated by the Permit.
- G. Ensure that construction support activities, including borrow areas, waste areas, contractor work areas, and material storage areas and degraded concrete and asphalt batch plants are cleaned and maintained.
- H. Replace damaged BMPs that no longer operate effectively.
7. Add BMPs as needed during construction to minimize erosion and prevent sediment from leaving the site.
- Any basin that has the water quality volume reduced by half shall be drained and have the sediment removed within 72 hours of discovery.
8. Any temporary or permanent sediment basin that has the water quality volume reduced by half shall be drained and have the sediment removed within 72 hours of discovery.

RECORD KEEPING / RECORD RETENTION

1. The SWPPP (original or copies), including all changes to it, and inspections and maintenance records, shall be kept at the site during construction by the Owner / Operator who has operational control of that portion of the site. The SWPPP can be kept in either the field office or in an on site vehicle during normal working hours.
2. All Owners(s) must keep the SWPPP, along with the following additional records, on file for three (3) years after submittal of the Notice of Termination (NOT). This does not include any records after submittal of the NOT.
3. The following is a list of records that shall be kept at the project site available for inspectors to review:
- Copy of the SWPPP, with any modifications;
 - Inspection and maintenance records;
 - Permanent operation and maintenance agreements;
 - Calculations for the design of temporary and permanent stormwater management systems;
 - Any other permits required for the project;
 - Records of all inspection and maintenance conducted during construction; and
 - All permanent operation and maintenance agreements that have been implemented, including all right-of-way, contracts, covenants and other binding requirements regarding perpetual maintenance.

LOG OF CHANGES TO THE SWPPP / AMENDMENTS

1. The Owner / Operator(s) must amend the SWPPP within seven (7) days to include additional requirements, such as additional or modified BMPs, designs to correct problems identified during inspections, or address situations as detailed in the Permit.

FINAL STABILIZATION

1. The Owner / Operator(s) must ensure final stabilization of the site. Final stabilization includes:
- A. Erosion all areas have permanent cover.
- B. Vegetative areas must have perennial cover with a density of 70% of expected final growth.

TERMINATION OF COVERAGE

1. Owner / Operator(s) wishing to terminate coverage under the Permit must submit a Notice of Termination (NOT) to the MPCA. Compliance with the Permit is required until a NOT is submitted. Refer to the Permit for details. Conditions for submitting a NOT include:
- A. Site must have achieved final stabilization (refer to section above).
- B. The permanent stormwater treatment and conveyance systems must be clean and all accumulated sediment removed.
- C. All temporary synthetic erosion prevention and sediment control BMPs must be removed from the site and disposed of properly.
- D. Single Family Residential only - Permit termination on individual lots occurs once building construction is complete, permanent or temporary erosion prevention and down-gradient perimeter control is complete, the residence soils to the homeowner, and the permittee distributes the MPCA's "Homeowner Fact Sheet" to the homeowner.
- E. Agricultural Land only - Return the disturbed land to its preconstruction agricultural use.

DEVELOPER

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TEL: (612) 252-9070

CITY



PROJECT

KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

ISSUE / REVISION HISTORY			
DATE	ISSUE / REVISION	REVIEW	REVIEW
12 JUL 2025	PRE PLAT SUBMITTAL	ETL	
22 JUL 2025	SHEET PLAT RESUBMITTAL	ETL	
23 JUL 2025	WATERSHED SUBMITTAL	ETL	
29 JUL 2025	PRE PLAT RESUBMITTAL	ETL	
16 AUG 2025	PRE PLAT RESUBMITTAL	ETL	
29 AUG 2025	PRE PLAT RESUBMITTAL	ETL	
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL	

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Eric T. Luth, PE
License No: 50475 Date: 09/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

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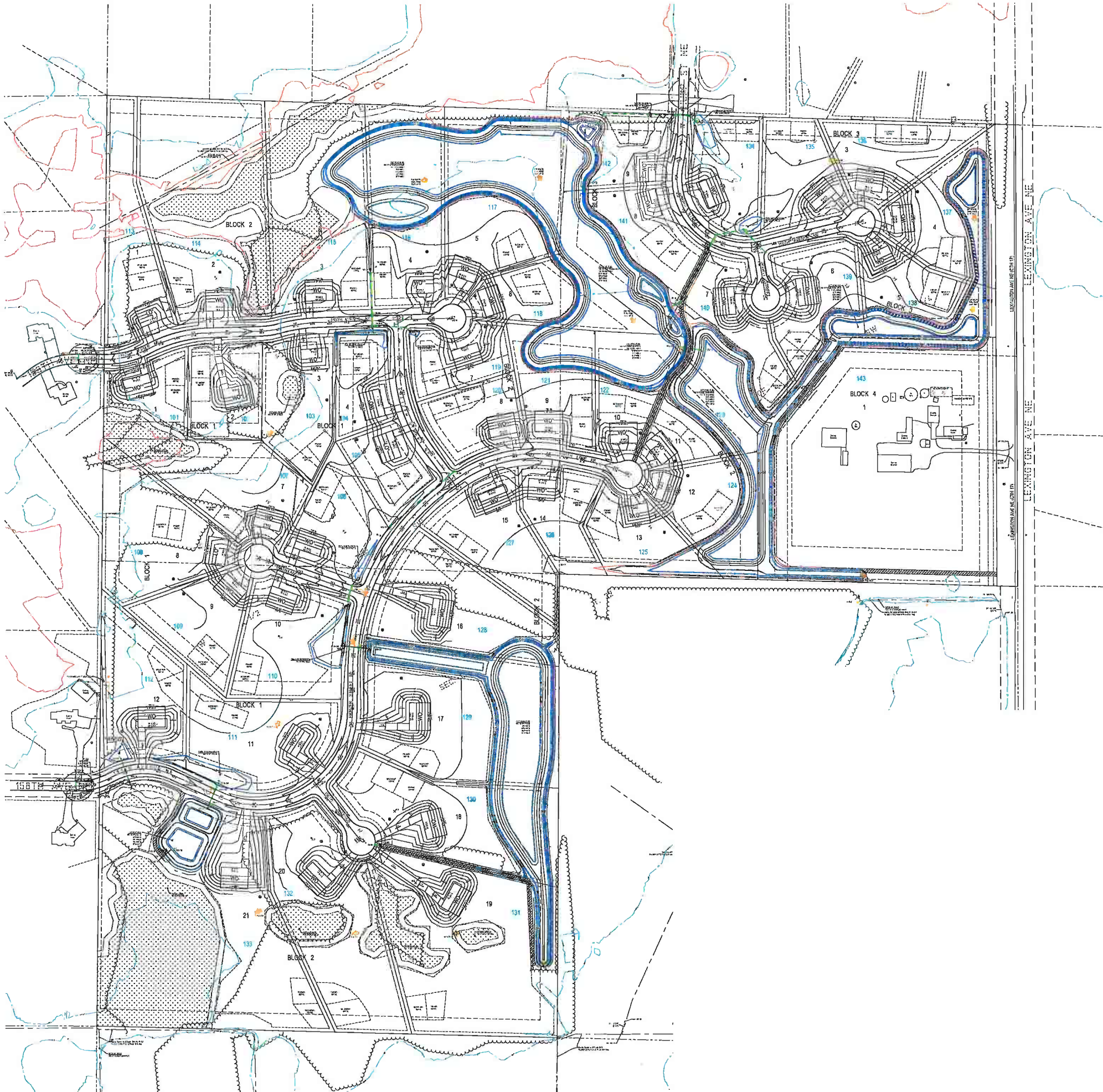
FILE NAME C307LDP010.DWG

PROJECT NO. LDP24010

SWPPP

C3.7

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GENERAL NOTES

1. For construction staking and surveying services contact Landform at 612.252.9070.

UTILITY NOTES

2. Pipe Materials
Watermain N/A
Water Service N/A
Private Sanitary Sewer N/A
Storm Sewer RCP 12"-18" Class 5 (ASTM C76)
RCP 21" Class 4 (ASTM C76)
RCP 24"-48" Class 3 (ASTM C76)

3. Contact utility service providers for field location of services 72 hours prior to beginning.
4. Contractor to field verify location and elevation of all utility points of connection prior to construction of any proposed utilities. Contractor to notify Engineer immediately if there is any discrepancy.
5. Contractor to provide all utility crossings prior to construction of new utilities to verify depths of existing lines. Contact Engineer immediately if any conflicts are discovered.
6. Provide means and measures to protect adjacent property from damage during utility installation.
7. Pipe lengths shown are from center of structure to center of structure or end of end section.
8. Install tracer wire with all non-conductive utilities in accordance with City of Ham Lake Standards.
9. Connect to City utilities in accordance with City of Ham Lake Standards.
10. Contact Mark Jones at 783-235-1891 for wet tap inspection.
11. Contact Mark Jones, City of Ham Lake Department, at 783-235-1891 for flushing and pressure test inspections.
12. All joints and connections in the storm sewer system shall be gas-tight or water-tight. Approved resilient rubber joints must be used to make watertight connections to manholes, catch basins, and other structures.
13. Catch basins in curb and gutter are sumped 1 inch below the gutter grade. Refer to Detail(s) 45, 6, 7, 8 on Sheet C7.2, and #1 on sheet C7.3.
14. Provide conduits for cable television and other electronic communication.
15. Compact cohesive soils in paved areas to 95% of maximum dry density, Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%, compact to 95% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).
16. Adjust structures to final grade where disturbed. Comply with requirements of Utility. Meet requirements for traffic loading in paved areas.

INFILTRATION / FILTRATION BASIN REQUIREMENTS

17. Refer to the C3.0 sheet notes for requirements.

LEGEND

EXISTING	PROPOSED	
STORM MANHOLE	STORM MANHOLE	CATCH BASIN
SANITARY MANHOLE	SANITARY MANHOLE	MANHOLE
CATCH BASIN	CATCH BASIN	STORM SEWER
FIRE HYDRANT	FIRE HYDRANT	SOIL SUBDRAIN
WATER VALVE	WATER VALVE	CURB & GUTTER
FLARED END SECTION	FLARED END SECTION	PROPERTY LINE
STORM SEWER	STORM SEWER	EASEMENT
SANITARY SEWER	SANITARY SEWER	POND LINE
WATERMAIN	WATERMAIN	LIMITS OF DISTURBANCE
WATER SERVICE	WATER SERVICE	SPOT ELEVATION
EASEMENT	EASEMENT	
SPOT ELEVATION	SPOT ELEVATION	

DEVELOPER

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CITY



PROJECT

KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SHEET PLANS SUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
23 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL
19 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Eric T. Kuth
Eric T. Kuth, PE
License No: 06415 Date: 09/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

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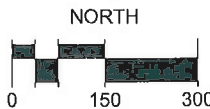
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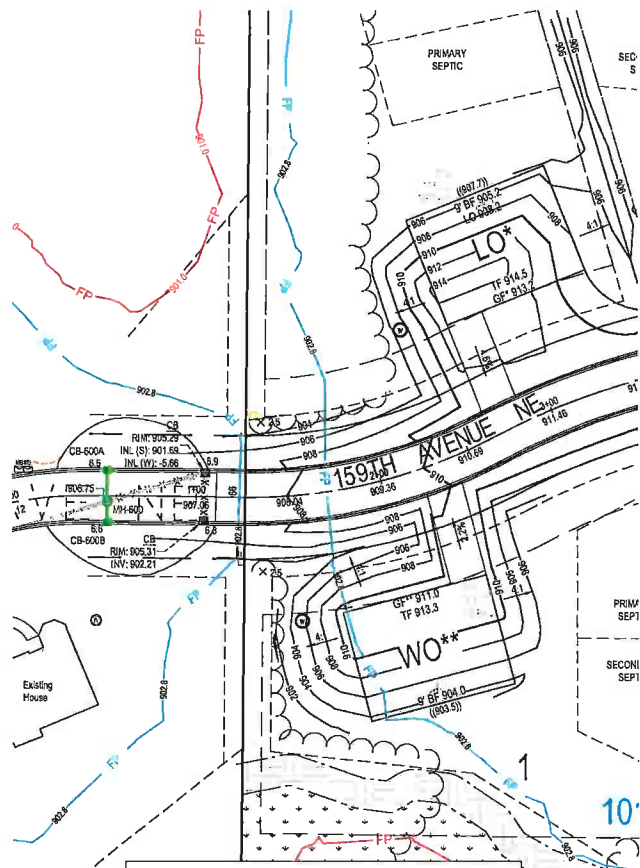
STORM SEWER INDEX & NOTES

C5.0

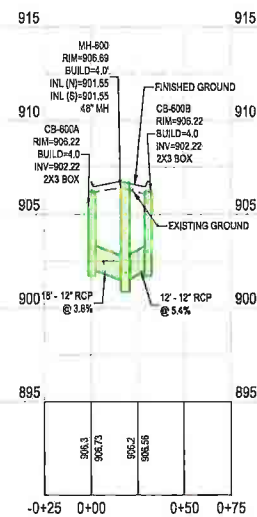


Know what's Below.
Call before you dig.

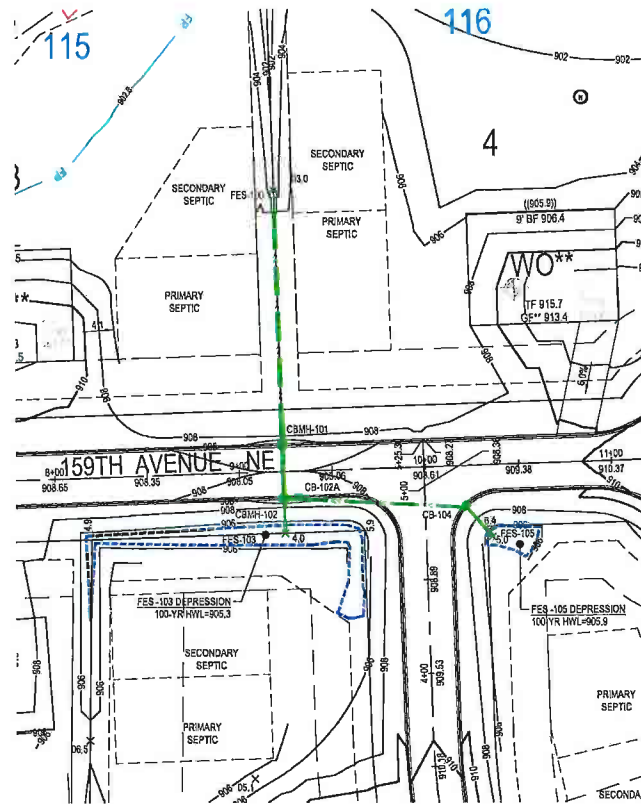




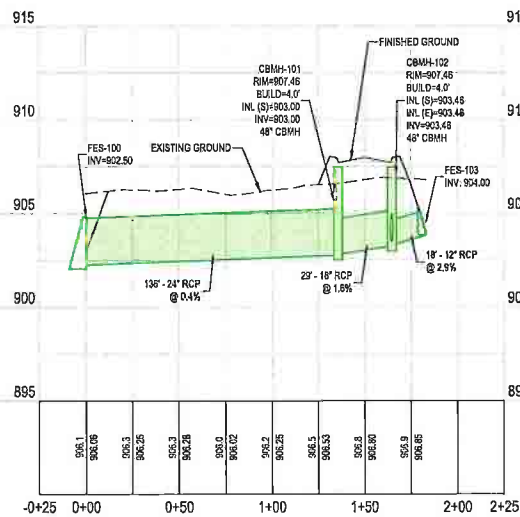
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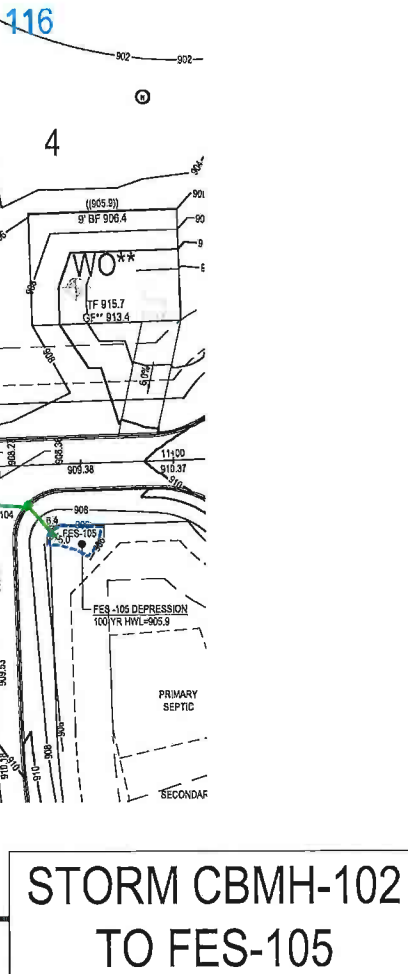
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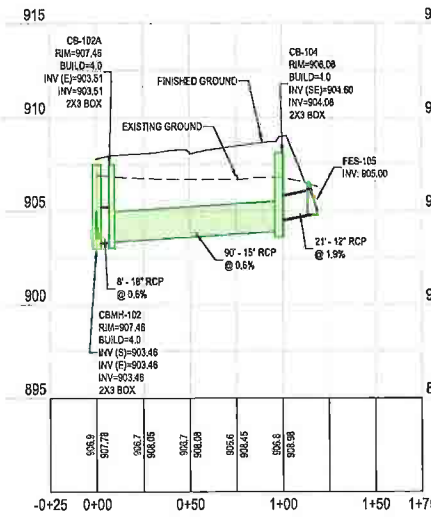
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TO FES-103



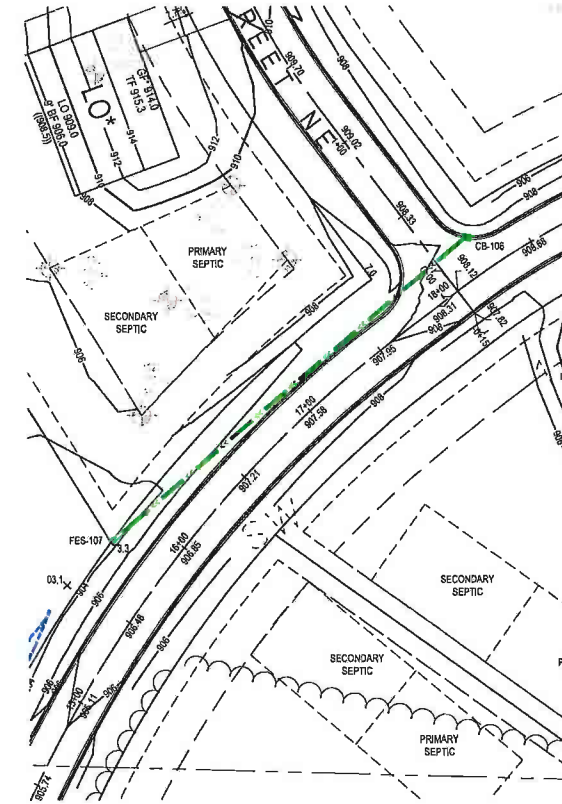
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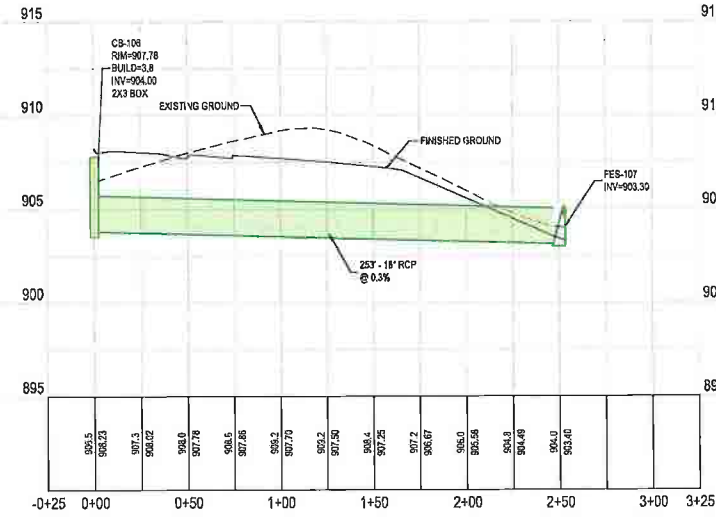
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TO FES-105



STORM-CBMH-102 TO FES-105
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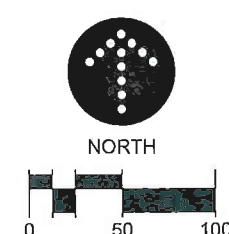
STORM CB-106 TO
FES-107



STORM CB-106 TO FES-107
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'

LEGEND

EXISTING	PROPOSED
①	STORM MANHOLE
②	SANITARY MANHOLE
③	CATCH BASIN
④	FIRE HYDRANT
⑤	WATER VALVE
⑥	FLARED END SECTION
⑦	STORM SEWER
⑧	SANITARY SEWER
⑨	WATERMAIN
⑩	WATER SERVICE
⑪	EASEMENT
⑫	SPOT ELEVATION
	CATCH BASIN
	MANHOLE
	STORM SEWER
	SOIL SUBDRAIN
	CURB & GUTTER
	PROPERTY LINE
	EASEMENT
	POND LINE
	LIMITS OF DISTURBANCE
	SPOT ELEVATION



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PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SHOTGUN PLAN RESUBMITTAL	ETL
23 JUL 2025	WATERPANEL SUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL
29 AUG 2025	PRE PLAT RESUBMITTAL	ETL
24 SEP 2025	PRE PLAT RESUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Eric T. Luth, P.E.
Eric T. Luth, P.E.
License No. 50475 Date: 09/04/2025

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SEPTEMBER 4, 2025



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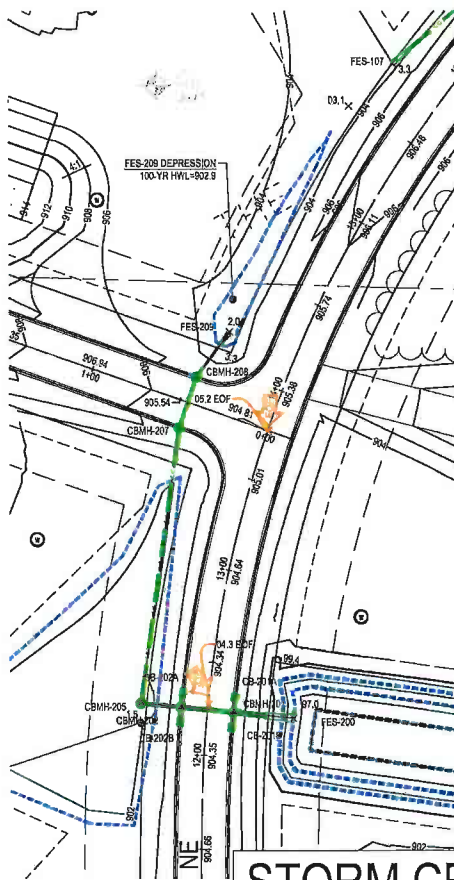
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PROJECT NO. LDP24010

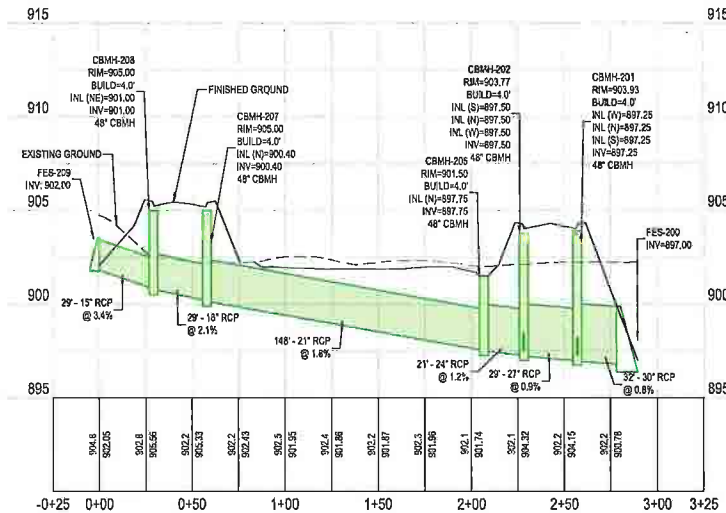
STORM SEWER PLAN & PROFILE

C5.1

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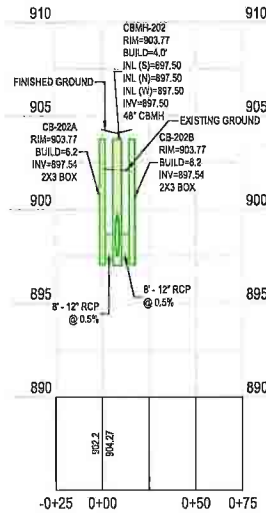


STORM FES-200 TO
FES-209



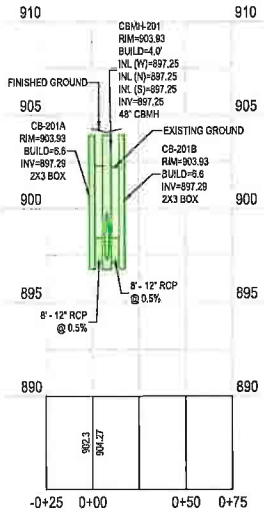
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STORM CB-201A
TO CB-201B

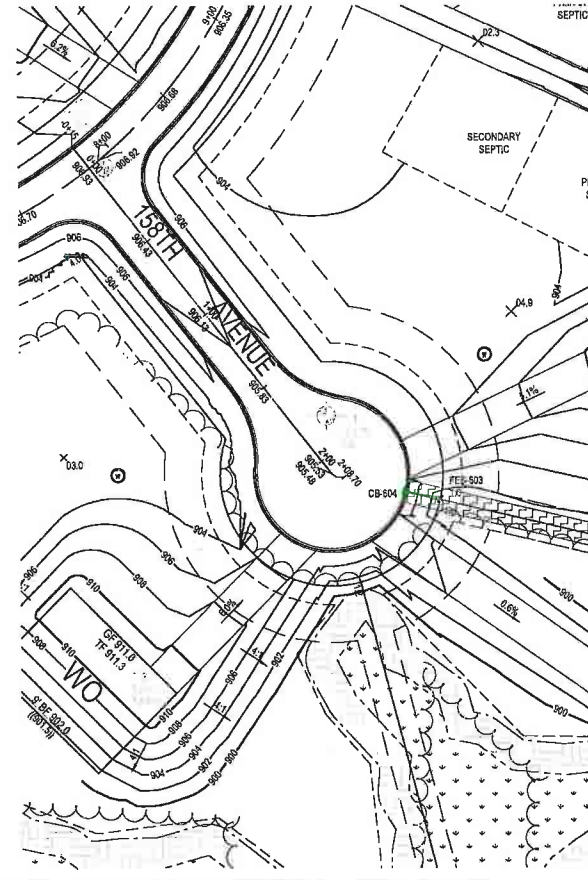


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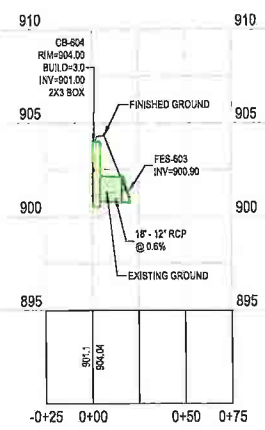
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TO CB-202B



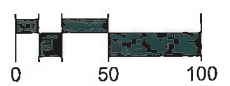
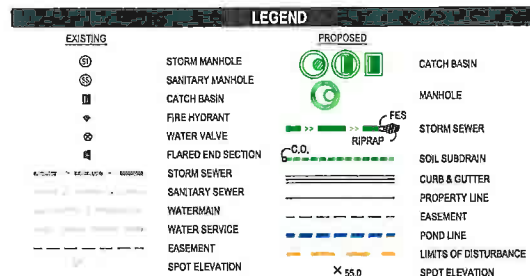
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VERT. SCALE: 1"=5'



STORM FES-603 TO CB-604



STORM FES-603 TO CB-604
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



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PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRELIMINARY SUBMITTAL	ETL
22 JUL 2025	SWITCH PLAN RESUBMITTAL	ETL
23 JUL 2025	WATERPROOF SUBMITTAL	ETL
28 JUL 2025	PRELIMINARY SUBMITTAL	ETL
18 AUG 2025	PRELIMINARY SUBMITTAL	ETL
29 AUG 2025	PRELIMINARY SUBMITTAL	ETL
04 SEP 2025	PRELIMINARY SUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Erik T. Lutz, PE
License No. 50475 Date: 08/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025



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STORM SEWER PLAN & PROFILE

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PROJECT
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HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVISION
18 JUL 2025	PRE PLAT SUBMITTAL	ETL
21 JUL 2025	SITE PLAN RESUBMITTAL	ETL
21 JUL 2025	WATERSHED SUBMITTAL	ETL
18 JUL 2025	PRE PLAT RESUBMITTAL	ETL
21 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 JUL 2025	PRE PLAT RESUBMITTAL	ETL

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Eric Keith
Eric Keith, PE
License No: 50475 Date: 08/04/2025

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SEPTEMBER 4, 2025



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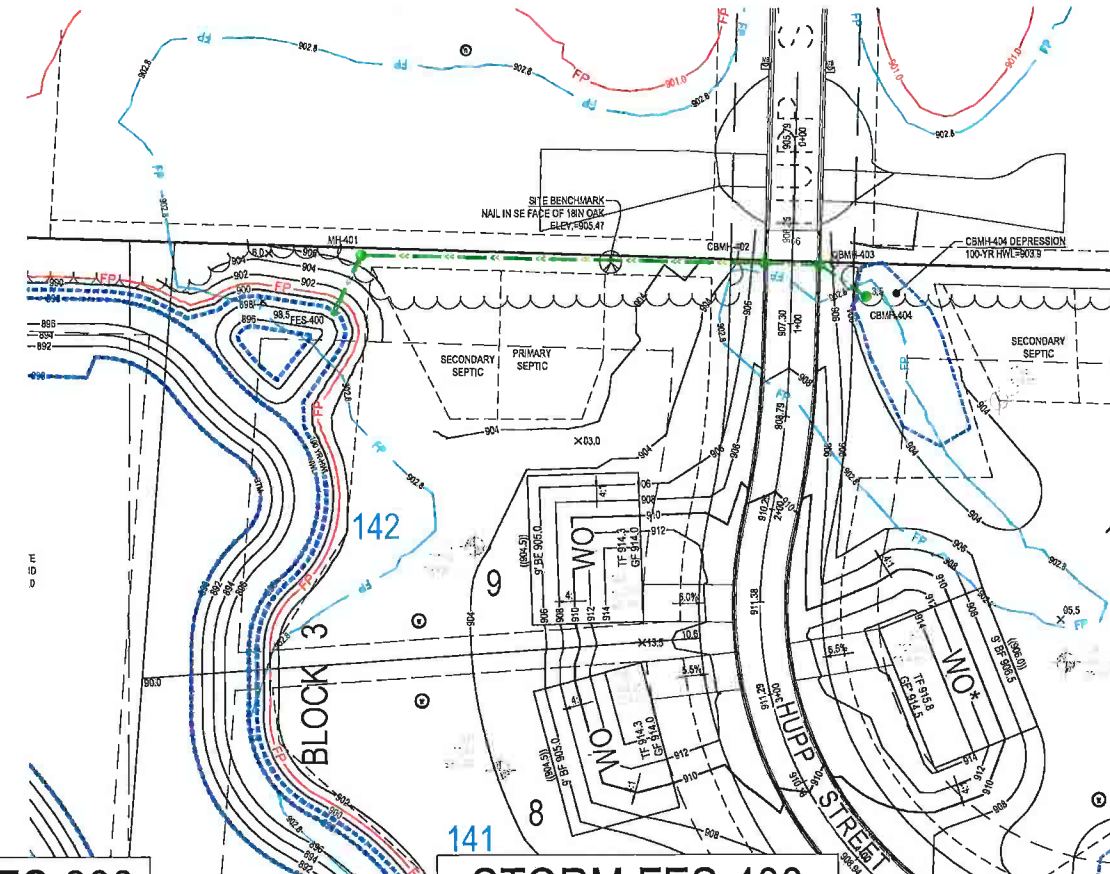
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STORM SEWER PLAN & PROFILE

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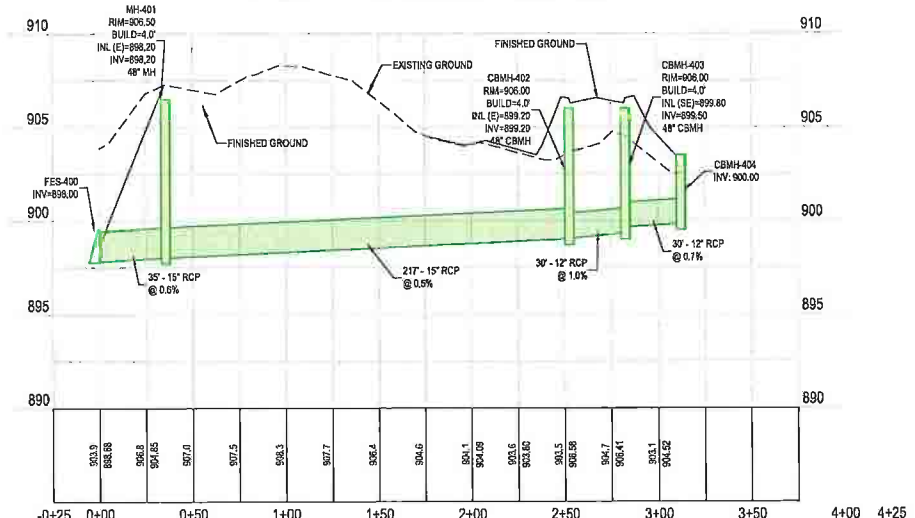
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STORM FES-300
TO CBMH-303

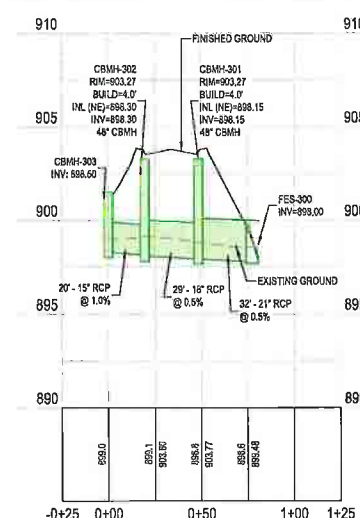
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STORM FES-304
TO FES-305

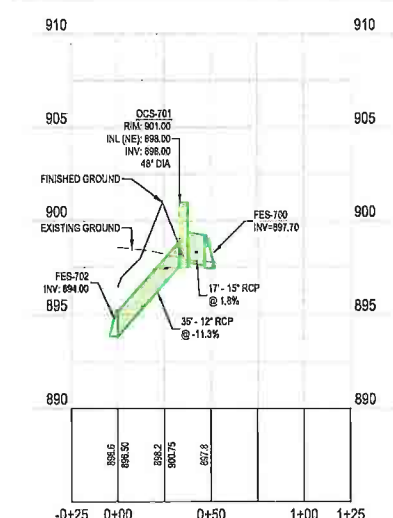
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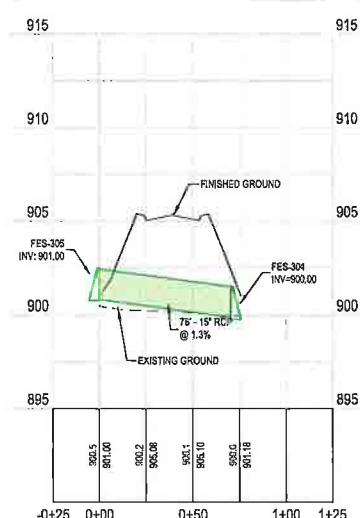
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VERT. SCALE: 1"=5'



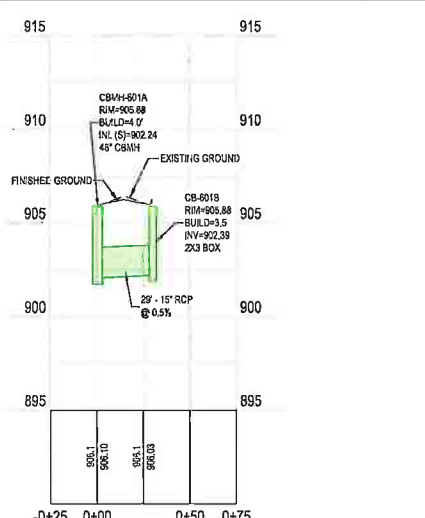
STORM FES-300 TO FES-303
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



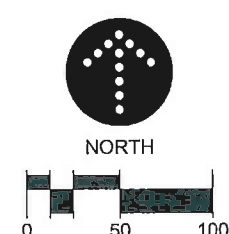
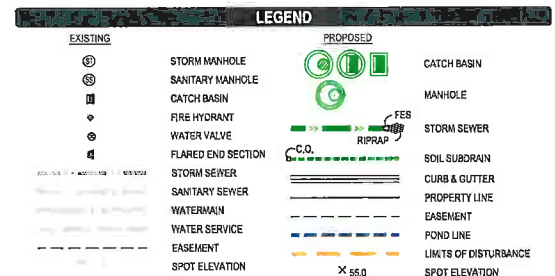
STORM FES-700 TO FES-702
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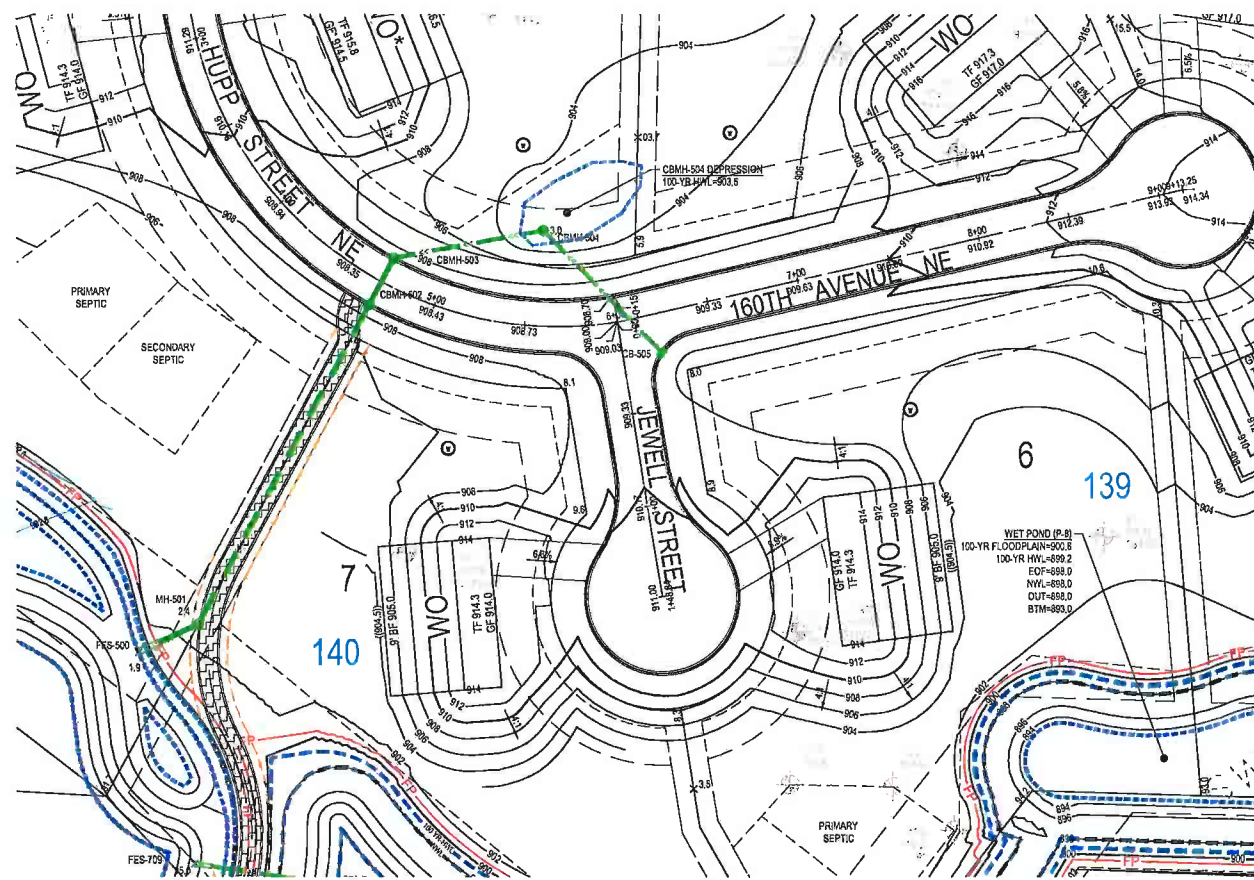


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VERT. SCALE: 1"=5'

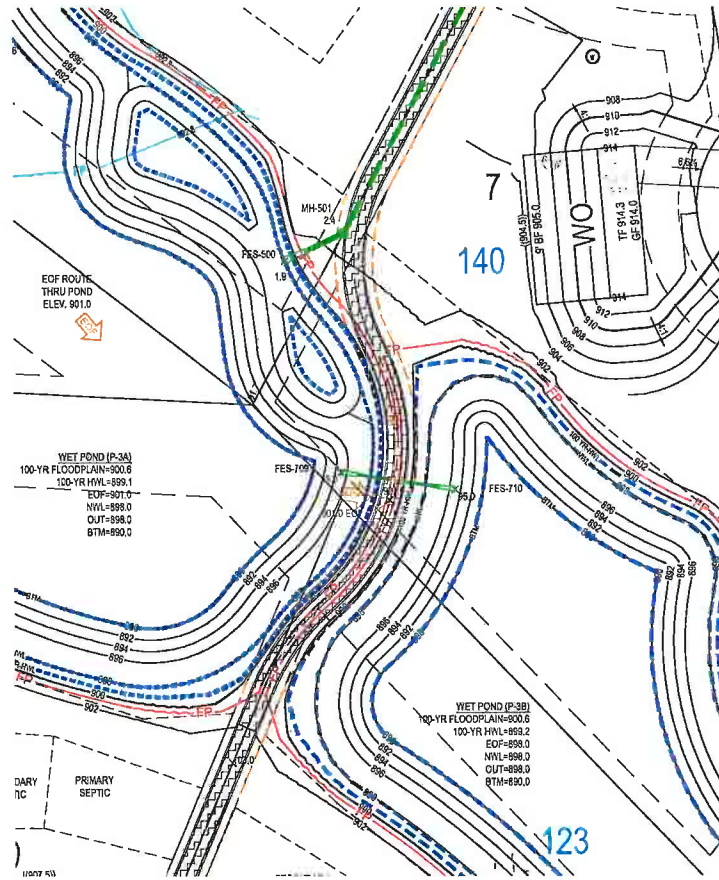


STORM CBMH-601A TO CB-601B
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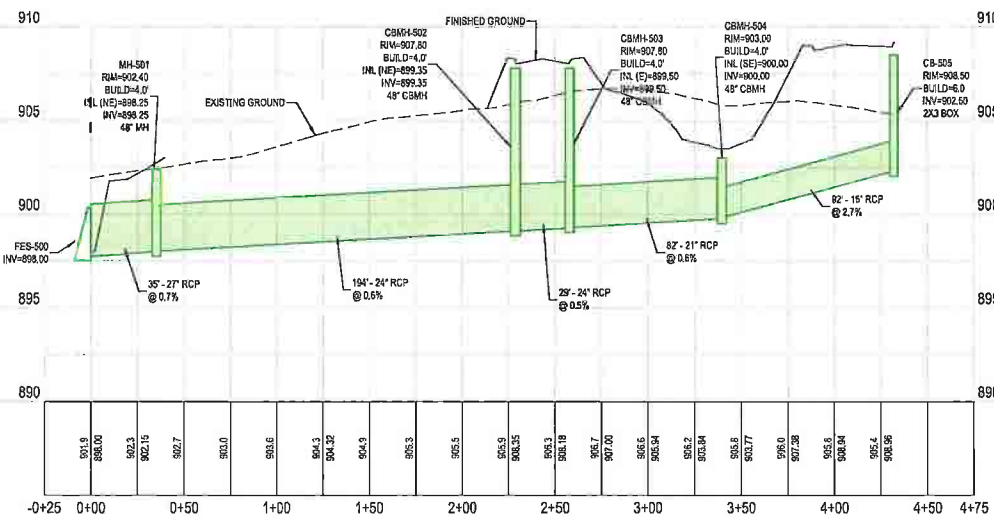




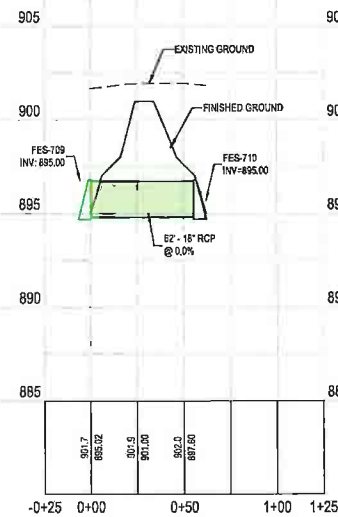
STORM FES-500 TO CB-505



STORM FES-709 TO FES-710

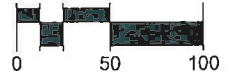


STORM FES-500 TO FES-504
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



STORM FES-709 TO FES-710
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'

LEGEND			
EXISTING	PROPOSED	PROPOSED	PROPOSED
①	STORM MANHOLE	①	CATCH BASIN
②	SANITARY MANHOLE	②	MANHOLE
③	CATCH BASIN	③	STORM SEWER
④	FIRE HYDRANT	④	SOIL SUBDRAIN
⑤	WATER VALVE	⑤	CURB & GUTTER
⑥	FLARED END SECTION	⑥	PROPERTY LINE
⑦	STORM SEWER	⑦	EASEMENT
⑧	SANITARY SEWER	⑧	POND LINE
⑨	WATERMAIN	⑨	LIMITS OF DISTURBANCE
⑩	WATER SERVICE	⑩	SPOT ELEVATION
⑪	EASEMENT	⑪	
⑫	SPOT ELEVATION	⑫	



DEVELOPER
JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY		
CONTRACT ENGINEER FOR PLAT FOLDER HISTORY		
DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN RESUBMITTAL	ETL
22 JUL 2025	INTERFERED SUBMITTAL	ETL
28 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL
28 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

CERTIFICATION
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Erik T. Luth
Erik T. Luth, PE
License No: 50475
Date: 19-04-2025
Signature shown is a digital reproduction of original. This signed copy of this plan on file at: Landon Professional Services, LLC office and is a sketch upon request.

PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025



105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME: C500LDP010 P&P.DWG
PROJECT NO.: LDP24010

STORM SEWER PLAN & PROFILE
C5.4

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DEVELOPER
JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612)-252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
12 JUL 2025	PRE PLAT SUBMITTAL	ETL
24 JUL 2025	SECTION PLAN RESUBMITTAL	ETL
28 JUL 2025	WATERPROOF SUBMITTAL	ETL
29 JUL 2025	PRE PLAT SUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL
29 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Erik T. Lutz
Erik T. Lutz, PE
License No. 50475 Date: 09/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025



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Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.mn

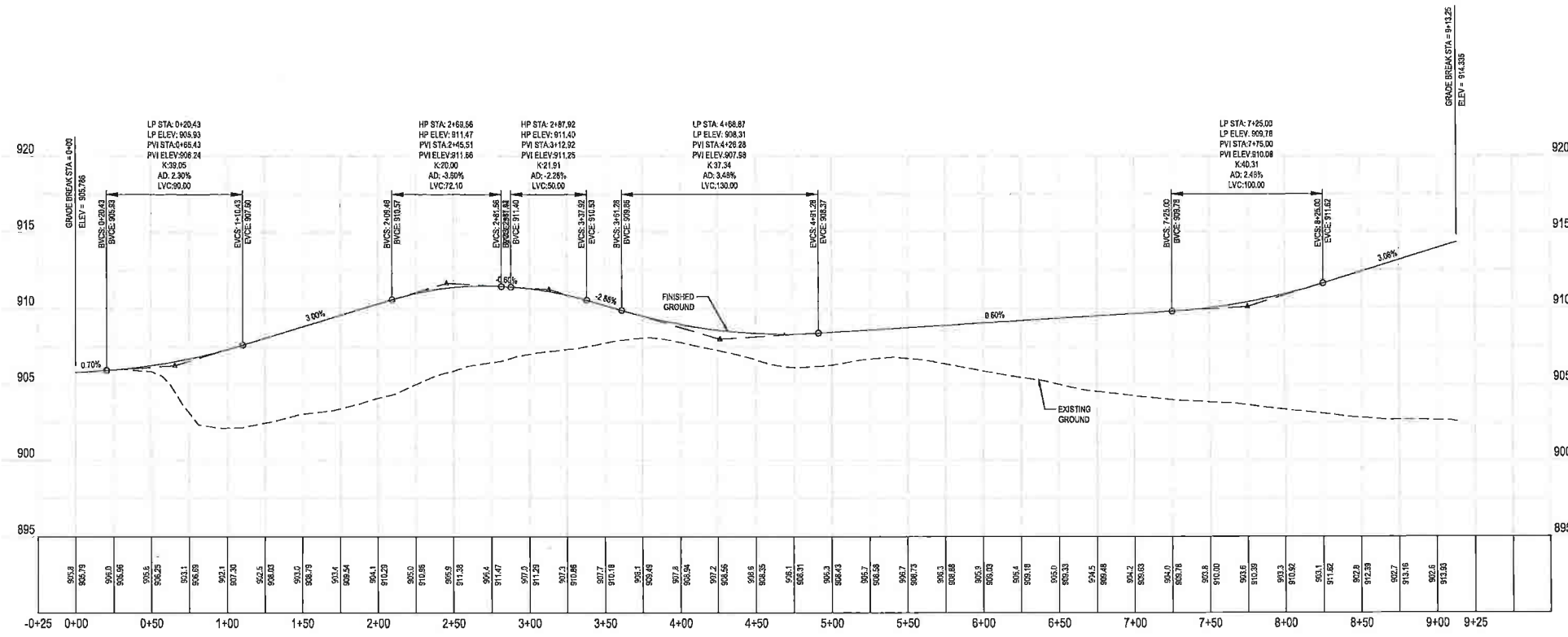
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PROJECT NO. LDP24010

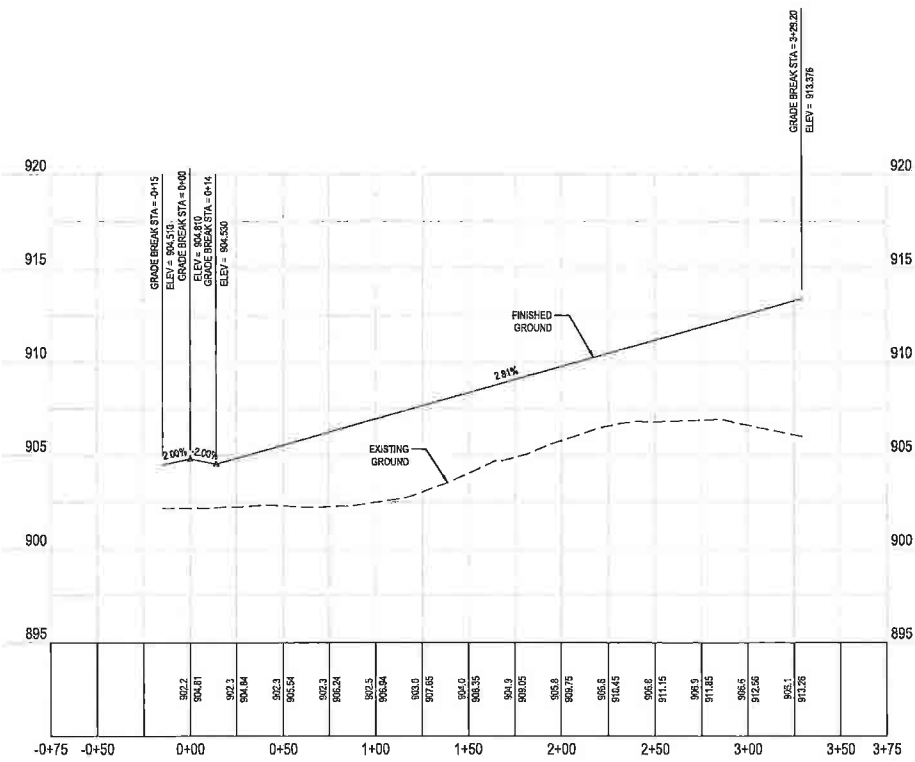
STREET PROFILES

C6.1

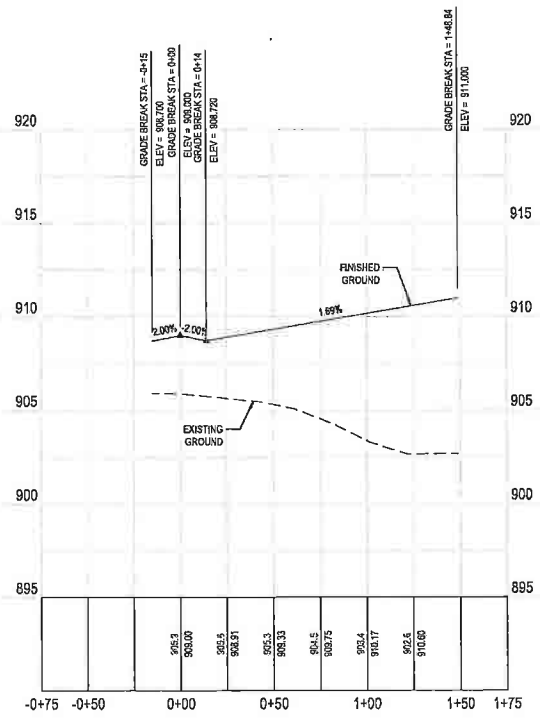
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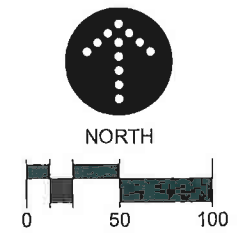
ALN-HUPP STREET
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



ALN-158TH LANE
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



ALN-JEWELL STREET
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



DEVELOPER
JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE, S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN RESUBMITTAL	ETL
23 JUL 2025	WATERSEED SUBMITTAL	ETL
23 JUL 2025	PRE PLAT SUBMITTAL	ETL
18 AUG 2025	PRE PLAT SUBMITTAL	ETL
29 AUG 2025	PRE PLAT SUBMITTAL	ETL
04 SEP 2025	PRE PLAT SUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Eric T. Luth
Eric T. Luth, PE
License No: 50475 Date: 09/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025



105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

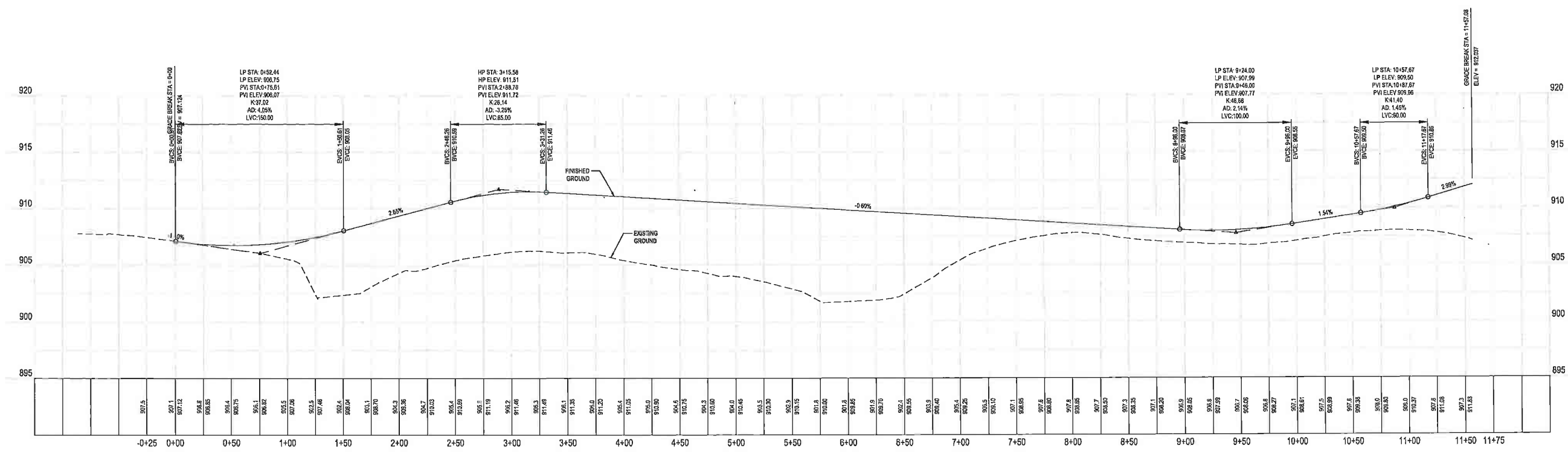
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PROJECT NO. LDP24010

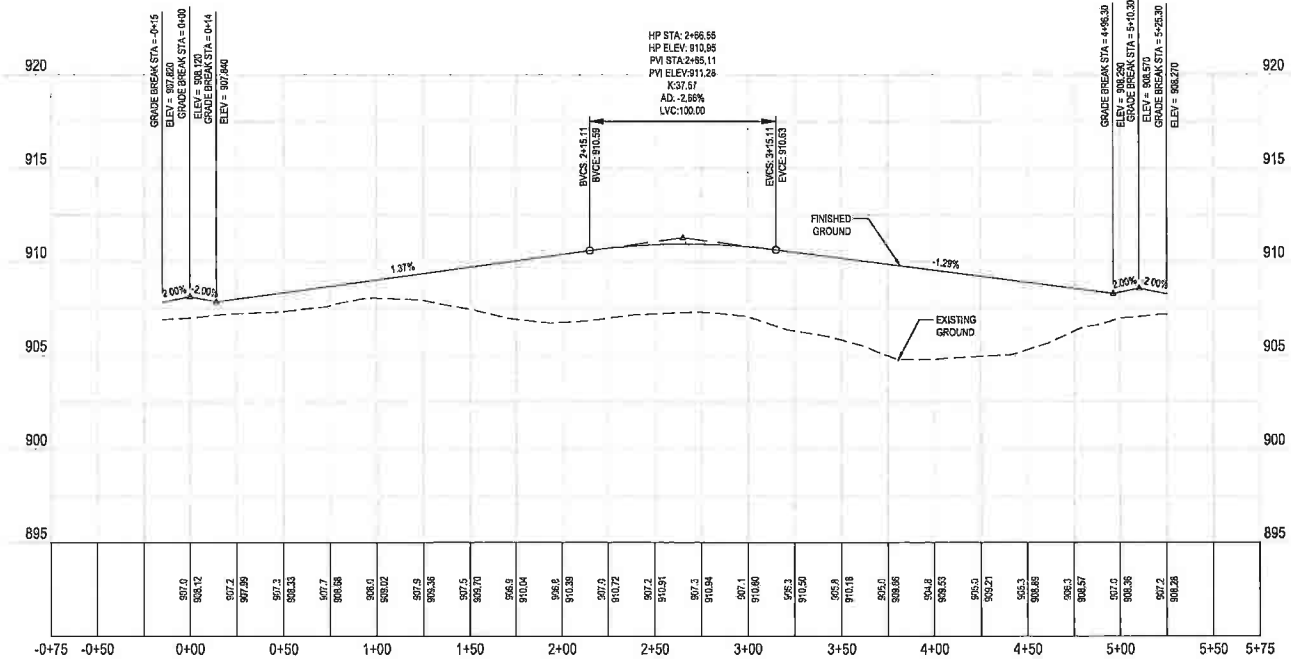
STREET PROFILES

C6.2

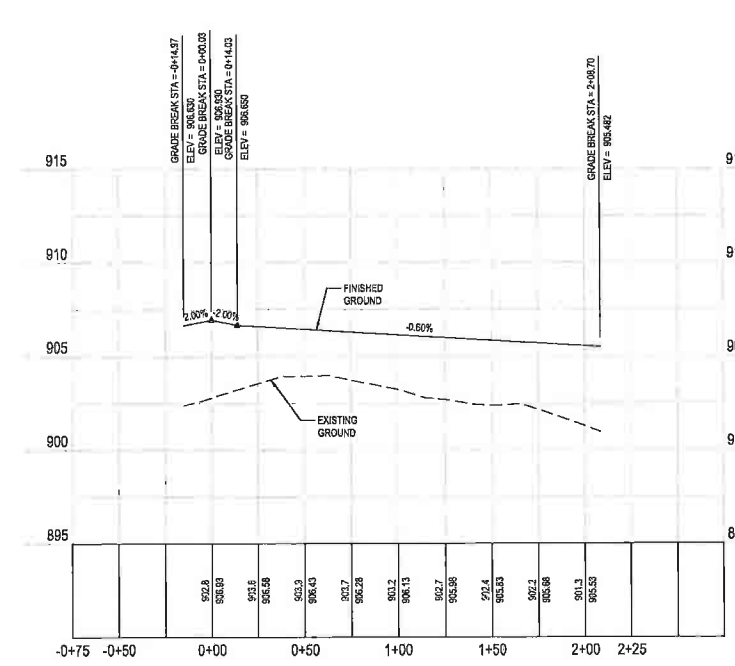
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ALN-159TH AVE
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



ALN-FRAIZER STREET NE
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



ALN-158TH AVE
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
12 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SECTION PLAN RESUBMITTAL	ETL
23 JUL 2025	WATER SHED SUBMITTAL	ETL
23 JUL 2025	PRE PLAT RESUBMITTAL	ETL
19 AUG 2025	PRE PLAT RESUBMITTAL	ETL
29 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Eric T. Luth, PE
Eric T. Luth, PE
License No: 50475 Date: 08/04/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025



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Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

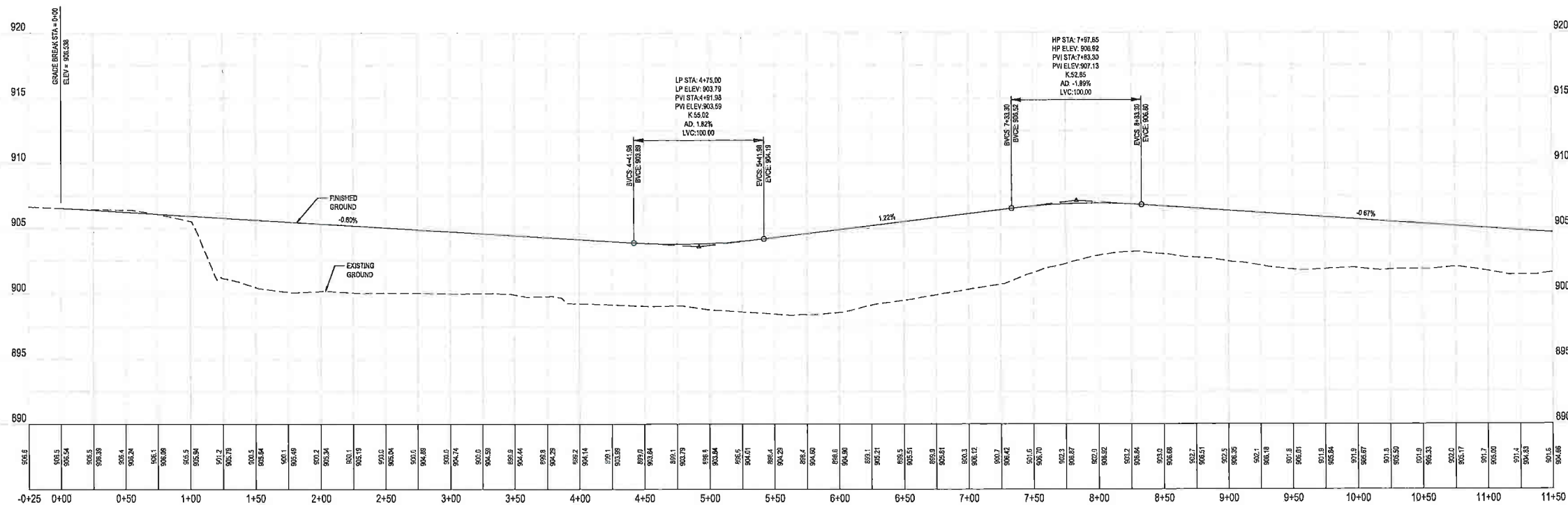
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PROJECT NO. LDP24010

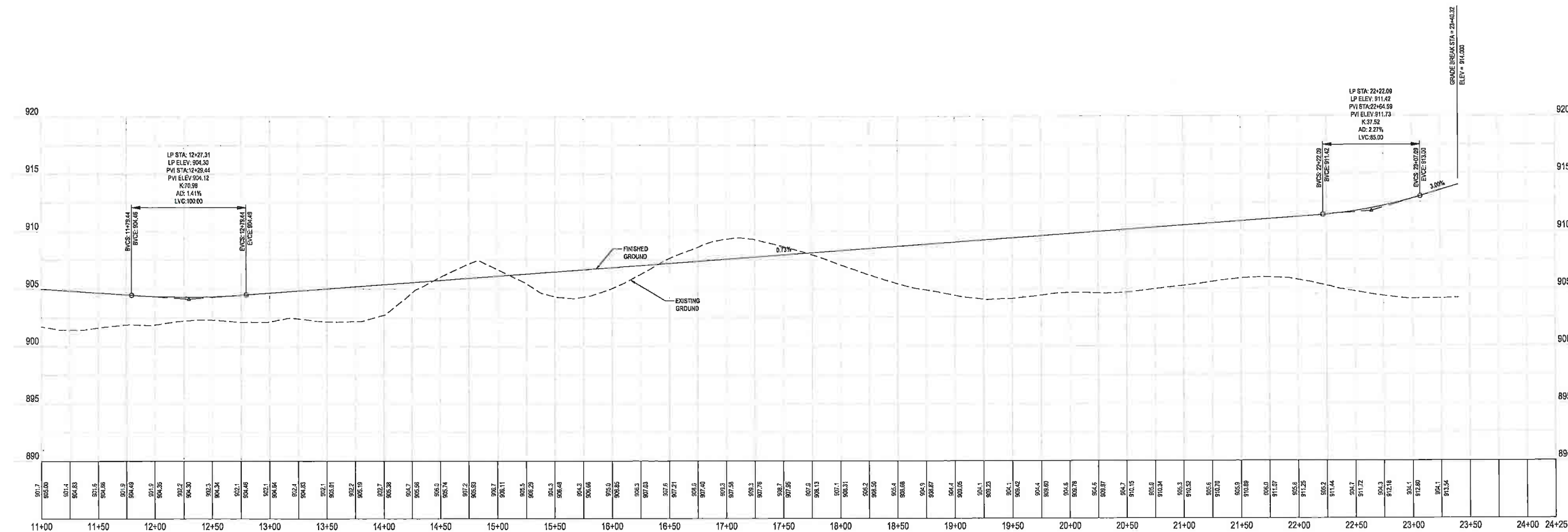
STREET PROFILES

C6.3

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ALN-158TH AVE NE
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'



ALN-158TH AVE NE
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'

DATE	ISSUE / REVISION	REVIEW
12 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	DRY TOP PLANS SUBMITTAL	ETL
23 JUL 2025	WATER SHED SUBMITTAL	ETL
29 JUL 2025	PRE PLAT SUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL
29 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Eric Keith
Eric T. Keith, PE
License No. 50475 Date: 08/24/2025

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THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

LANDFORM
From Site to Finish

105 South Fifth Avenue Suite 513
Minneapolis, MN 55401
Tel: 612-252-9070 Fax: 612-252-9077
Web: landform.net

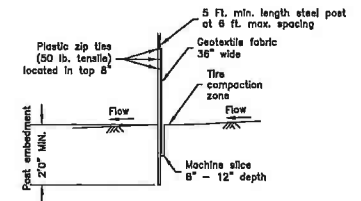
FILE NAME C700LOP10.DWG

PROJECT NO. LOP24010

CIVIL CONSTRUCTION DETAILS

C7.1

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GENERAL SILT FENCE NOTES:

Refer to MnDOT specs. 2573 & 3085

Silt fence shall be installed along the contour (on a level horizontal plane)

Curve the end of the silt fence up-gradient so that it contains the muddy water.

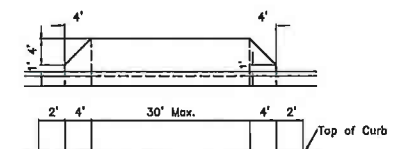
Maximum contributing area shall be one acre.

No single fencing unit should exceed 330 feet.

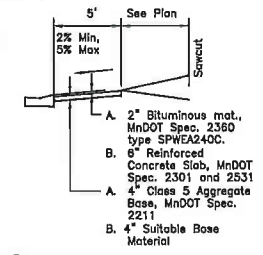
Follow slope grade/length guidelines:

SLOPE GRADE	MAX. LENGTH
LESS THAN 2%	100 FT.
2 - 5%	75 FT.
6 - 10%	50 FT.
10 - 20%	25 FT.
GREATER THAN 20%	15 FT.

SILT FENCE: MACHINE SLICED HL-760A
NOT TO SCALE

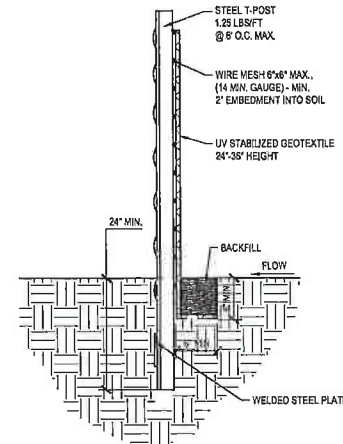


Note:
① Match existing driveway width and elevation at matchline unless otherwise directed by engineer (See Plans).
② If existing driveway is concrete, apron and driveway shall be constructed of 6" concrete with 6" x 6" - 6/8 welded wire fabric per MnDOT Spec. 3303 in flat sheets, not rolls. Epoxy coated dowel bars conforming to MnDOT Spec. 3302 shall be placed in the existing driveway pavement along the sawcut line. Dowel bars shall be properly coated with a MnDOT approved lubricant. Dowel bars shall be size #4 and placed at 24" OC. All work shall conform to MnDOT Spec. 2301 and 2531. Concrete shall be ready-mix 3,900 PSI at 28 days, with air content of 5% to 7%, coarse aggregate shall be 1" max, class A and per MnDOT Spec. 3137. Joint sealer shall be hot-poured, low modulus, mastic type per MnDOT Spec. 3725. Membrane curing compound shall be per MnDOT Spec. 3754 and 2301.3M.



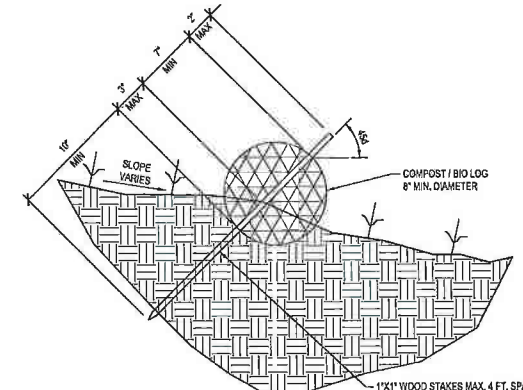
③ If existing driveway is bituminous, apron and driveway behind apron shall be bituminous per A. above. All bituminous work shall conform to MnDOT Specifications 2112, 2211, 2357 and 2360. Tack coat is to be applied between concrete and bituminous surfaces.
④ If existing driveway is gravel, apron and driveway within R/W shall be constructed per existing bituminous driveways. Gravel driveways matching beyond R/W shall be 6" Class 5.
⑤ Driveways in fill sections to slope up from 1" curb lip to end of apron (5' from back of curb) at 2% then slope to matchline.
⑥ For fill slope, use spread at location to determine height to ensure no water is on property during a ten-year storm event.

PRIVATE DRIVEWAY/FIELD ENTRANCE
WITH D312M CURB HL-363A2
NOT TO SCALE



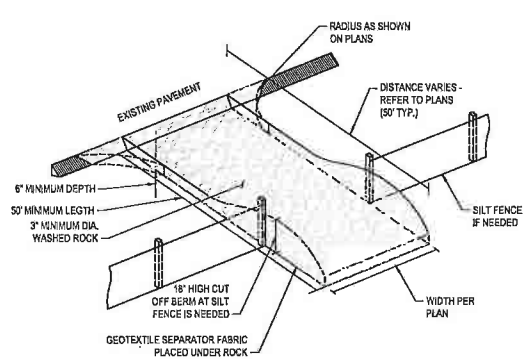
NOTES:
1. DIG A 6" TRENCH ALONG THE INTENDED FENCE LINE OR USE MACHINE SLICED ANCHOR.
2. WIRE MESH MUST BE MINIMUM OF 2' INTO THE GROUND AND NO MORE THAN 36" ABOVE THE ORIGINAL GROUND SURFACE.
3. DRIVE ALL POSTS INTO THE GROUND AT THE BACK SIDE OF THE TRENCH.
4. LAYOUT WIRE MESH AND SILT FENCE ON THE UPHILL SIDE ALONG THE FENCE LINE, AND BACKFILL.

HEAVY DUTY SILT FENCE
NO SCALE

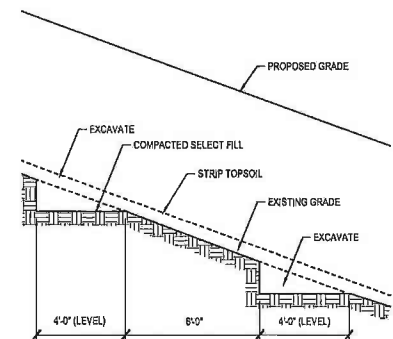


MAINTAIN BY REMOVING SEDIMENT AND REPLACING DAMAGED LOGS UNTIL TURF IS ESTABLISHED. REMOVE AFTER PERMANENT STABILIZATION IS COMPLETE.

TEMPORARY COMPOST/BIO LOG
NO SCALE

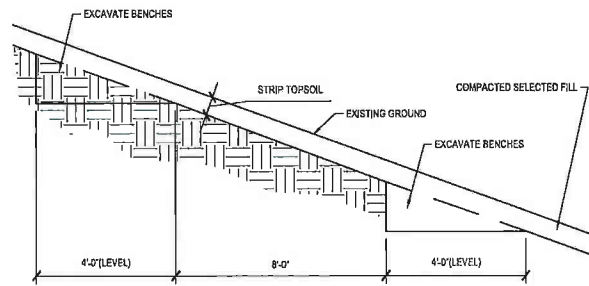


VEHICLE TRACKING PAD
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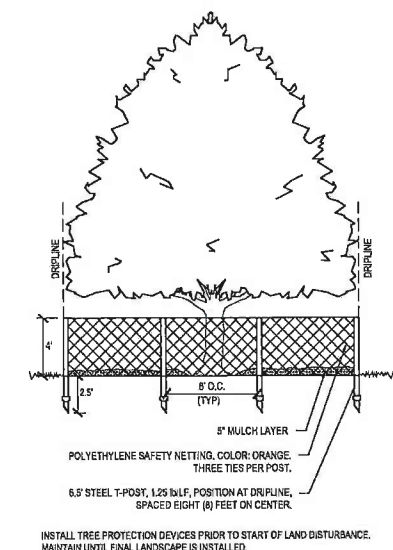


NOTE:
BENCHING TO BE USED WHERE FILL IS BEING PLACED ON EXISTING SLOPES OF 8:1 OR STEEPER

SOIL CONSERVATION SLOPE BENCHING
NO SCALE



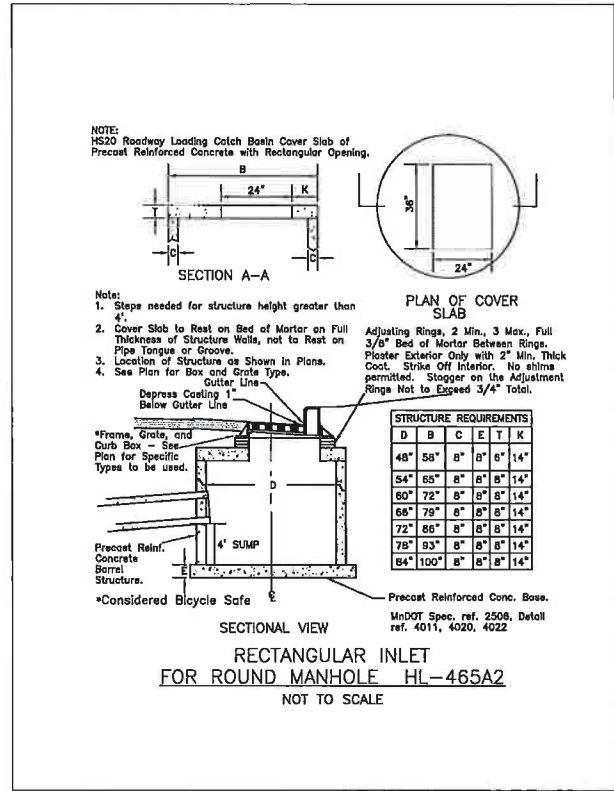
SOIL STABILIZATION ON SLOPE
NO SCALE



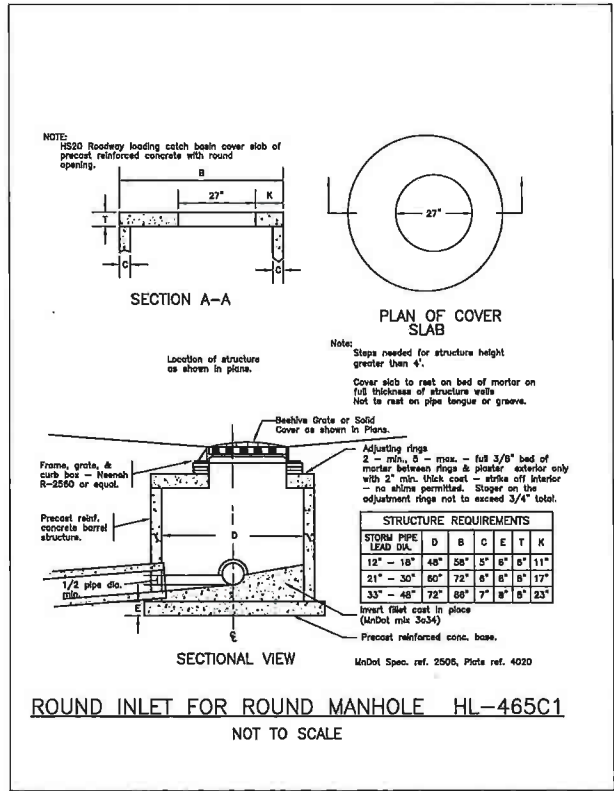
INSTALL TREE PROTECTION DEVICES PRIOR TO START OF LAND DISTURBANCE. MAINTAIN UNTIL FINAL LANDSCAPE IS INSTALLED.

TREE PROTECTION
NO SCALE

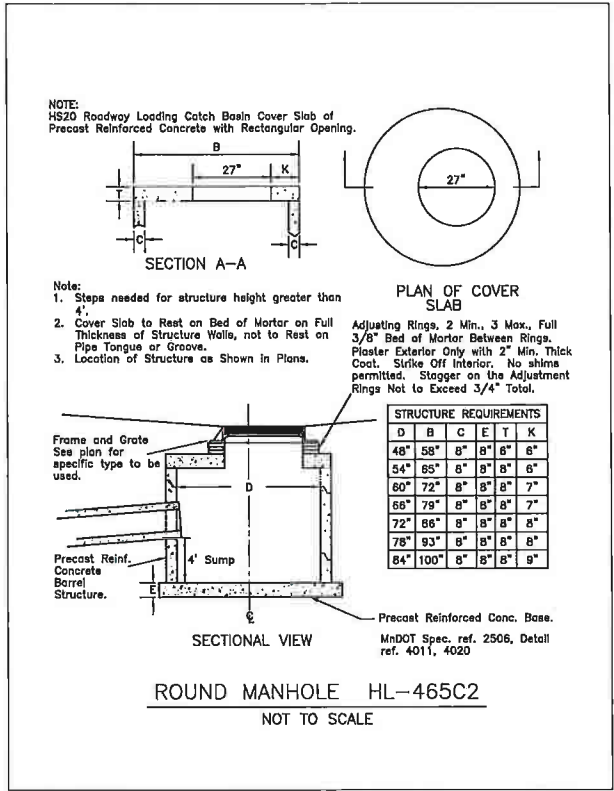
DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN RESUBMITTAL	ETL
29 JUL 2025	WATERPOSS SUBMITTAL	ETL
29 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL
29 JUL 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL



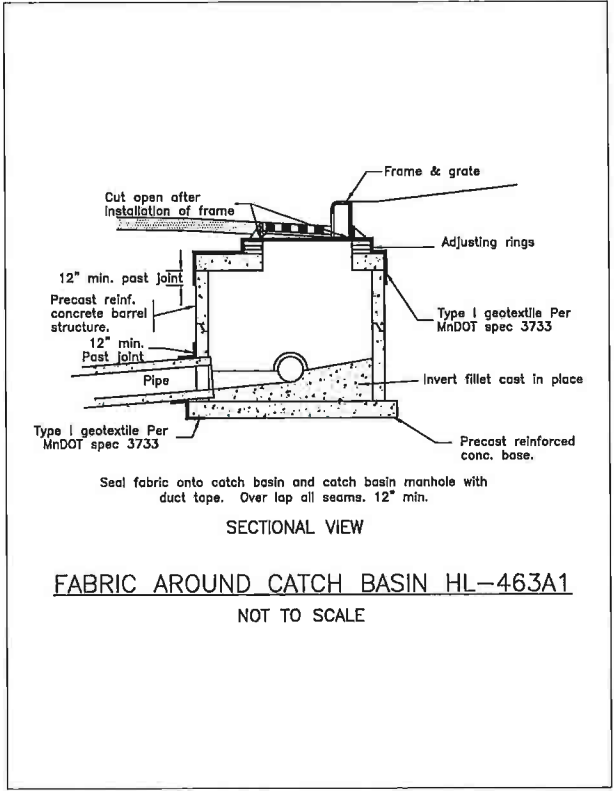
1 RECTANGULAR INLET FOR ROUND MANHOLE NO SCALE



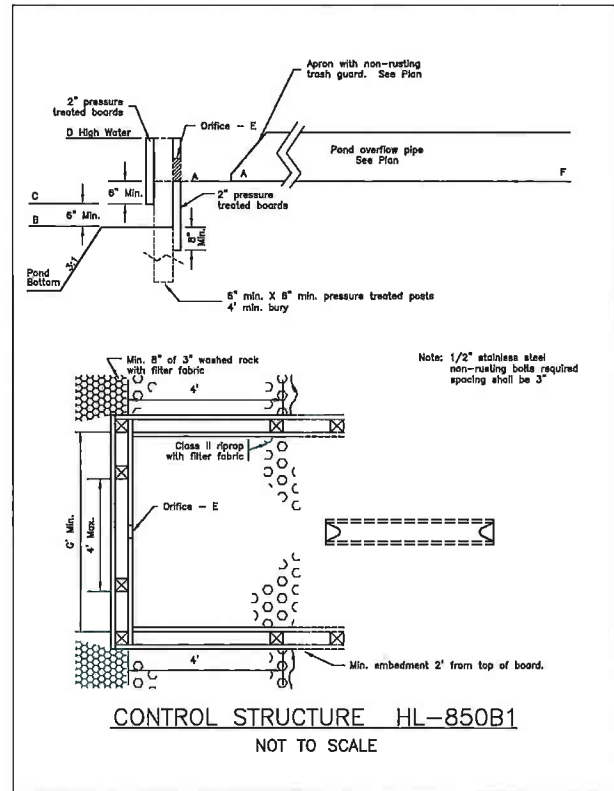
2 ROUND INLET FOR ROUND MANHOLE NO SCALE



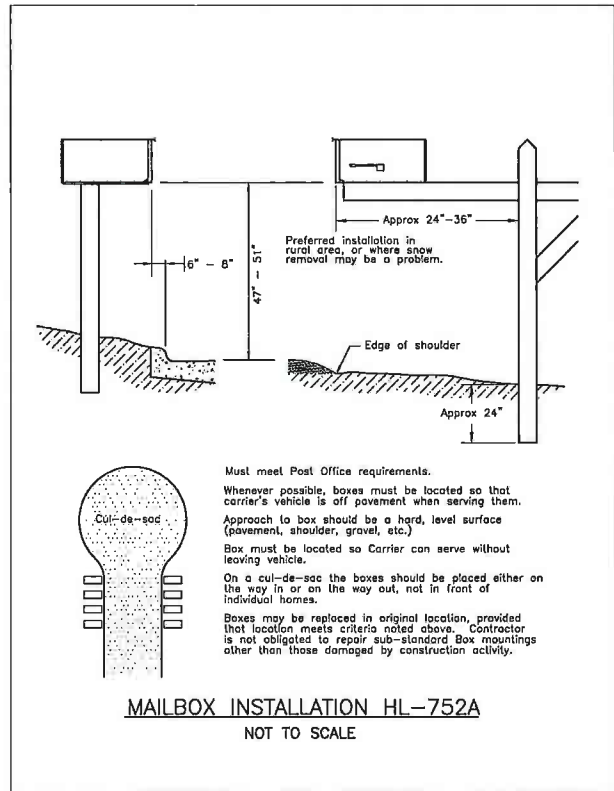
3 ROUND MANHOLE HL-465C2 NO SCALE



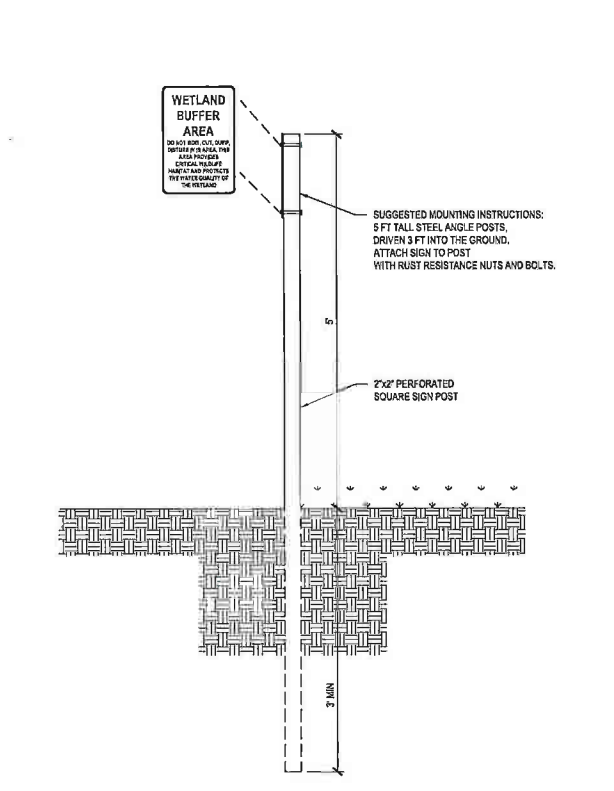
4 FABRIC AROUND CATCH BASIN HL-463A1 NO SCALE



5 CONTROL STRUCTURE HL-850B1 NO SCALE



6 MAILBOX INSTALLATION NO SCALE



7 WETLAND BUFFER SIGN NO SCALE

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Eric T. Luth, PE
License No. 50475 Date: 06/04/2025

Signature shown is a digital reproduction of original. Not signed copy of this plan on file at: Landform Professional Services, LLC office and available upon request.



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

CONTRACT ENGINEER FOR ANY PREVIOUS HISTORY		
DATE	ISSUE / REVISION	REVIEW
13 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SWITCH PLAN RESUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
29 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL
29 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

CERTIFICATION

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Eric T. Lutz
Eric T. Lutz, PE
License No. 50475 Date: 18/06/2025

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PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025

LANDFORM
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

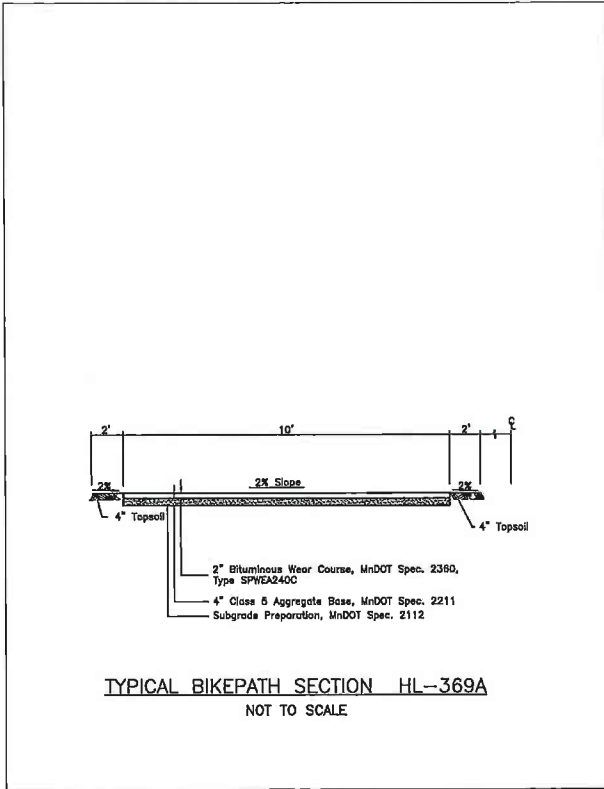
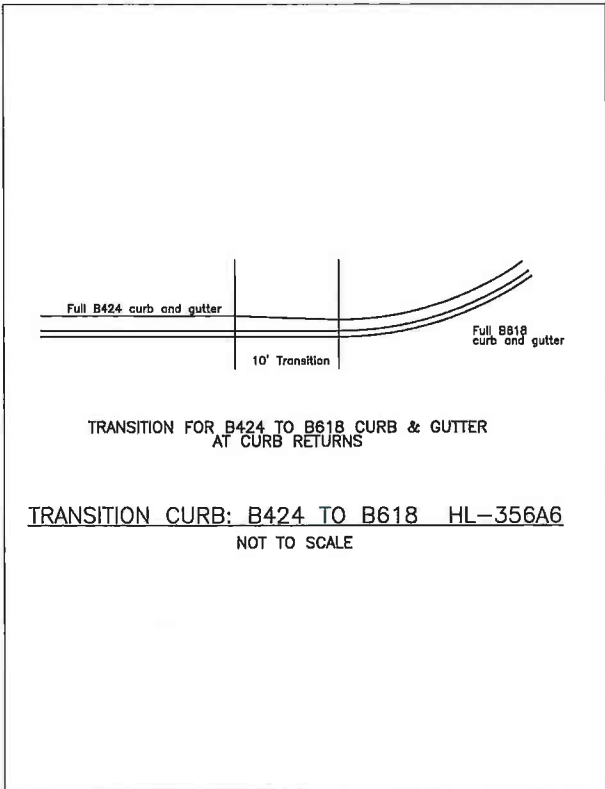
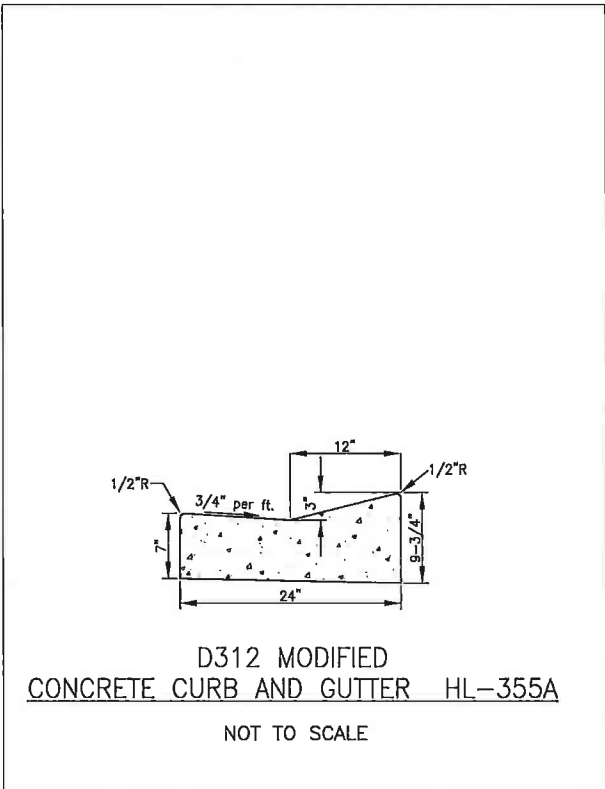
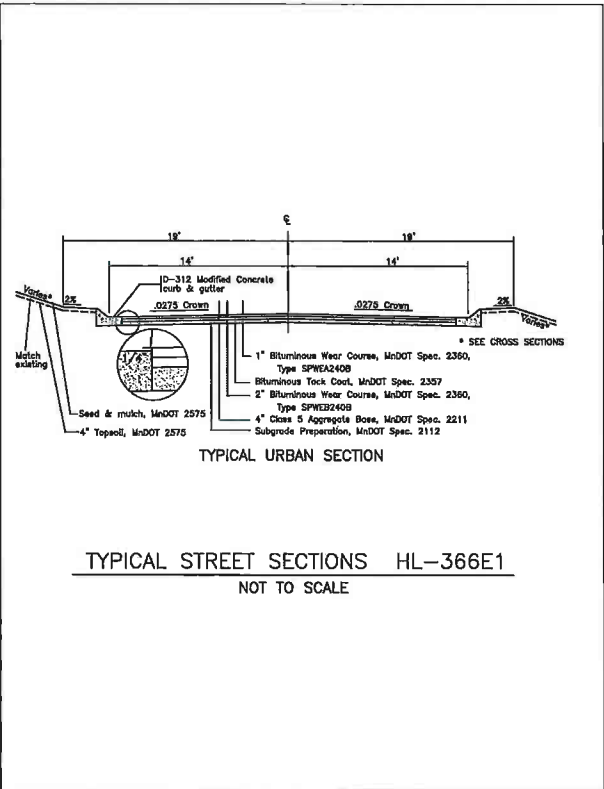
FILE NAME C700LDP010.DWG

PROJECT NO. LDP24010

CIVIL CONSTRUCTION DETAILS

C7.4

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- 1 TYPICAL URBAN SECTION
TYPICAL STREET SECTION HL-366E1
NO SCALE
- 2 D312 MODIFIED CONCRETE CURB & GUTTER HL-355A
NO SCALE
- 3 TRANSITION CURB B424 TO B618 HL-356A6
NO SCALE
- 4 TYPICAL BIKE PATH SECTION HL-369A
NO SCALE

RESERVED

RESERVED

RESERVED

RESERVED



GENERAL NOTES

1. For construction staking and surveying services contact Landform at 612.252.9070.

LEGEND

SYMBOL

DESCRIPTION

Building Area: 10,000 SF at least four feet above unsuitable soils.

ISTS Area: 7,500 SF at least 1 foot above unsuitable soils.

Yard Area: 12,000 SF above the 100-year contour, and lies at least one foot above unsuitable soils, and is contiguous to the building pad area for a distance of at least 50% of the linear perimeter of the building area.

Wetland

16.5 ft Wetland Buffer

Pond line

Proposed Floodplain

Existing Floodplain North - 902.6

Existing Floodplain South - 898.8

LOW FLOOR DETERMINING FACTOR

CRITERIA:

> 1' ABOVE EOF

> 2' ABOVE 100-YEAR HWL OR FLOODPLAIN

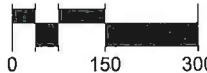
> 2' ABOVE GROUNDWATER



Know what's Below.
Call before you dig.



NORTH



LIVABILITY CHART																	
Pad Number	Block	Lot	Area (SF)	Area (Ac.)	Building Pad Area (SF)	ISTS Area (SF)	Yard Area (SF)	Livability Area (SF)	Septic System Type	House Pad Boring #	Pad Boring Depth to Wetting(Inch)	Pad Boring Elev.	Pad Boring Wetting Elev.	Seasonal Highest Anticipated Groundwater Level	House Type ("1" drop)	Lowest Floor Elev.	Low Floor Determining Factor
121	1	1	84,149	1.47	10,087	7,517	12,148	29,732	Type 1	901	10	903.5	902.7	898.5	Walkout**	904.0	(E) FLOODPLAIN=901.0
122	1	2	87,928	1.56	10,983	7,643	13,031	38,137	Type 1	1201	8	902.5	901.8	898.5	Walkout**	905.5	(E) FLOODPLAIN=901.0
123	1	3	78,682	1.41	10,188	7,160	13,352	31,798	Type 1	903	10	908.4	905.6	898.5	Walkout**	906.8	(E) FLOODPLAIN=901.0
124	1	4	59,332	1.06	10,250	7,580	13,212	31,112	Type 1	904	24	906.2	904.2	899.5	Walkout**	906.0	(E) FLOODPLAIN=901.0
125	1	5	85,538	1.49	10,281	7,198	12,738	30,099	Type 1	902	40	906.1	904.1	899.5	Walkout**	906.0	(F) EOF=905.2
126	1	6	86,538	1.53	10,137	7,641	12,829	32,327	Type 1	901	22	905.9	903.9	899.5	Walkout**	906.0	(F) EOF=905.2
127	1	7	104,521	1.83	10,324	7,641	12,881	31,508	Type 1	1202	11	903.9	902.9	899.5	Walkout**	906.0	(E) FLOODPLAIN=901.0
128	1	8	118,910	2.01	12,238	7,650	12,932	32,068	Type 1	1203	38	906.8	906.6	898.5	Walkout**	907.5	(E) FLOODPLAIN=901.0
129	1	9	122,922	2.13	12,041	7,650	12,887	32,721	Type 1	909	36	906.3	903.3	899.5	Walkout**	906.0	(E) FLOODPLAIN=901.0
130	1	10	120,319	2.10	10,324	7,748	12,534	32,628	Type 1	1204	44	906.2	901.2	897.5	Walkout**	906.0	(D) EOF=904.3
131	1	11	111,555	1.96	10,324	7,500	12,029	29,613	Type 1	911	8	902.5	901.8	897.5	Walkout**	906.0	(H) EOF=903.8
132	1	12	95,735	1.66	10,324	8,010	17,128	37,400	Type 1	1205	9	901.1	900.5	897.5	Walkout**	904.0	(E) FLOODPLAIN=901.0
133	2	1	83,228	1.44	10,354	8,142	12,992	31,488	Type 1	913	18	905.7	904.2	898.5	Walkout**	906.2	(E) FLOODPLAIN=901.0
134	2	2	224,968	3.89	10,324	7,695	13,348	31,347	Type 1	910	8	904.1	903.4	898.5	Walkout**	904.5	(E) FLOODPLAIN=901.0
135	2	3	176,645	3.06	10,324	7,733	14,885	32,992	Type 1	915	14	905.2	904.1	898.5	Walkout**	905.5	(E) FLOODPLAIN=900.8
136	2	4	130,832	2.30	10,324	7,500	16,885	34,429	Type 1	916	48	906.4	905.4	898.5	Walkout**	906.4	(A) FLOODPLAIN=900.8
137	2	5	186,597	3.02	10,035	7,549	12,588	30,172	Type 1	917	13	903.7	902.8	898.5	Walkout**	906.0	(A) FLOODPLAIN=900.8
138	2	6	74,469	1.31	10,297	7,887	12,711	30,895	Type 1	918	10	903.8	903.0	898.5	Walkout**	904.0	(A) FLOODPLAIN=900.8
139	2	7	64,541	1.08	10,324	7,505	13,529	31,349	Type 1	919	58	906.2	903.4	898.5	Walkout**	904.4	(A) FLOODPLAIN=900.8
140	2	8	69,424	1.19	10,324	7,814	12,067	30,245	Type 1	949	10	903.6	902.8	898.5	Walkout**	904.0	(A) FLOODPLAIN=900.8
141	2	9	78,377	1.34	10,324	7,565	12,808	30,477	Type 1	921	30	906.1	903.8	898.5	Walkout**	906.0	(A) FLOODPLAIN=900.8
142	2	10	66,178	1.12	11,069	7,568	12,811	31,388	Type 1	922	52	907.2	902.9	898.5	Walkout**	908.0	(A) FLOODPLAIN=900.8
143	2	11	66,105	1.12	10,042	7,566	12,481	30,059	Type 1	923	64	908.5	904.0	898.5	Walkout**	908.0	(A) FLOODPLAIN=900.8
144	2	12	82,193	1.43	10,178	7,816	12,090	29,943	Type 1	924	42	907.1	903.8	897.5	Walkout**	908.0	(A) FLOODPLAIN=900.8
145	2	13	65,820	1.13	10,032	7,517	14,715	32,284	Type 1	950	36	906.1	903.1	897.5	Walkout**	906.5	(A) FLOODPLAIN=900.8
146	2	14	65,341	1.10	10,202	7,565	14,716	32,950	Type 1	926	22	906.1	903.5	897.5	Walkout**	906.0	(A) FLOODPLAIN=900.8
147	2	15	87,150	1.52	10,338	7,500	13,768	31,606	Type 1	927	12	902.0	901.0	897.5	Walkout**	906.0	(A) FLOODPLAIN=900.8
148	2	16	128,861	2.01	10,324	7,556	16,305	34,163	Type 1	1207	8	902.3	901.5	897.5	Walkout**	906.0	(I) EOF=907.0
149	2	17	207,238	3.63	10,324	8,944	12,700	31,348	Type 1	1208	12	901.9	900.8	897.5	Walkout**	905.0	(I) EOF=907.0
150	2	18	149,808	2.54	10,324	8,583	12,983	31,780	Type 1	930	12	901.2	900.2	897.5	Walkout**	905.0	(I) EOF=907.0
151	2	19	240,381	4.16	10,324	7,919	12,330	30,319	Type 1	931	10	906.1	903.9	897.5	Walkout**	903.0	(I) EOF=907.0
152	2	20	163,362	2.77	10,324	7,817	12,934	34,315	Type 1	932	30	907.0	904.0	897.5	Walkout**	902.0	(K) EOF=908.2
153	2	21	373,873	6.49	10,324	8,908	19,940	36,750	Type 1	933	8	906.1	903.4	897.5	Walkout**	902.0	(K) EOF=908.2
154	3	1	68,275	1.18	10,813	7,749	15,923	34,185	Type 1	943	30	905.9	903.4	898.5	Walkout**	905.5	(D) EOF=905.5
155	3	2	67,887	1.16	10,324	7,656	16,748	34,708	Type 1	1209	12	903.9	901.6	898.5	Walkout**	906.0	(D) EOF=905.5
156	3	3	74,210	1.27	10,324	7,600	16,805	34,799	Type 1	1206	10	902.5	901.3	898.5	Walkout**	906.0	(A) FLOODPLAIN=900.8
157	3	4	67,712	1.14	10,324	7,637	12,622	30,543	Type 1	937	10	902.2	901.4	898.5	Walkout**	906.0	(A) FLOODPLAIN=900.8
158	3	5	82,604	1.43	10,324	7,650	14,111	32,085	Type 1	1210	9	905.9	903.9	898.5	Walkout**	906.0	(A) FLOODPLAIN=900.8
159	3	6	76,367	1.29	10,324	7,640	16,375	36,319	Type 1	1211	10	902.3	901.5	898.5	Walkout**	906.0	(A) FLOODPLAIN=900.8
160	3	7	104,211	1.79	10,324	8,110	16,840	33,254	Type 1	940	12	904.2	903.2	898.5	Walkout**	906.0	(A) FLOODPLAIN=900.8
161	3	8	117,873	2.03	10,324	9,271	12,090	31,685	Type 1	948	8	903.8	902.9	898.5	Walkout**	906.0	(A) FLOODPLAIN=900.8
162	3	9	65,384	1.12	10,324	8,049	13,048	31,401	Type 1	947	22	905.4	903.8	898.5	Walkout**	906.0	(A) FLOODPLAIN=900.8

LIVABILITY CHART NOTES:
1. House type include " (asterisks), that indicate a 1ft garage floor drop in the proposed house design for the builder to take into account.
** Indicates a 1ft garage floor drop.
*** Indicates a 2ft garage floor drop.
2. (Underline of Pad Boring Depth to Wetting) Indicates the boring is less than the required 12 inches.
Refer to Geotechnical report for groundwater data showing groundwater at a minimum 4 ft lower than any proposed low floor elevation.

DEVELOPER
JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE, S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SWITCH PLANS SUBMITTAL	ETL
23 JUL 2025	WATER SHED SUBMITTAL	ETL
26 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT SUBMITTAL	ETL
29 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Eva Kuth
Eva Kuth, PE
License No. 50473
Date: 09/04/2025

Signature shown is a digital reproduction of original. Wetland map of this plan on file at Landform Professional Services, LLC office and is available upon request.

PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025



105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME C800LPD010.DWG

PROJECT NO. LDP24010

LIVABILITY MAP
C8.0

Landform and Site to Finish are registered service marks of Landform Professional Services, LLC.



GENERAL NOTES

- For construction Staking and Surveying services contact Landform at 612.252.9070.

EXISTING CONDITIONS

- Background information shown is from survey by Landform, Minneapolis, MN, on April 5, 2025 expressly for this project: City of Ham Lake, MN record drawings, and utility service providers. Landform offers no warranty, expressed or written, for information provided by others. Existing project conditions shall be verified prior to beginning construction. Errors, inconsistencies, or omissions discovered shall be reported to the Engineer IMMEDIATELY.

LEGAL DESCRIPTION

The Northeast Quarter of the Southwest Quarter of Section 13, Township 32, Range 23, Anoka County, Minnesota.
AND

The West Half of the Southwest Quarter of Section 13, Township 32 North, Range 23 West, according to the United States Government thereof, Anoka County, Minnesota.

BENCHMARK

Project Benchmark:
Name: Anoka County Benchmark No. 2005
Location: Second Order Benchmark set in ground in a covered tube. Benchmark is approximately 35 feet westerly of the centerline of C.S.A.H. No. 17 and 40 feet northerly of the centerline of 155th Avenue N.E.
Elevation = 905.73 (NAVD 88)

Site Benchmark:
Type: Nail in Southwest of 18" oak
Location = 41-50N West of Hupp St NE along North line.
Elevation = 905.47 (NAVD 88)

TREE PRESERVATION NOTES

- Obtain permits for tree removal and clearing prior to beginning.
- Contact utility service providers for field location of services 72 hours prior to beginning demolition and clearing.
- Provide barricades, lights, signs, traffic control, and other measures necessary for protection and safety of the public and maintain throughout construction.
- Protect structures, utilities, trees, plant material, sod, and adjacent property from damage during construction unless noted for removal. Damage shall be repaired to equal or better condition at no additional cost.
- There shall be no movement, clearing, or storage of equipment within a designated tree preservation area.
- All clearing of oak stands shall be performed prior to April 15 or after July 15 of each season.
- If encroachment into a tree preservation area occurs that causes irreparable damage to a tree(s), the tree preservation plan shall be revised to compensate for the loss.
- Signs requesting sub-contractor cooperation and compliance with tree preservation standards are recommended for the site entrances.

LEGEND

- Tree Preservation
- Wetland
- Floodplain
- Pond Line

DEVELOPER
JD HAM LAKE
HOLDINGS, LLC
105 5TH AVE. S.
SUITE 513
MINNEAPOLIS, MN 55401
TEL: (612) 252-9070

CITY



PROJECT
KOHLER FARMS

HAM LAKE, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
10 JUL 2025	PRE PLAT SUBMITTAL	ETL
22 JUL 2025	SKETCH PLAN RESUBMITTAL	ETL
23 JUL 2025	WATERSHED SUBMITTAL	ETL
26 JUL 2025	PRE PLAT RESUBMITTAL	ETL
18 AUG 2025	PRE PLAT RESUBMITTAL	ETL
20 AUG 2025	PRE PLAT RESUBMITTAL	ETL
04 SEP 2025	PRE PLAT RESUBMITTAL	ETL

CERTIFICATION

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Erik T. Lutz
Erik T. Lutz, PE
License No: 150473 Date: 09/04/2025

Signature shown is a digital reproduction of original. We signed copy of the plan on file at Landform Professional Services, LLC office and is available upon request.

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT
VISIBLE, THIS SHEET HAS BEEN REPRODUCED WITHOUT INTENTED
REPRODUCIBILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT
THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT SUBMITTAL
SEPTEMBER 4, 2025



105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME L100LDP010.DWG

PROJECT NO. LDP24010

TREE PRESERVATION PLAN INDEX & NOTES

L1.0

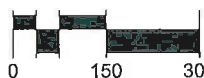
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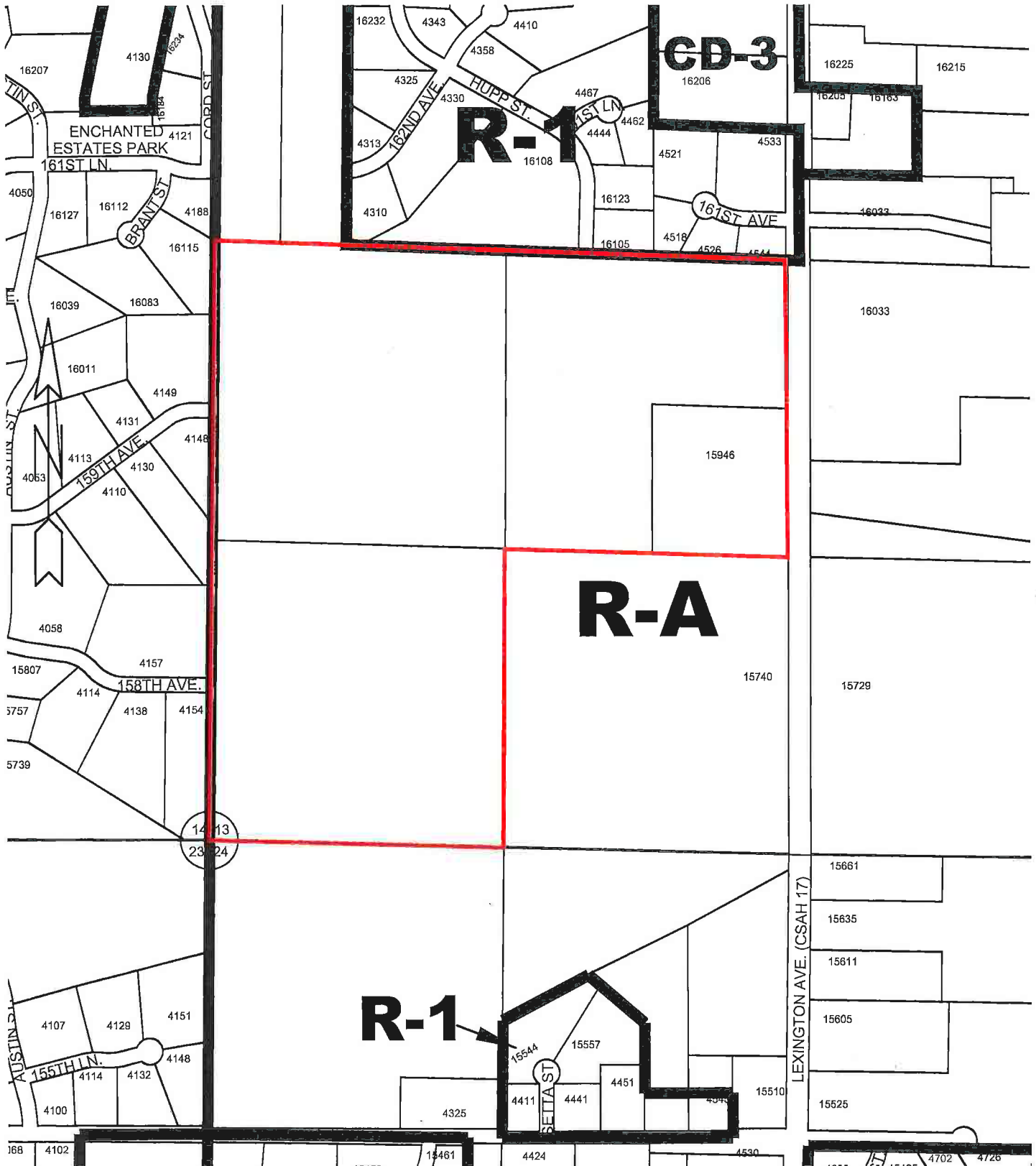


Know what's Below.
Call before you dig.



NORTH

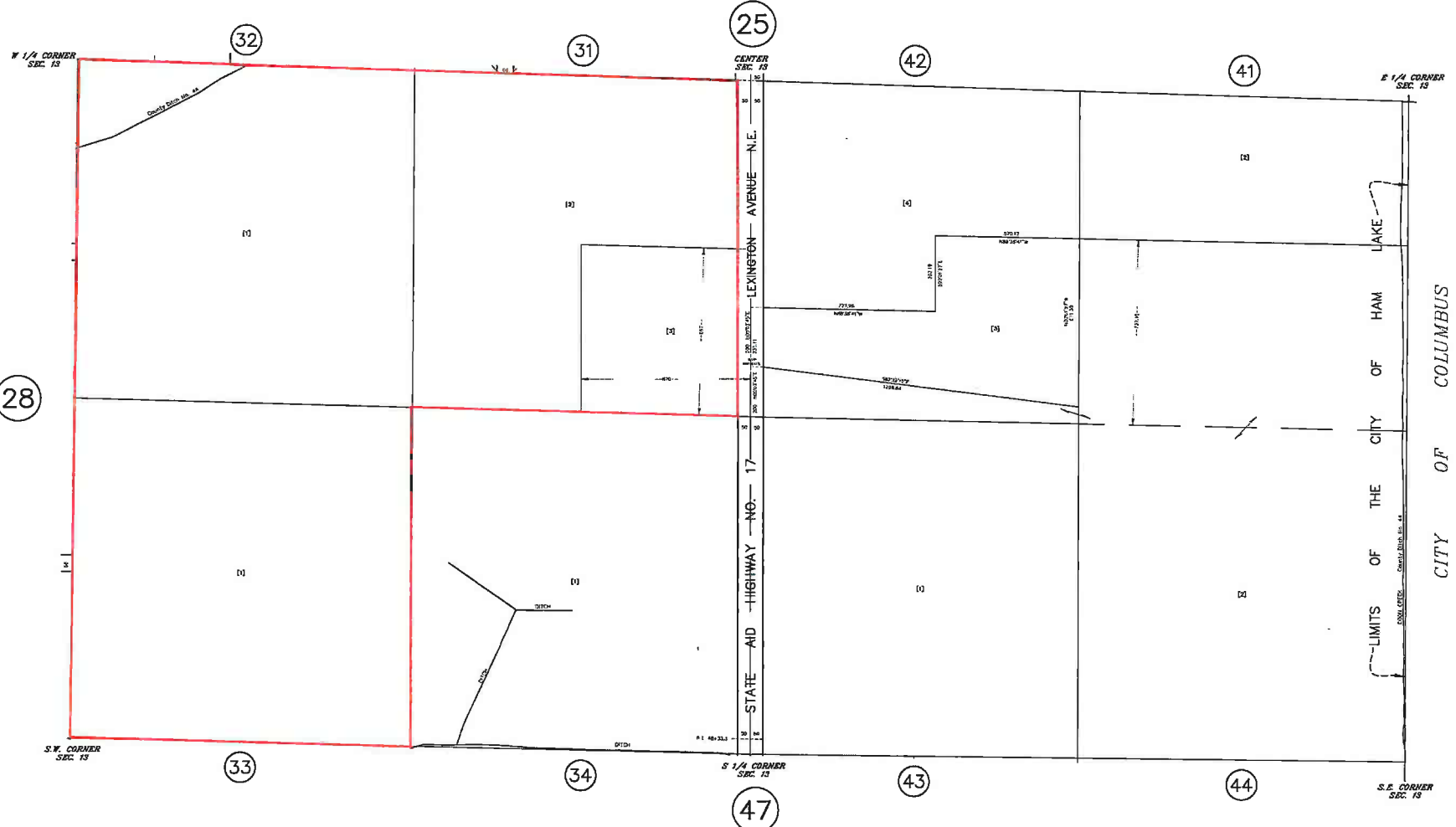




S 1/2 SECTION 13, T. 32, R. 23

CITY OF HAM LAKE

26



GRAPHIC SCALE
200 0 100 200
SCALE IN FEET

ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER-QUARTER INDEX

32	21	12	11
23	24	13	14
32	31	42	41
33	34	43	44

NORTH HALF OF SECTION

SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 13-32-23-43-0001

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

David Krugler

From: Mark Jones <mjones@hamlakemn.gov>
Sent: Wednesday, July 16, 2025 8:24 AM
To: David Krugler
Cc: Thomas Dietrich; Jennifer Bohr
Subject: RE: Buildings

15946 per Anoka County is taxed AGRICULTURAL, and the out building are used for agriculture purpose, he does farm other land in the area. The out buildings would meet the requirements of Minnesota Statutes section 326B.103, subdivision 3 for definition for agriculture building. This property by city code will still need to remain R-A. Also by city code, Farm Building is a structure located in an R-A District which is used for bona fide agricultural purposes, but is required to meet a 100 foot setback from the property line. The building to the west per Anoka County GIS just makes this 100 foot setback, if the lot adjustment does reduce this setback then a correction will be need, whether the building then will need to be removed (demoed, or the other word), size reduction, or by Variances. As to the septic system, tanks need a setback ten feet, twenty feet for rock bed, this can be reduced if the building has no space below grade and approved by the Building Official.

9-370 Accessory Buildings and Farm Buildings An Accessory Building is any structure located or proposed to be located in any Residential Land Use in the R-1, R-A and PUD zoning districts, which is not the dwelling unit, and which is not a garage, which is not a Farm Building, and which has a floor size of more than 200 square feet. A building or structure meeting the above definition except for the size, is a yard shed. A Farm Building is a structure located in an R-A District which is used for bona fide agricultural purposes, including farm machinery storage, crop storage or housing livestock, poultry or horses.

9-370.7 Farm Buildings A Farm Building is a structure located on land zoned R-A, which is not a dwelling unit. No Farm Building may be constructed at a distance closer than 100 feet from any lot line

Mark Jones
Building/Zoning official
City Hall (763) 434-9555
Desk (763) 235-1674
mjones@hamlakemn.gov

-----Original Message-----

From: David Krugler <DKrugler@rfcengineering.com>
Sent: Tuesday, July 15, 2025 8:54 PM
To: Mark Jones <mjones@hamlakemn.gov>
Subject: Buildings

Caution: This email originated outside our organization; please use caution.

**Tradewell Soil Testing
18330 Dahlia Street NW
Cedar, MN 55011**

August 26th, 2025

RFC Engineering
13635 Johnson Street NE
Ham Lake, MN 55304

To whom it may concern:

As a licensed site evaluator who conducted the soil borings at the Kohler Farm in Ham Lake, for JD Ham Lake Holdings, LLC, I found the following: Each boring has at least 12" of natural, undisturbed soil with no redox features (mottled soil). In order to design and install a standard soil treatment system according to MN Chapter 7080 Code, at least 12" of natural soil with no signs of redox (mottling) is required. Therefore, each of the proposed lots will support 2 "standard" septic systems within the 7,500 square feet septic area as shown on the Grading Plan.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark Tradewell". The signature is fluid and cursive, with the first name "Mark" written in a smaller, more compact script than the last name "Tradewell", which is written in a larger, more expansive cursive style.

Mark Tradewell
MPCA #307

PRESIDENTS

CITIES

BATTLES

AUTOMOBILES



HAM LAKE,
MINNESOTA

BIKE FACILITIES MAP

Legend

- Potential Future Park
- Existing Bike Lane
- Existing Bike Path
- Proposed County Bike Path
- Proposed Bike Lane/Path
- Proposed Bike Lane
- Proposed Bike Path
- Existing Park

0 1,750 3,500 7,000
Feet

MAP DATE:

7/1/2025

RFC
Engineering, Inc.
Consulting Engineers

G:\Website\Bike.mxd

