



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, NOVEMBER 10, 2025

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: October 13, 2025

PUBLIC HEARING:

6:01 p.m. Joseph Radach of Contour Development LLC, requesting rezoning for Elwell Farms in Section 36 from R-A (Rural Single Family Residential) and R-1 (Single Family Residential) to Planned Unit Development (PUD).

NEW BUSINESS:

1. Jeff Entsminger of Nova Development, LLC, requesting Final Plat Approval of Harmony Estates 3rd Addition (21 Single Family Residential lots and 3 outlots) in Section 22.

COMMISSION BUSINESS:

1. City Council Update

CITY OF HAM LAKE
PLANNING COMMISSION MINUTES
MONDAY, OCTOBER 13, 2025

The Ham Lake Planning Commission met for its regular meeting on Monday, October 13, 2025, in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Kyle Lejonvarn, David Ross, Jeff Entsminger, Jonathan Fisher, and Erin Dixson

MEMBERS ABSENT: Commissioner Dave Ringler

OTHERS PRESENT: City Engineer Dave Krugler and Building and Zoning Clerk Jennifer Bohr

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Dixson, seconded by Fisher, to approve the minutes of the September 22, 2025 Planning Commission meeting as written. All present in favor, motion carried.

PUBLIC HEARING: None

NEW BUSINESS:

Daniel Tousignant of Allan Dorney Construction MN, Inc, on behalf of The Church of St. Paul, requesting Commercial Site Plan approval for the construction of a 60' X 80' storage building at 1740 Bunker Lake Boulevard NE

Mr. Daniel Tousignant was present. Mr. Tousignant stated the church would like to construct a pole building for storage south of the parking lot. Mr. Tousignant stated a plow truck, that has been parked outside in the parking lot year around, will be stored in the building in addition to some seasonal items currently stored inside of the church building. Mr. Tousignant stated maintenance of the plow truck will also be done inside of the building. Chair Pogalz stated the narrative provided for this project states the project allows the church to comply with updated fire codes as well. Commissioner Fisher completed the inspection, a copy which is on file. Commissioner Fisher stated the building will be constructed to the south of the existing parking lot. Commissioner Fisher stated the area that will be behind the building, along the southern portion of the parcel, is mostly wooded except for a small area in the southwest corner. There was discussion about the existing tree cover and whether additional screening was needed.

Commissioner Fisher stated planting a couple conifer trees in the bare area would provide sufficient screening. Commissioner Lejonvarn stated additional trees should be planted to provide adequate screening. Chair Pogalz asked Mr. Tousignant if he had seen Building and Zoning Official Jones' memo with the list of conditions for approval. Mr. Tousignant stated he had. Chair Pogalz asked Mr. Tousignant if the building will have a concrete floor with in-floor, radiant heat. Mr. Tousignant stated it will. Chair Pogalz reviewed the remaining conditions of approval noted on Building Official Jones' memo. **Motion by Fisher, seconded by Entsminger, to recommend approval of the request of Daniel Tousignant of Allan Dorney Construction MN, Inc, on behalf of The Church of St. Paul, for Commercial Site Plan approval to construct a 60' X 80' storage building at 1740 Bunker Lake Boulevard NE subject to the following conditions: the building is to be used for storage only, the building meets the Mechanical Code, if a floor drain is installed, it must meet the Plumbing Code, no outside storage, all surfaces that a vehicle can drive on need to be a Code approved hard surface, planting at least two conifer trees near the southwest corner of the building to provide sufficient screening between the church property and the residential property south of the building and meeting all State, County and City Codes. All present in favor, motion carried. This application will be placed on the City Council's Monday, October 20, 2025, agenda.**

Brian Larson of Classic Construction Services, on behalf of Dercon Construction Services, Inc., requesting Commercial Site Plan approval for the construction of an office warehouse building at 14961 Aberdeen Street NE (Lot 1, Block 2 Fox Tail Ridge)

Mr. Brian Larson of Classic Construction Services, and Mr. Dean Marquette of Dercon Construction Services, Inc. (Dercon), were present. Mr. Larson spoke on behalf of the project. Mr. Larson stated Dercon is currently located in Andover; the company would like to relocate to Ham Lake to construct an office warehouse building that will allow for growth and expansion of their remodeling business. Chair Pogalz asked Engineer Krugler to comment. Engineer Krugler stated the location is a 1.67-acre parcel of record in the Fox Tail Ridge subdivision. Engineer Krugler stated the subdivision is in the Planned Unit Development (PUD) zoning district with the parcel being zoned Commercial Development II (CD-2). Engineer Krugler stated the applicant is proposing a 11,377 square-foot building with landscaping that includes fencing for screening on the eastern border of the parcel that is adjacent to residential property. Engineer Krugler stated there is a temporary cul-de-sac at the northwest corner of the parcel which was not constructed within an easement. The owner has elected to allow the cul-de-sac to remain until Aberdeen Street is extended. There is also a cul-de-sac easement at the northeast corner of the parcel. Engineer Krugler stated the cul-de-sac easement at the northeast corner of the parcel, is at the eastern end of 150th Avenue NE, a dirt road; it provides a turnaround area and access to two residential parcels. Engineer Krugler stated Dercon will not be using 150th Avenue NE to access the parcel so the applicant will not be required to improve the road, and the city has no plans to improve the road. Engineer Krugler stated the developer has agreed to sign an encroachment agreement to allow site improvements within the cul-de-sac easement. Engineer Krugler stated Coon Creek Watershed District (CCWD) has approved the project and a Minnesota Pollution Control Agency National Pollutant Discharge Elimination System Construction Stormwater Permit (NPDES) is required before grading operations can commence. Commissioner Lejonvarn completed

the inspection, a copy which is on file. Commissioner Lejonvarn stated the lot is wide open as all trees have been cleared from the parcel; the residential property to the east of the parcel can be clearly seen from Aberdeen Street NE. Commissioner Lejonvarn stated there are a couple trees on the western side, or front yard of the parcel; screening along the eastern border of the parcel will be necessary. There was discussion about recommending conifer trees for screening on the east and west sides of the parcel, the challenges of planting trees due to the proposed location of the infiltration pond, limited space on the eastern side of the parcel and other acceptable screening options such as a fence. Chair Pogalz asked Mr. Larson and Mr. Marquette if they had reviewed the information in the packet and the recommendations made by Engineer Krugler and Building and Zoning Official Jones. Mr. Larson and Mr. Marquette acknowledged that they had. Mr. Marquette stated the residential property owners to the east requested that all trees be removed as some trees were on the property line. Mr. Marquette stated the fence is being proposed for screening as well as for security for construction equipment, tools and items that will be stored on the eastern side of the parcel. Mr. Marquette stated he would follow Code requirements noting the Code lists fencing as a type of permitted screening. Commissioner Lejonvarn asked if there is any room to plant trees. Mr. Marquette stated there is not due to the elevation change of five to six feet from the residential property line to the infiltration pond and the location of the retaining walls. Chair Pogalz noted Building and Zoning Official Jones' memo states fencing is to meet City Code, screening is to be provided in areas abutting residential property as required by Article 11-1853(A) and screening material must be approved by the Building Official. Chair Pogalz reviewed the conditions of approval listed in Building and Zoning Official Jones' memo. There was discussion about whether trees should be required along Aberdeen Street NE. **Motion by Lejonvarn to recommend approval of the request of Brian Larson of Classic Construction Services, on behalf of Dercon Construction Services, Inc., for Commercial Site Plan approval to construct an office warehouse building at 14961 Aberdeen Street NE, subject the building being used for office/warehouse use only, trucks unloading or loading shall not block any portion of Aberdeen Street NE at any time, no on-street parking is allowed, no outside storage, all fencing is to meet City Code, all trash containers are to be screened as required by City Code, screening is to be provided in areas abutting residential property as required by Article 11-1853(A) of City Code, screening material must be approved by the Building Official, meeting the requirements of the City Engineer, obtaining a Coon Creek Watershed District (CCWD) permit and National Pollutant Discharge Elimination System (NPDES) permit before groundwork can begin, operating hours of 7:30 am to 5:30 pm Monday through Friday and meeting all State, County and City requirements.** Chair Pogalz asked for clarification on the type of screening that will be required adjacent to residential property. Commissioner Lejonvarn stated the eight-foot fence is the recommended screening adjacent to residential property. There was discussion on whether to include operating hours as one of the conditions of approval. Chair Pogalz asked if the Planning Commission needed to have any additional discussion about past issues associated with the parcel that may need to be addressed to ensure records are accurate in the future. Engineer Krugler stated he was not aware of any; the encroachment agreement will address the current cul-de-sac easement issue. Chair Pogalz asked if the encroachment agreement would affect the use of the building. Engineer Krugler said it would not; it may affect the parking

area and the proposed eastern septic area. **Motion seconded by Entsminger. All present in favor, motion carried.** *This application will be placed on the City Council's Monday, October 20, 2025, agenda.*

Mr. Larson asked if the encroachment agreement needed to be signed before the City Council meeting. Engineer Krugler stated the encroachment agreement would need to be signed before a building permit could be issued.

Commissioner Entsminger removed himself from the table due to being a contractor for the developer of Elwell Commercial Park.

Nate Byom of Kwik Trip, Inc requesting Commercial Site Plan approval for the construction of a convenience store (retail facility), with 10 fuel dispensers, at proposed Lot 1, Block 1 of Elwell Commercial Park at the northwest corner of 143rd Avenue NE and Highway 65 NE

Ms. Lisa Wadsen, Kwik Trip Real Estate Development Manager for the Minnesota market, was present. Ms. Wadsen stated the proposed convenience store will be Kwik Trip's newest store concept labeled as Gen3. Ms. Wadsen stated the store will be 9,100 square feet and there will be ten fueling stations. Ms. Wadsen listed some of the features the store will have, such as two self-checkout lanes, high top and low top seating areas so customers can eat inside of the store, a produce island, an expanded grocery and refrigeration area as well as an expanded kitchen area. Ms. Wadsen stated construction is scheduled to start in June 2026. Ms. Wadsen stated the parcel the store will be on will be 3.67 acres; it will not have a car wash. Ms. Wadsen stated Kwik Trip gives back to the community in many ways such as giving items to food banks, supporting police and fire departments during training events by providing water or energy drinks, hiring adult workers who may have special needs or want a place to work, participating in local events and supporting local sports teams. Ms. Wadsen stated all Kwik Trip store employees benefit from profit sharing whether they work full-time or part-time. Ms. Wadsen stated Kwik Trip provides leadership opportunities for employees, allowing them to train for management positions and relocate to other stores. Chair Pogalz asked Engineer Krugler to comment. Engineer Krugler stated the Kwik Trip store will be located on the future Lot 1, Block 1 of Elwell Commercial Park. (The Elwell Commercial Park plat has not yet been filed with Anoka County.) Engineer Krugler stated Kwik Trip has presented an extensive landscaping plan; the parcel is bordered by Highway 65 NE or commercial property, and the landscape plan appears to meet the requirements for screening along Highway 65 NE. Engineer Krugler stated there are two different storm sewer discharge systems proposed; a portion of the stormwater runoff that will contain typical vehicle and roof contaminants will be conveyed to the regional pond within the Elwell Commercial Park plat; the remainder of the stormwater runoff will be treated on-site and discharged to the MnDOT Trunk Highway 65 right-of-way. Engineer Krugler stated there is a Northern Natural Gas (NNG) pipeline easement located in the southwest corner of the parcel; a NNG representative must be present on-site during any work that disturbs area adjacent to the pipeline. The project has been conditionally approved by the CCWD and an NPDES permit will be needed before grading operations can commence. Chair Pogalz reviewed Building and Zoning Official Jones' memo. Chair Pogalz completed the inspection, a copy which is on file. Chair Pogalz stated the commercial development this store will be built

in, was approved earlier this year, mass grading has been done at the site and storm sewer is currently being put in place. Chair Pogalz stated the billboard sign that is to be removed is still in place. Engineer Krugler stated the billboard will need to be removed prior to issuance of a building permit for the Kwik Trip store. Chair Pogalz stated the landscaping plan is extensive and meets the requirements of Code. **Motion by Pogalz, seconded by Fisher, to recommend approval of the request of Nate Byom, of Kwik Trip, Inc, for Commercial Site Plan approval for the construction of a 9,100 square foot convenience store (retail facility), with 10 fuel dispensers, at proposed Lot 1, Block 1 of Elwell Commercial Park at the northwest corner of 143rd Avenue NE and Highway 65 NE subject to the recording of the plat of Elwell Commercial Park with Anoka County and Kwik Trip, Inc. providing proof of ownership of Lot 1, Block 1 before a building permit is issued, the septic design passing plan review, obtaining a Coon Creek Watershed District (CCWD) permit and National Pollutant Discharge Elimination System (NPDES) permit before groundwork begins, all exterior lighting meeting City Code requirements, meeting the requirements of the City Engineer, and meeting all State, County and City Code requirements. Commissioners Pogalz, Lejonvarn, Ross, Fisher and Dixson voted yes, Commissioner Entsminger abstained from the vote. Motion carried. This application will be placed on the City Council's Monday, October 20, 2025 agenda.**

Chair Pogalz verified Ms. Wadsen had seen all documents in the packet. Ms. Wadsen stated she had, and that she has no concerns. Ms. Wadsen provided an update on recent communication Nate Byom has had with the CCWD.

Commissioner Entsminger returned to his seat at the table.

COMMISSION BUSINESS:

City Council Update

Chair Pogalz informed the Commissioners that the City Council concurred with the Commission's recommendations to approve the Conditional Use Permit for Enthusiast Car Co. A Planning Commissioner will not be present at the October 20, 2025 City Council meeting.

ADJOURNMENT:

Motion by Dixson, seconded by Fisher, to adjourn the Planning Commission meeting at 6:46 p.m. All present in favor, motion carried.

Jennifer Bohr
Building and Zoning Clerk

**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: Nov. 10, 2025

INSPECTION ISSUED TO: Brian Pogalz

APPLICANT/CONTACT: Joseph Radach, Contour Development, LLC

TELEPHONE NUMBER: 612-730-2265/jradach@contourcd.com

BUSINESS/PLAT NAME: Elwell Farms

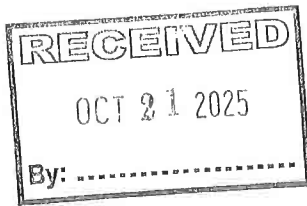
ADDRESS/LOCATION OF INSPECTION: Section 36/SE Corner of Ham Lake

APPLICATION FOR: Rezoning from RA & R1 to PUD

RECOMMENDATION: _____

DATE: _____

PLANNING COMMISSIONER SIGNATURE: _____



CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

**PLANNING
REQUEST**

Date of Application 10/20/25

Date of Receipt 10-21-2025

Receipt # _____ Amount \$ _____

Meeting Appearance Dates:

Planning Commission 11-10-25

City Council _____

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other _____

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: Elwell Farms

Address/Location of property: Lexington Avenue NE and 136th Avenue NE

Legal Description of property: See plat

PIN # TBD **Current Zoning** R-1/RA **Proposed Zoning** PUD

Notes: _____

Applicant's Name: Joseph Radach

Business Name: Contour Development LLC

Address P.O. Box 89

City Rockford **State** MN **Zip Code** 55373

Phone 612-730-2265 **Cell Phone** 612.730.2265 **Fax** _____

Email address jradach@contourcd.com

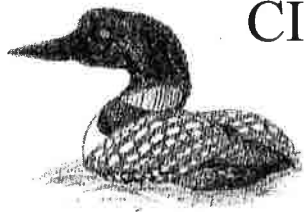
You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE **DATE** 10/20/25

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____
City Council _____

PROPERTY TAXES CURRENT YES **NO**
Any Active/Deferred Assessments YES **NO**



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

NOTICE OF PUBLIC HEARING
CITY OF HAM LAKE
COUNTY OF ANOKA
STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, November 10, 2025 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Joseph Radach, Contour Development LLC, requesting rezoning of the plat of Elwell Farms from R-A (Rural Single Family Residential) and R-1 (Single Family Residential) to PUD (Planned Unit Development) in Section 36, a parcel of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

Lot 1, Block 1; Lots 1-5, Block 2; Lots 1-31, Block 3; Lots 1-13, Block 4; and Outlots A, B, C, D, E, F, G, H, Elwell Farms

At such hearing both written and oral comments will be heard.

DATED: October 31, 2025

Jennifer Bohr
Building and Zoning Clerk
City of Ham Lake



October 22, 2025

Jennifer Bohr – City Building/Zoning Clerk
Members of the City Council and Planning Commission

City of Ham Lake
15544 Central Avenue NE
Ham Lake, MN 55304

Re: **ELWELL FARMS**
Rezone to PUD

Ms. Bohr and Members of the City Council/Planning Commission:

Contour Development LLC is pleased to present this request to rezone the proposed Elwell Farms development to Planned Unit Development (PUD). Elwell Farms is located near the intersection of Lexington Avenue NE and 136th Avenue NE and consists of 107 residential lots, several outlots, and dedicated parkland.

Overview

- Land Area: 515.14 acres
- Existing Zoning: R-A and R-1
- Proposed Zoning: Planned Unit Development (PUD)
- Lots: 107 single family lots
5 outlots
2 parkland dedications
- Access: 136th Avenue NE, 139th Lane NE, Opal Street NE
- Utilities: Well and Septic
- Purpose: PUD zoning will allow a mix of uses for the property

Request

Contour Development LLC is requesting to rezone the entire Elwell Farms project to Planned Unit Development (PUD) to allow residential lots meeting the R-1 zoning requirements, one community pool/clubhouse lot meeting the R-1 zoning requirements, and three outlots to be used for wetland banking with an underlying zoning of R-A. The preliminary plat for Elwell Farms was approved by City Council on 7/21/25. The final plat for the first addition of Elwell Farms was approved by City Council on 9/2/25.

Residential Lots

The lots vary in size from one acre to about 19 acres. Septic borings have been completed for each lot to prove septic viability and lot buildability. Each lot has been designed with a 50-foot deep by 70-foot wide building pad. Where possible, walkout pads have been designed to provide desirable house types. All lots have the required public street frontage and meet the minimum size requirements of the R-1 zoning code. No changes to the approved preliminary plat lots are being requested for the requested rezoning.

Community Pool/Clubhouse Lot

Based on feedback from our builder partners, a community clubhouse and commercial style pool is a highly desirable amenity for residential developments of this size. To accommodate our builders and to continue to strive to create a unique and successful development in Ham Lake, we have agreed to build a community clubhouse and commercial style pool in Elwell Farms Second Addition. The clubhouse/pool will be located on Lot 2, Block 2, Elwell Farms Second Addition (Lot 15, Block 5, Elwell Farms preliminary plat). Based on feedback from city staff, rezoning the project to PUD would allow for construction of the proposed clubhouse and pool. The proposed clubhouse/pool lot meets the R-1 zoning requirements. The primary purpose of the rezoning is to allow for construction of the clubhouse and pool on a residential lot. A conceptual rendering of the clubhouse is provided below.



Wetland Banking Areas

The project proposes a significant amount of wetland banking areas. Based on feedback from the city, rezoning the project to PUD will allow for the proposed wetland banks with an underlying zoning of R-A. No changes to the wetland banking areas are proposed at this time. We understand that a conditional use permit or some other permit will be required at the time of establishment of the wetland bank. We are currently working with Wetland Conservation Act Technical Evaluation Panel and United States Corps of Engineers on the wetland bank prospectus and expect to move forward with city approvals in 2026.

Schedule

The first additional of Elwell Farms is complete with lots currently available for builders. The second addition of the Elwell Farms has been submitted to the city, and we expect to complete the second addition public improvements in the spring of 2026. The clubhouse is scheduled for construction in the spring of 2026 with completion expected in the fall of 2026. The establishment of the wetland banks are tentatively scheduled for the summer/fall of 2027.

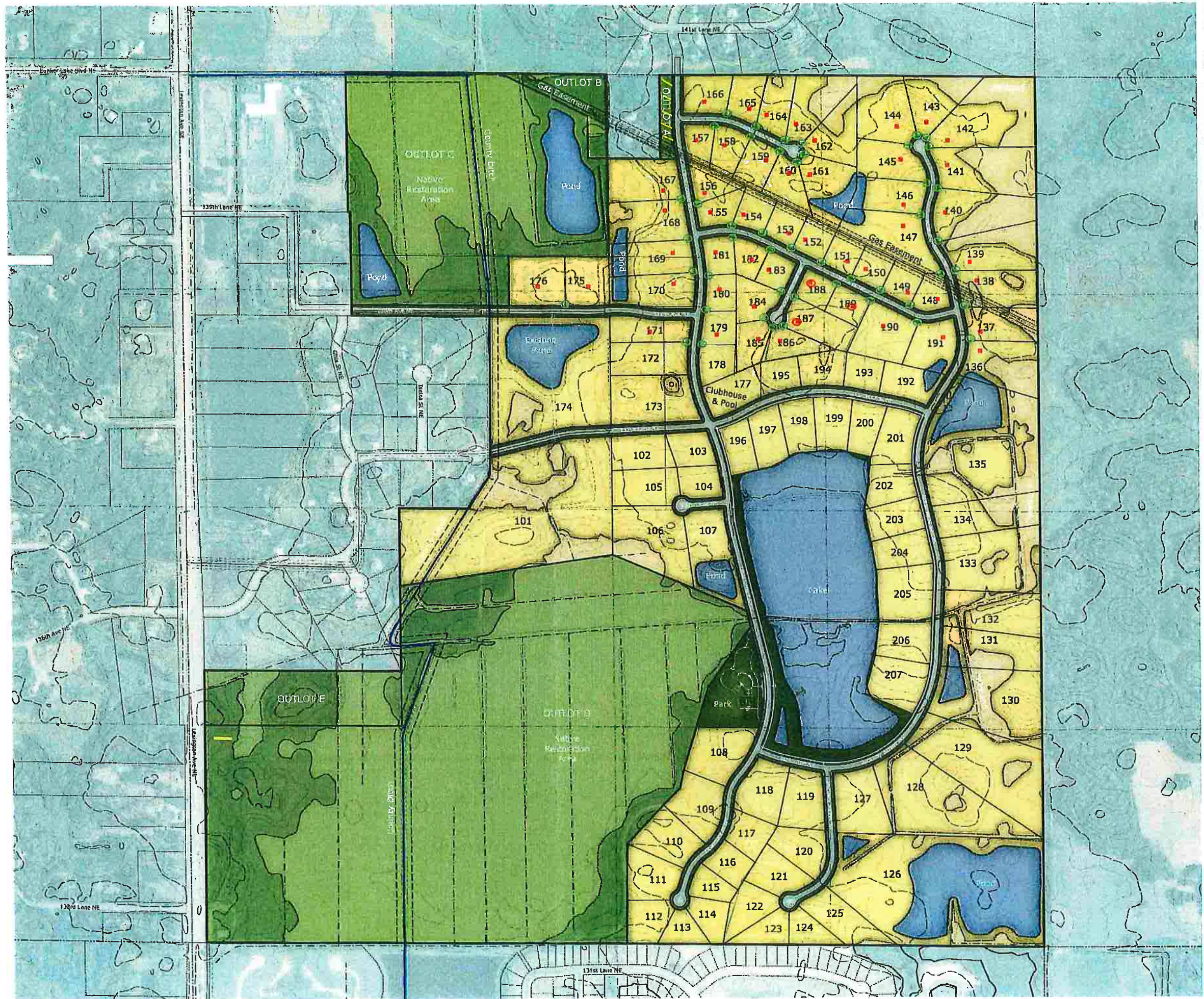
Closing

We are excited to partner with the City of Ham Lake to bring this development to the community. Thank you for your consideration of our request to rezone to PUD to allow for the community clubhouse and pool and the wetland banking areas. If you have any questions or require further information, please contact me at 612-730-2265 or via email at jradach@contourcd.com.







Respectfully,



Joseph Radach PE
Contour Development LLC
8195 Vernon Street
Rockford, MN 55373



SITE DATA

	107 - SINGLE FAMILY LOTS
	MINIMUM LOT SIZE 1.0 AC
	FUTURE PARK AREA
	OUTLOT AREAS
	STORMWATER AREAS
	WETLAND AREAS
<hr/>	
TOTAL SITE AREA	515.14 AC
LOT AREA	267.82 AC
PARK AREA	34.70 AC
OUTLOT AREA	183.31 AC
RIGHT-OF-WAY AREA	29.31 AC

CARLSON
ENGINEERING
SURVEYING
PLANNING

3800 PHEASANT RIDGE DRIVE NE, SUITE 100, BLAINE, MN 55449
TEL: 763.488.7900 \ FAX: 763.488.7959 \ CARLSON-ENGINEERING.COM

SITE PLAN RENDERING

ELWELL FARMS
Ham Lake, Minnesota

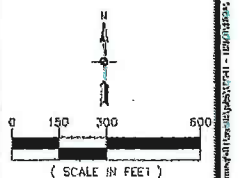
Contour Development, LLC

PO Box 89
Rockford, MN 55373

REVISIONS

1. 09/18/24 - Layout / ROW Revisions
2. 10/18/24 - Layout / Pond Revisions
3. 11/07/24 - Pond Revisions
4. 12/19/24 - Gas Line Easement
5. 02/06/25 - Pond Revisions
6. 05/22/25 - Layout / Pond Revisions
7. 07/15/25 - Clubhouse Relocation

DRAWN BY: Cc / RJR
ISSUE DATE: 09/09/24
PROJECT NO: 10941



1 of 1



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application June 23, 2025 Date of Receipt 6/23/25
Receipt # 102812 Amount \$ 10,000

Meeting Appearance Dates:
Planning Commission 11-10-2025 City Council _____

Please check request(s):

- | | |
|---|---|
| <input type="checkbox"/> Metes & Bounds Conveyance | <input type="checkbox"/> Commercial Building Permit. |
| <input type="checkbox"/> Sketch Plan | <input type="checkbox"/> Certificate of Occupancy |
| <input type="checkbox"/> Preliminary Plat Approval* | <input type="checkbox"/> Home Occupation Permit |
| <input checked="" type="checkbox"/> Final Plat Approval | <input type="checkbox"/> Conditional Use Permit (New)* |
| <input type="checkbox"/> Rezoning* | <input type="checkbox"/> Conditional Use Permit (Renewal) |
| <input type="checkbox"/> Multiple Dog License* | <input type="checkbox"/> Other _____ |

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: Nova Development, LLC.

Address/Location of property: East of Xyllite Street NE and North o Westlund Drive NE

Legal Description of property: See final plat

PIN # 22-32-23-24-0004 Current Zoning PUD Proposed Zoning No Change

Notes: _____

Applicant's Name: Jeff Entsminger

Business Name: Nova Development, LLC.

Address 14916 Central Ave NE

City Ham Lake State MN Zip Code 55304

Phone 763-767-6070 Cell Phone 612-669-4004 Fax _____

Email address jeff@allseasonservices.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 5/22/25

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____
City Council _____

PROPERTY TAXES CURRENT YES NO
Any Active/Deferred Assessments YES NO

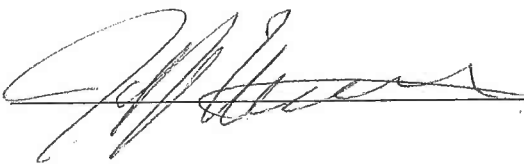
**CITY OF HAM LAKE
ACKNOWLEDGMENT OF RESPONSIBILITY
TO REIMBURSE EXPENSES**

The undersigned, Jeff Entsminger, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

Type of Application

acknowledges that the sum of \$ _____, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

Applicant Signature



Dated

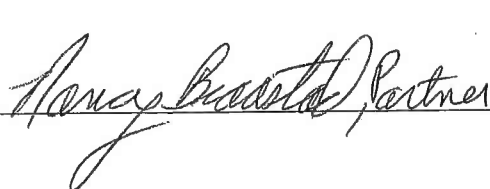
5/27/25

The following statement must be signed if the applicant is not the property owner:

Hogdal Farm Limited Partnership, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

I am aware of the application being submitted by the applicant and approve the request.

Property Owner Signature




Dated

6/11/25

Memorandum

Date: November 6, 2025

To: Planning Commissioners

From: David A. Krugler, City Engineer 

Subject: Harmony Estates Third Addition

Introduction:

The Cover Sheet, Preliminary Plat Exhibit, Preliminary Grading, Drainage & Erosion Control Plan, Tree Preservation Plan, Details, Livability Plan were received September 17th and the Stormwater Management Plan was received June 20th for the proposed 21 lot residential development located on the 167.32-acre parcel 22-32-23-24-0004.

The attached Preliminary Plat for the overall 65-lot development and phasing of Harmony Estates was approved at the February 5, 2007 City Council meeting. The Preliminary Plat approval timeframe was extended by annual extensions until Resolution 15-50 was passed extending preliminary plat approval to October 5, 2025. The 2013 Harmony Estates plat included 12 lots, and the 2016 Harmony Estates 2nd Addition plat included 23 lots. Harmony Estates 3rd Addition was reduced to an additional 21 lots with three outlots. Outlots A and C are for future development. Outlot B is to be park dedication. There were no revisions to the plans that received preliminary plat reapproval at the March 21, 2022 City Council meeting.

The lot lines and right-of-way match what was approved in 2007. Revisions were needed for the drainage and utility easements due to the updated wetland boundaries and revised stormwater treatment. Because the revisions to the 2007 approved Preliminary Plat are considered insignificant and another public hearing was not required.

The overall development was rezoned Planned Unit Development (PUD) in 2007 with the Preliminary Plat approval. A 500-scale zoning map and a 400-scale half-section map are attached. A PUD district is a development which involves single family housing of the variety found in the R-1 District, combined with a second active land use of a non-residential nature. For Harmony Estates, the second active land use is farming. Outlots A and C are to remain as farmland.

Discussion:

The Preliminary Plat dedicates 8.62 acres of parkland as Outlot B. An additional 10-foot of right-of-way is being dedicated on the south side of 153rd Avenue and 154th Avenue, where the development will construct a 10-foot-wide bituminous trail similar to what was constructed with Harmony Estates and Harmony Estates 2nd Addition. The parkland dedication and trail easement dedication will be applied as a credit to the parkland dedication fee in the Development Agreement.

A Federal Emergency Management Agency (FEMA) Letter of Map Amendment will be required for Lots 1 and 6 of Block 1, Lot 1 of Block 2, and Lots 4, 5 and 6 of Block 3. The Development Agreement will stipulate that these lots are not eligible for a building permit until the Letter of Map Amendment is approved by FEMA.

The February 21st 2022 Tradewell Soil Testing septic certification certifies that the lots will support two standard septic systems in accordance with Minnesota Rules 7080. An Encroachment Agreement will be required due to the Lot 5, Block 3 septic sewer pipe that will cross the drainage and utility easement.

The Preliminary Plat was issued a permit by the Coon Creek Watershed District (CCWD) on August 7th, per the attached. The Stormwater Management Plan verifies that the post development 100-year discharge rates to the easterly, westerly and southerly portions of the property do not exceed pre-development 25-year rates due to the CCWD sensitive downstream use classification. The Wetland Permit Application included a section on Rare & Endangered Species Considerations. The Application concluded that no state-listed threatened, endangered or special concern plant species would be endangered by the development.

The 154th Lane temporary cul-de-sac right-of-way within the 2nd Addition may be vacated after the first lift of bituminous paving is completed. An exhibit showing the location of utilities will be required to verify that there are no utilities in what is to be considered for vacation, along with an exhibit and legal description of what is proposed to be vacated. Drainage and Utility easements within Outlot A were dedicated to provide the City access to storm drainageways until Harmony Estate Third Addition was filed. The easements match the proposed easements shown on Harmony Estates Third Addition Plat.

Recommendations:

It is recommended that the Final Plat of Harmony Estates Third Addition be recommended for approval to the City Council. It is also recommended to schedule the public hearing to vacate the Drainage and Utility easement with Harmony Estates Second Addition Outlot A.

Preliminary Plat of: **HARMONY ESTATES**
CITY OF HAM LAKE COUNTY OF ANOKA



EXISTING LEGAL DESCRIPTION:
The Northeast Quarter of Section 22, Township 32, Range 23, Anoka County, Minnesota,
AND
The North Half of the Southwest Quarter of Section 22, Township 32, Range 23, Anoka County, Minnesota,
EXCEPT the following described property:
That part of the Northwest Quarter of the Southwest Quarter of Section 22, Township 32, Range 23, Anoka County, Minnesota, described as follows:
Beginning at a point on the west line of said Northwest Quarter of the Southwest Quarter, distant 744.79 feet southerly of the northeast corner thereof; thence North 00 degrees 18 minutes 09 seconds East, assumed bearing, along said west line a distance of 235.00 feet; thence South 71 degrees 55 minutes 00 seconds East a distance of 357.00 feet; thence North 30 degrees 30 minutes 50 seconds East a distance of 235.00 feet; thence South 39 degrees 23 minutes 00 seconds East a distance of 175.00 feet; thence South 47 degrees 55 minutes 16 degrees West a distance of 386.31 feet to the intersection with a line down southeasterly from the point of beginning on a bearing of South 70 degrees 32 minutes 21 seconds East; thence North 70 degrees 32 minutes 21 seconds West a distance of 366.74 feet to the point of beginning.

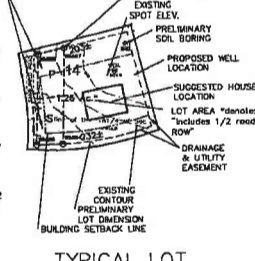
AND EXCEPT:
That part of said Northwest Quarter of the Southwest Quarter, described as commencing at the northeast corner of said Southwest Quarter; thence on an assumed bearing of South 0 degrees 00 minutes along the West line thereof a distance of 744.79 feet; thence South 70 degrees 30 minutes 50 seconds East 347.25 feet to the point of beginning of the land to be described; thence North 46 degrees 06 minutes 40 seconds East 282.85 feet; thence South 54 degrees 17 minutes 30 seconds East 197.72 feet; thence South 53 degrees 20 minutes West 206.78 feet; thence North 70 degrees 50 minutes 30 seconds West 184.77 feet to the point of beginning.

AND EXCEPT:
That part of said North Half of the Southwest Quarter lying within the plat of LAMVIEW ADDITION, according to the recorded plat thereof, Anoka County, Minnesota, and that part of Xylite Street N.E., as dedicated in said plat.
Subject to the right-of-way of Westlund Drive N.E. Subject to the right-of-way of Xylite Street N.E. Subject to other encumbrances of record, if any.

OWNER AND DEVELOPER:
Hogdal Farm Limited Partnership
c/o Meredith Pyles
14924 Xylite St. N.E.
Ham Lake, MN 55304
763-434-3624

PROPOSED: A Planned Unit Development in two phases consisting of 65 lots for single family residential homes with on-site electric systems and individual wells. Two outlets for agricultural purposes and one outlet to be combined with the adjoining property (Outlot C), and one Park.
EXISTING ZONING: R-A
PROPOSED ZONING: PUD
TOTAL APPROXIMATE AREA: 238.3 Acres
MINIMUM LOT AREA: 1 acre including one-half of adjoining street right-of-way
MINIMUM FRONTAGE: 200 feet (50 feet on cul-de-sacs)
MINIMUM BUILDING SETBACKS:
Side = 10 feet 30 feet
Side/Garage = 10 feet 30 feet
Rear = 50 feet

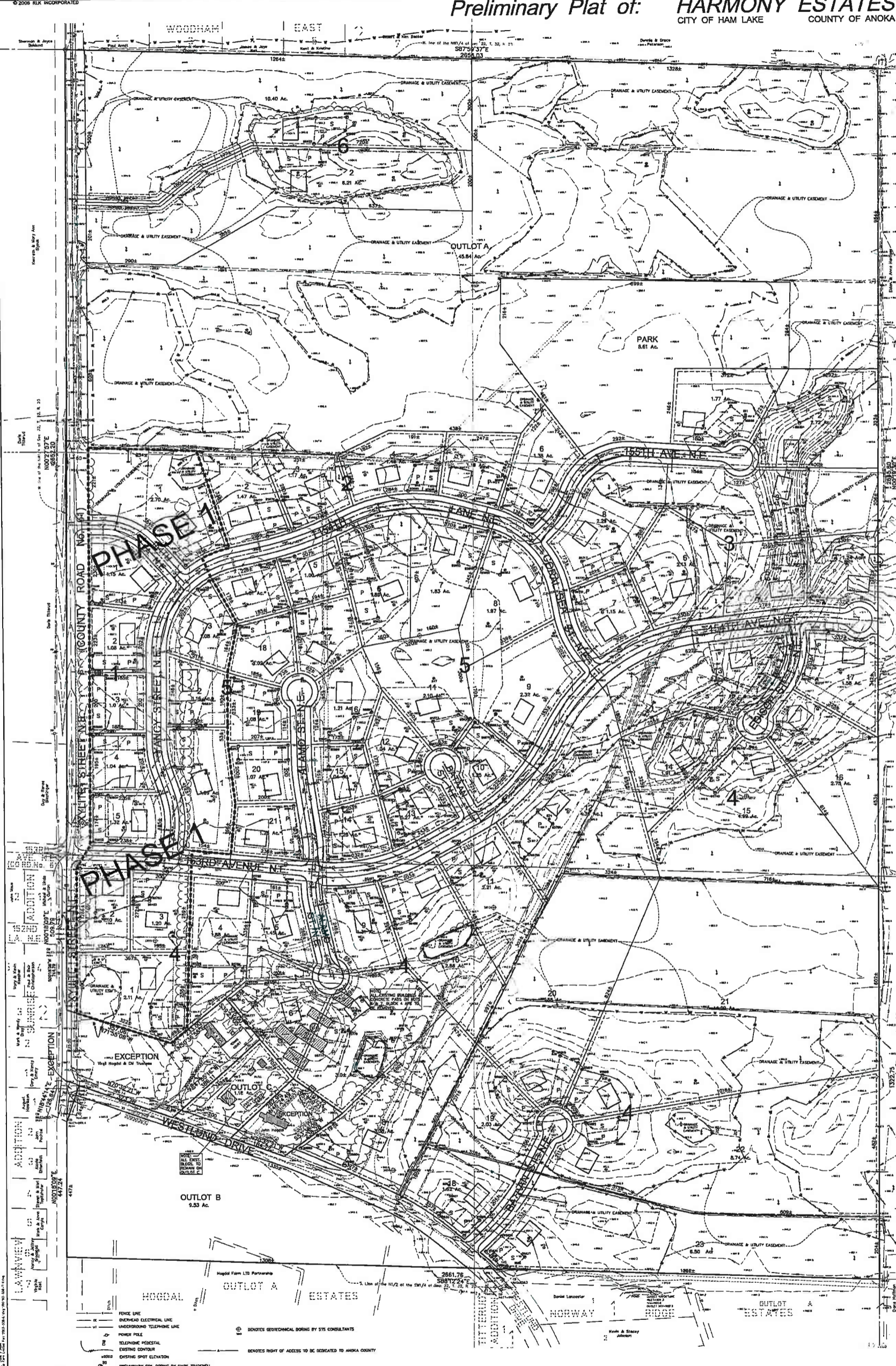
DATE OF PREPARATION: May 31, 2006



PRELIMINARY SOIL BORING DATA

BORING NO.	DEPTH (FEET)	SOIL TYPE	WATER ELEV. (FEET)	BORING NO.	DEPTH (FEET)	SOIL TYPE	WATER ELEV. (FEET)
1	0.0	...	...	11	0.0	...	...
2	0.0	...	...	12	0.0	...	...
3	0.0	...	...	13	0.0	...	...
4	0.0	...	...	14	0.0	...	...
5	0.0	...	...	15	0.0	...	...
6	0.0	...	...	16	0.0	...	...
7	0.0	...	...	17	0.0	...	...
8	0.0	...	...	18	0.0	...	...
9	0.0	...	...	19	0.0	...	...
10	0.0	...	...	20	0.0	...	...
21	0.0	...	...	31	0.0	...	...
22	0.0	...	...	32	0.0	...	...
23	0.0	...	...	33	0.0	...	...
24	0.0	...	...	34	0.0	...	...
25	0.0	...	...	35	0.0	...	...
26	0.0	...	...	36	0.0	...	...
27	0.0	...	...	37	0.0	...	...
28	0.0	...	...	38	0.0	...	...
29	0.0	...	...	39	0.0	...	...
30	0.0	...	...	40	0.0	...	...
31	0.0	...	...	41	0.0	...	...
32	0.0	...	...	42	0.0	...	...
33	0.0	...	...	43	0.0	...	...
34	0.0	...	...	44	0.0	...	...
35	0.0	...	...	45	0.0	...	...
36	0.0	...	...	46	0.0	...	...
37	0.0	...	...	47	0.0	...	...
38	0.0	...	...	48	0.0	...	...
39	0.0	...	...	49	0.0	...	...
40	0.0	...	...	50	0.0	...	...
41	0.0	...	...	51	0.0	...	...
42	0.0	...	...	52	0.0	...	...
43	0.0	...	...	53	0.0	...	...
44	0.0	...	...	54	0.0	...	...
45	0.0	...	...	55	0.0	...	...
46	0.0	...	...	56	0.0	...	...
47	0.0	...	...	57	0.0	...	...
48	0.0	...	...	58	0.0	...	...
49	0.0	...	...	59	0.0	...	...
50	0.0	...	...	60	0.0	...	...

Scale: 1 inch = 100 feet
 * DENOTES IRON MONUMENT FOUND
 O DENOTES 1/2 INCH IRON PIPE SET.
 BEARINGS SHOWN ARE BASED ON ASSUMED DATUM



R-1

R-A

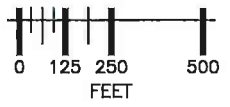
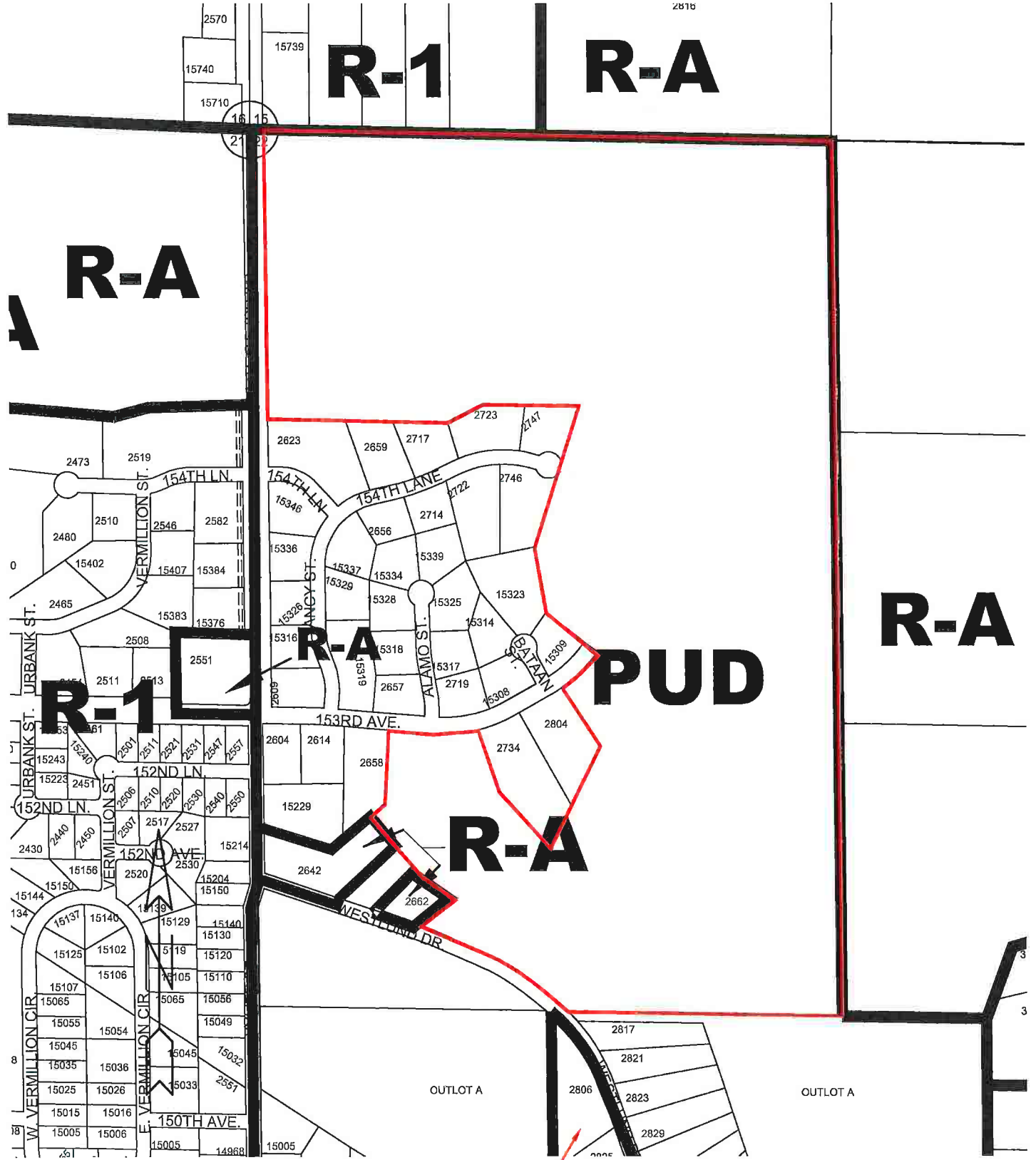
R-A

R-A

PUD

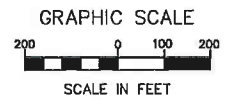
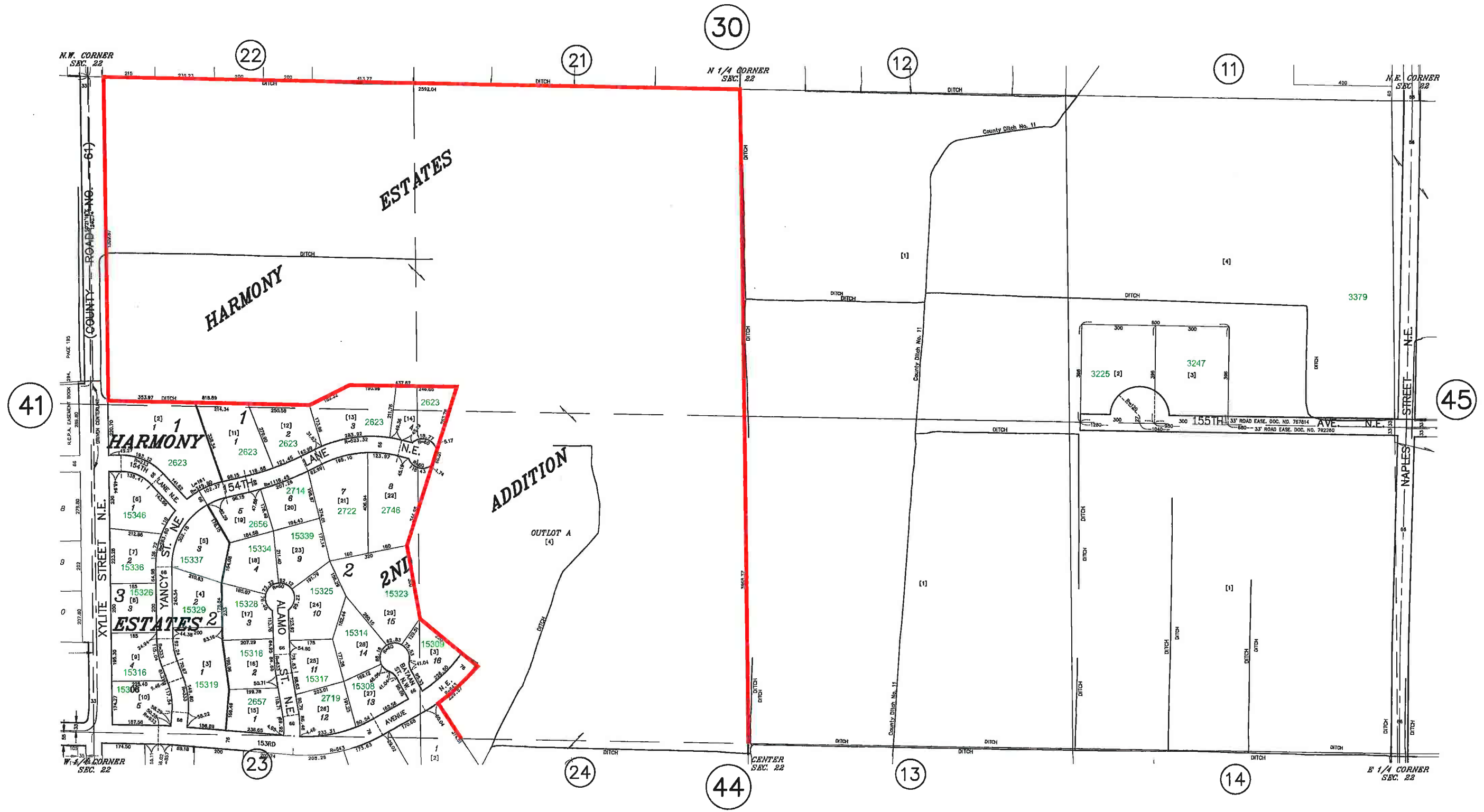
R-A

R-1



N 1/2 SECTION 22, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11	NORTH HALF OF SECTION
23	24	13	14	
32	31	42	41	SOUTH HALF OF SECTION
33	34	43	44	

PROPERTY IDENTIFICATION NUMBER

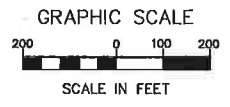
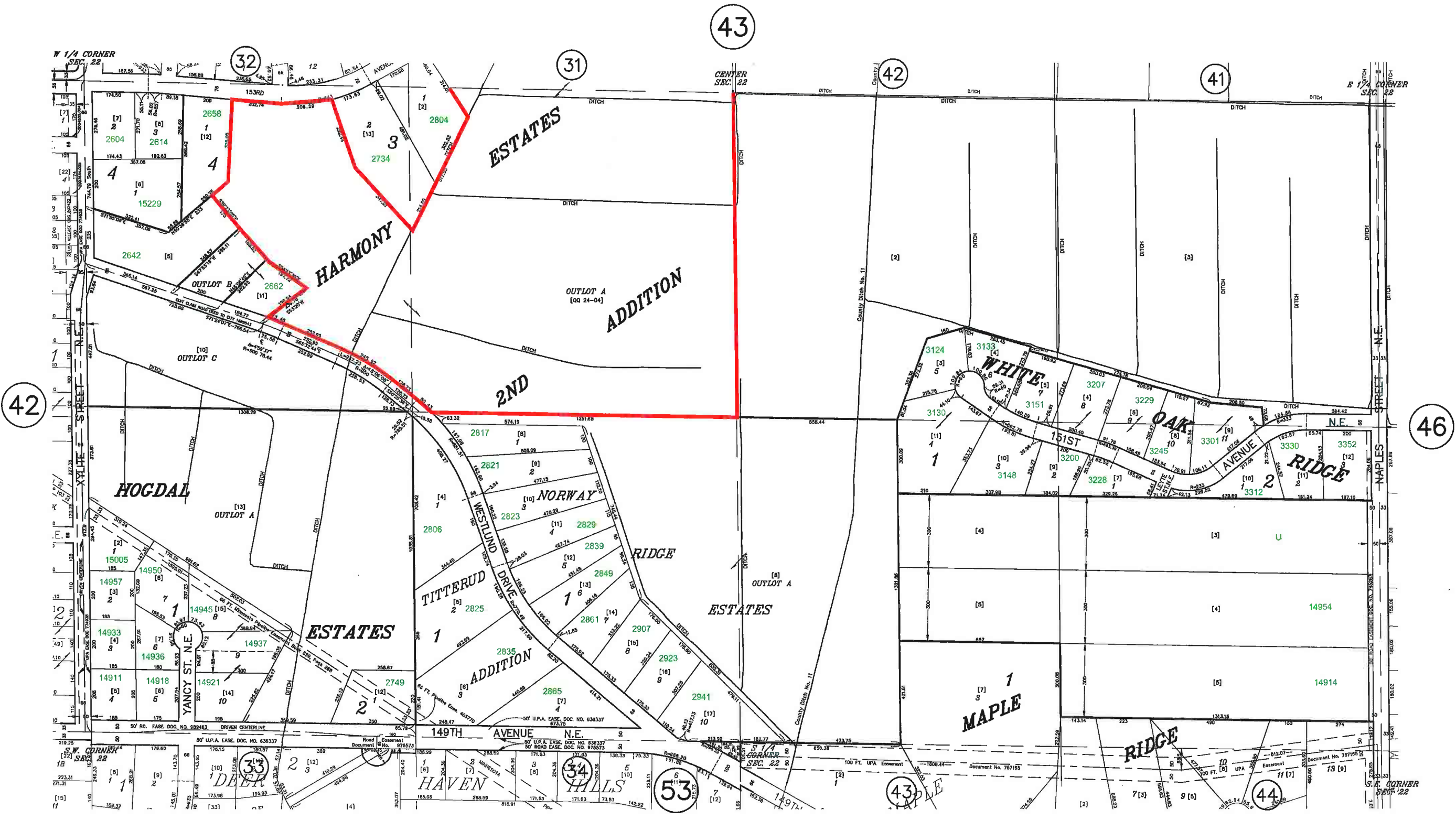
Section Number	Township Number	Range Number	Quarter Number	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 22-32-23-13-0001

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

S 1/2 SECTION 22, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
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QUARTER QUARTER INDEX

22	21	12	11	NORTH HALF OF SECTION
23	24	13	14	
32	31	42	41	SOUTH HALF OF SECTION
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PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 22-32-23-43-0005

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

HARMONY ESTATES 3RD ADDITION

KNOW ALL PERSONS BY THESE PRESENTS: That Hogdal Farm Limited Partnership, a Minnesota limited partnership, owner, and Nova Development LLC, a Minnesota limited liability company, contract purchaser, of the following described property:

Outlot A, HARMONY ESTATES 2ND ADDITION, Anoka County, Minnesota

Have caused the same to be surveyed and plotted as HARMONY ESTATES 3RD ADDITION and do hereby dedicate to the public for public use the public ways and the drainage and utility easements as shown on this plot.

In witness whereof said Hogdal Farm Limited Partnership, a Minnesota limited partnership, has caused these presents to be signed by its proper partner this ____ day of _____, 20____.

HOGDAL FARM LIMITED PARTNERSHIP

Virginia Kost, General Partner

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me on this ____ day of _____, 20____ by Virginia Kost, General Partner of Hogdal Farm Limited Partnership, a Minnesota limited partnership, on behalf of said limited partnership.

(Signed)

(Printed)

Notary Public, _____

My commission expires _____

In witness whereof said Nova Development LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this ____ day of _____, 20____.

NOVA DEVELOPMENT LLC

Jeffrey Entsminger, Chief Manager

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me on this ____ day of _____, 20____ by Jeffrey Entsminger, Chief Manager of Nova Development LLC, a Minnesota limited liability company, on behalf of said company.

(Signed)

(Printed)

Notary Public, _____

My commission expires _____

I, Thomas R. Balluff, do hereby certify that this plot was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plot is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plot; that all monuments depicted on this plot have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plot; and all public ways are shown and labeled on this plot.

Dated this ____ day of _____, 20____.

Thomas R. Balluff, Licensed Land Surveyor
Minnesota License No. 40361

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me on this ____ day of _____, 20____ by Thomas R. Balluff.

(Signed)

(Printed)

Notary Public, _____

My commission expires _____

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA

This plot of HARMONY ESTATES 3RD ADDITION was approved and accepted by the City Council of the City of Ham Lake, Minnesota at a regular meeting thereof held this ____ day of _____, 20____ and said plot is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA

By: _____ Mayor

By: _____ Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plot has been reviewed and approved this ____ day of _____, 20____.

David M. Zieglsmeier
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ____ day of _____, 20____.

Property Tax Administrator

By: _____ Deputy

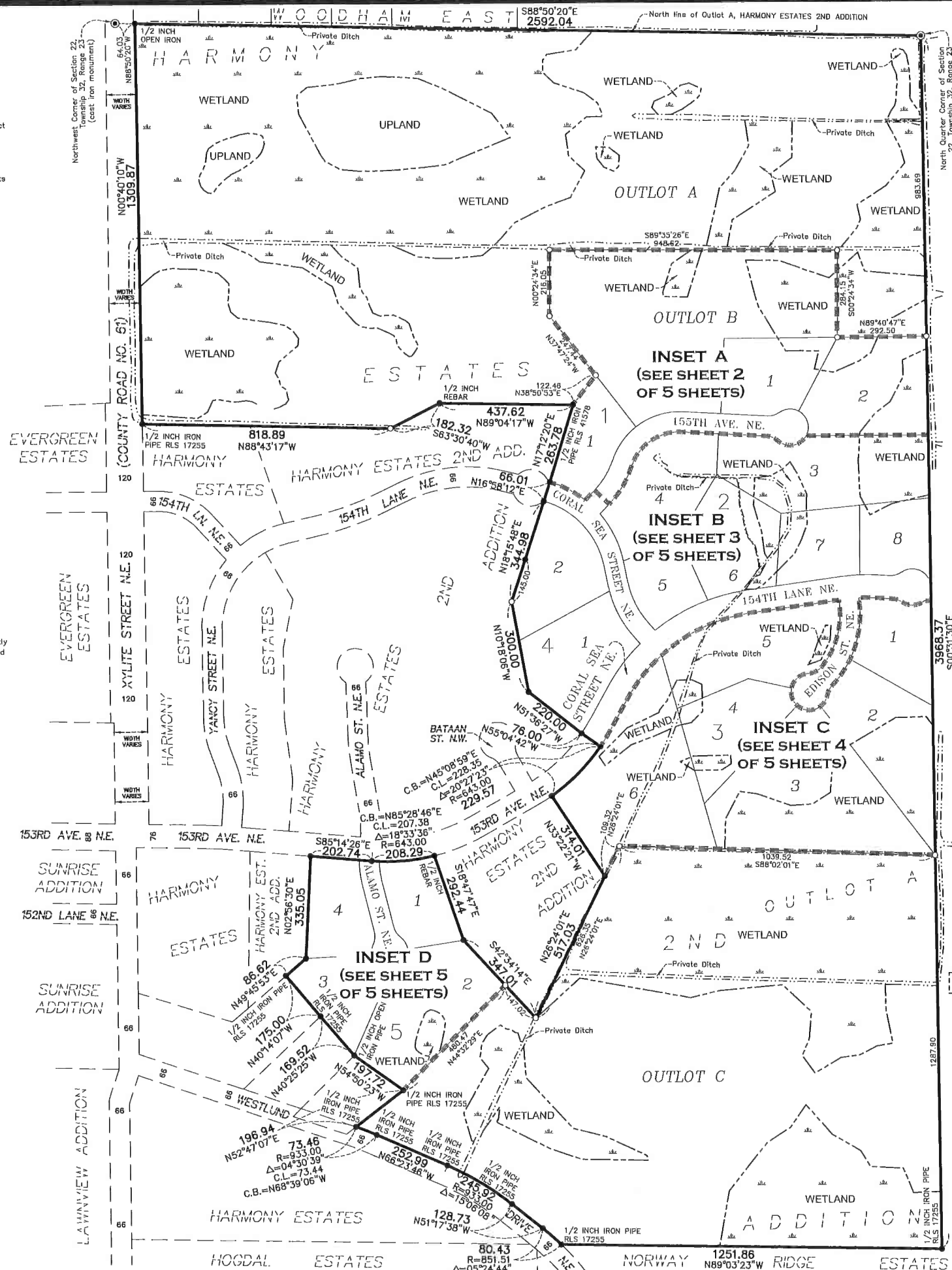
COUNTY RECORDER/REGISTRAR OF TITLES

County of Anoka, State of Minnesota

I hereby certify that this plot of HARMONY ESTATES 3RD ADDITION was filed in the office of the County Recorder/Registrar of Titles for public record on this ____ day of _____, 20____ at ____ o'clock ____ M. and was duly recorded as Document Number _____.

County Recorder/Registrar of Title

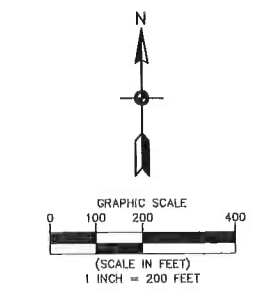
By: _____ Deputy



CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 22, TWP. 32,
RGE. 23

For the purposes of this plot, the North line of Outlot A, HARMONY ESTATES 2ND ADDITION, is assumed to have a bearing of South 88 degrees 50 minutes 20 seconds East.

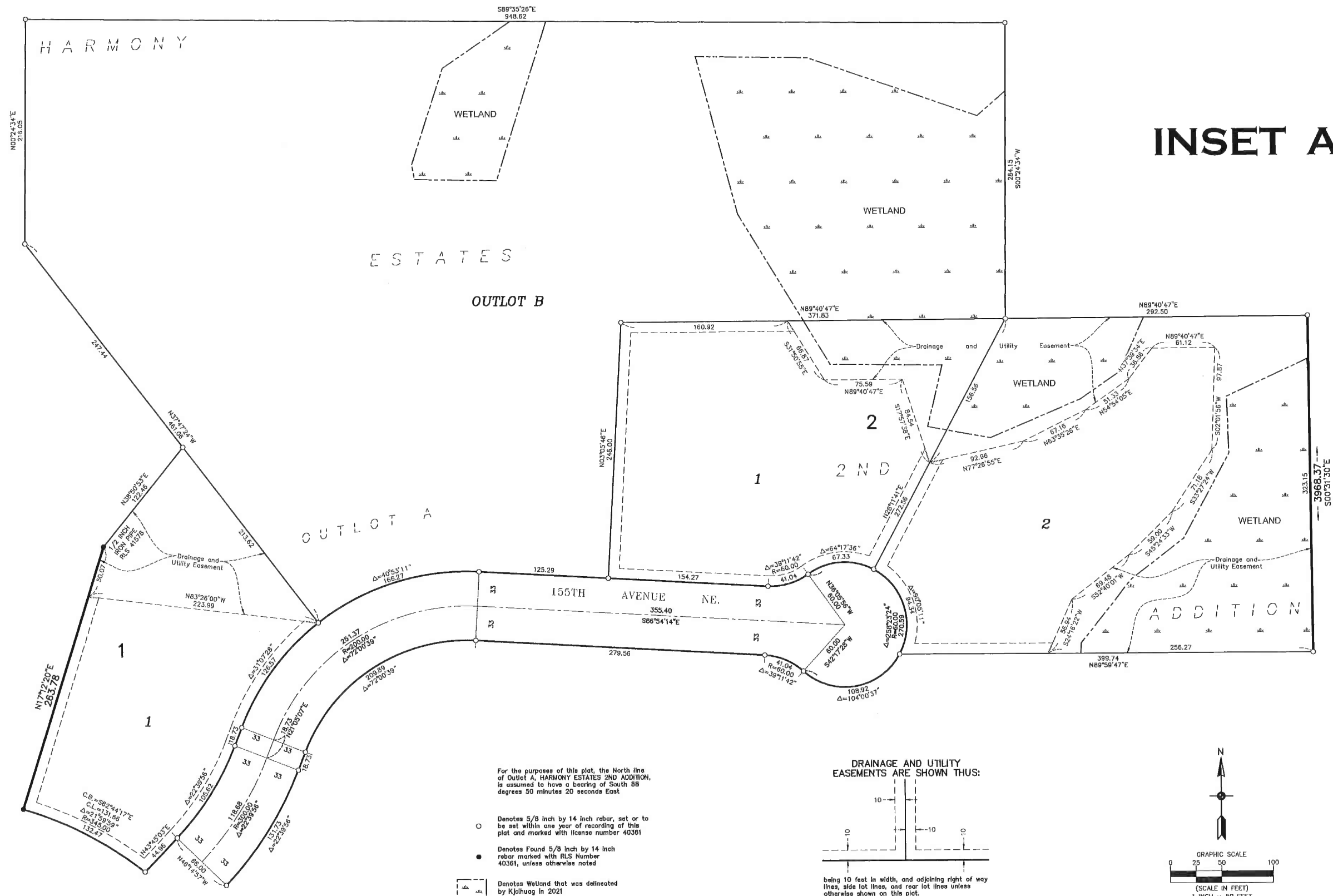
- Denotes 5/8 inch by 14 inch rebar, set or to be set within one year of recording of this plot and marked with license number 40361
- Denotes Found 5/8 inch by 14 inch rebar marked with RLS Number 40361, unless otherwise noted
- ⊙ Denotes Found Anoka County Section Monument, as noted
- ▭ Denotes wetlands delineated by Kjöhuug in 2021



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HARMONY ESTATES 3RD ADDITION

CITY OF HAM LAKE
 COUNTY OF ANOKA
 SEC. 22, TWP. 32, RGE. 23

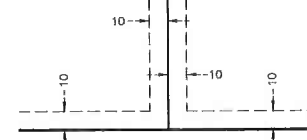


INSET A

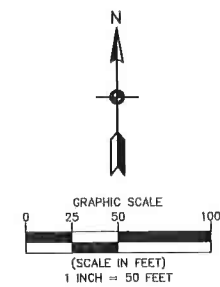
For the purposes of this plot, the North line of Outlot A, HARMONY ESTATES 2ND ADDITION, is assumed to have a bearing of South 88 degrees 50 minutes 20 seconds East

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- Denotes Wetland that was delineated by Kjoihuang in 2021

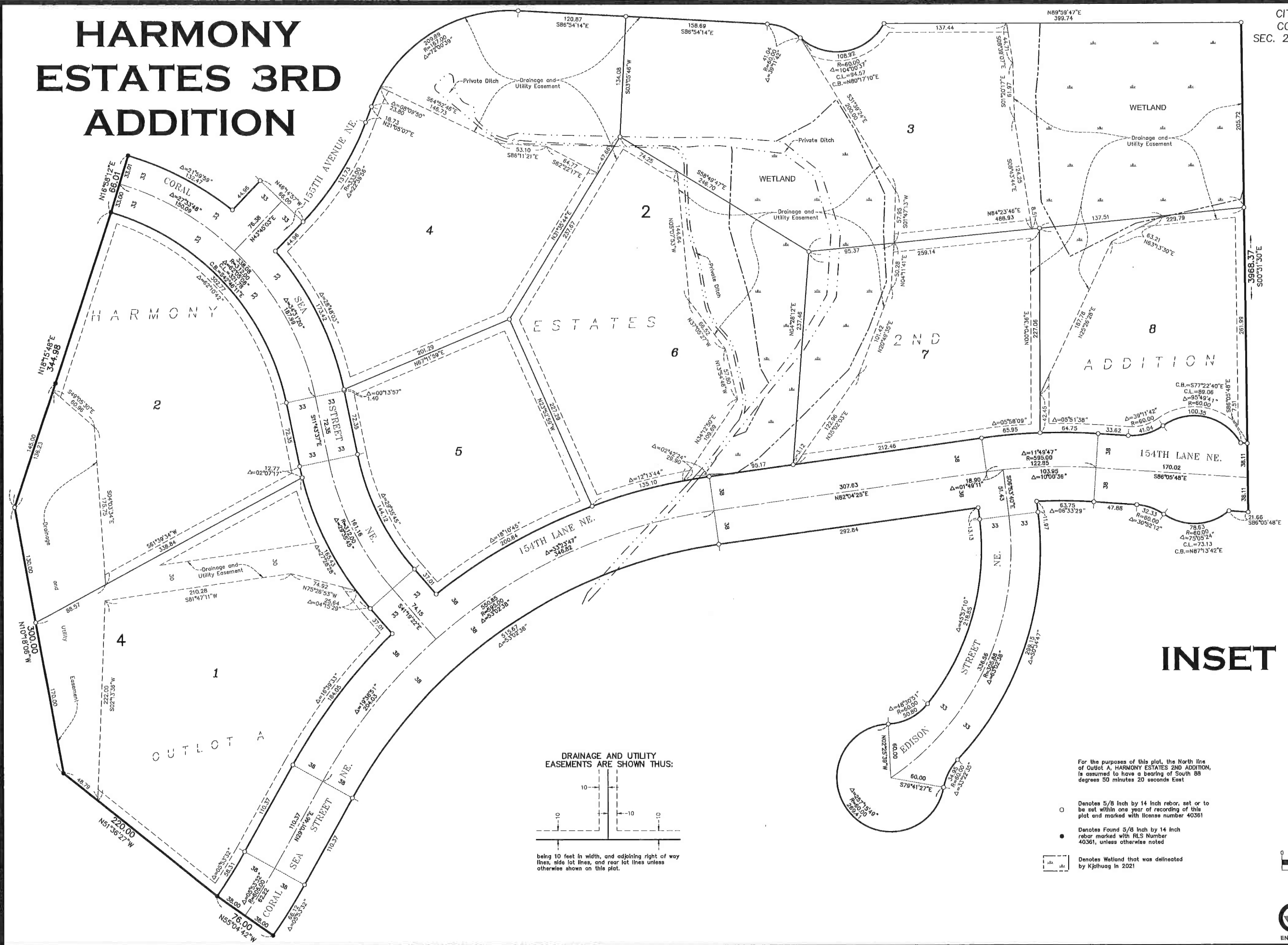
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



being 10 feet in width, and adjoining right of way lines, side lot lines, and rear lot lines unless otherwise shown on this plot.



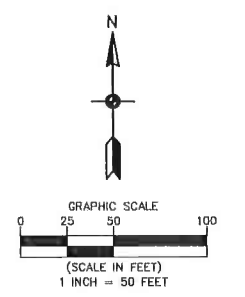
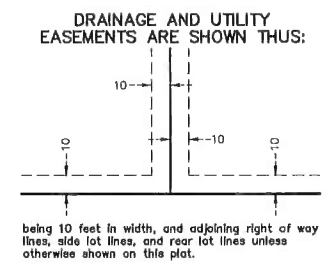
HARMONY ESTATES 3RD ADDITION



INSET B

For the purposes of this plat, the North line of Outlot A, HARMONY ESTATES 2ND ADDITION, is assumed to have a bearing of South 88 degrees 50 minutes 20 seconds East

- Denotes 5/8 inch by 14 inch rebar, set or to be set within one year of recording of this plat and marked with license number 40361
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HARMONY ESTATES 3RD ADDITION

CITY OF HAM LAKE
 COUNTY OF ANOKA
 SEC. 22, TWP. 32, RGE. 23

INSET C

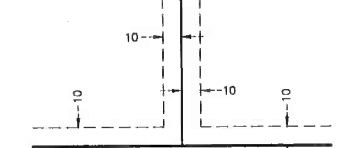
For the purposes of this plot, the North line of Outlot A, HARMONY ESTATES 2ND ADDITION, is assumed to have a bearing of South 88 degrees 50 minutes 20 seconds East

○ Denotes 5/8 inch by 14 inch rebar, set or to be set within one year of recording of this plot and marked with license number 40361

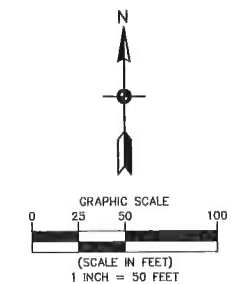
● Denotes Found 5/8 inch by 14 inch rebar marked with RLS Number 40361, unless otherwise noted

▭ Denotes Wetland that was delineated by Kjelhuug in 2021

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:

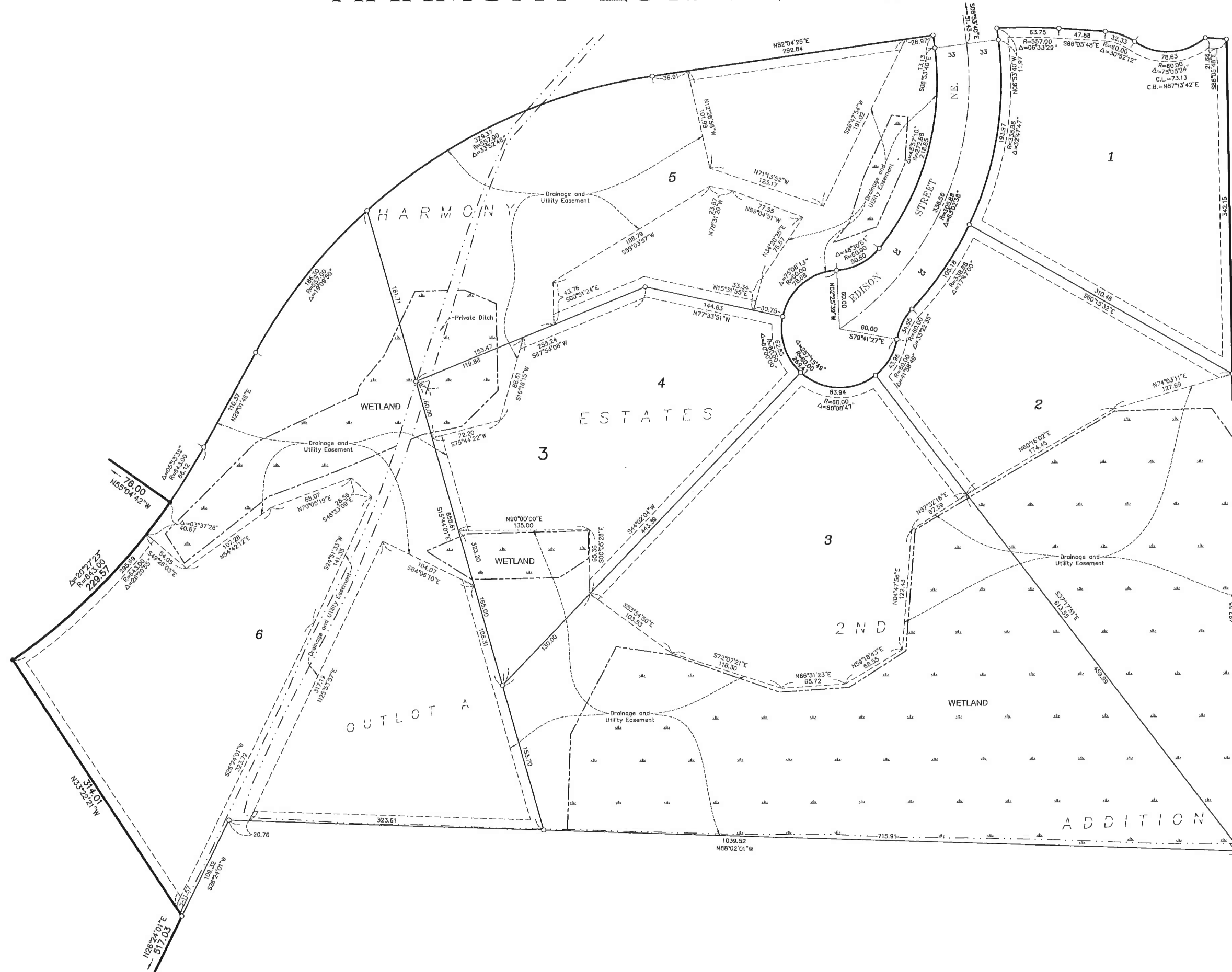


being 10 feet in width, and adjoining right of way lines, side lot lines, and rear lot lines unless otherwise shown on this plot.



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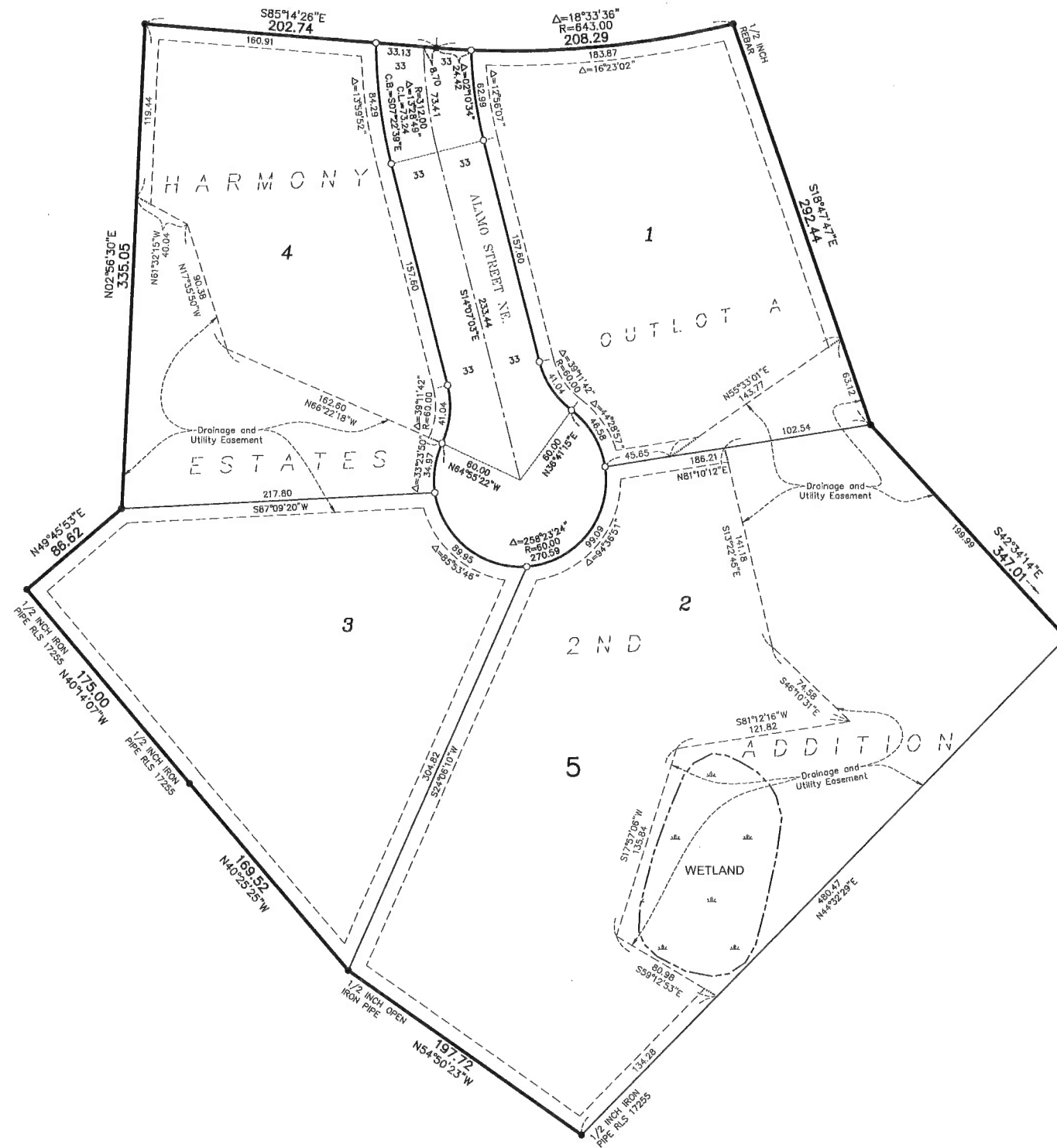
ENGINEERING \ SURVEYING \ PLANNING



HARMONY ESTATES 3RD ADDITION

CITY OF HAM LAKE
 COUNTY OF ANOKA
 SEC. 22, TWP. 32, RGE. 23

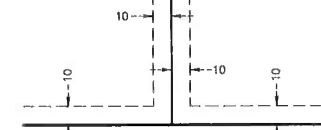
INSET D



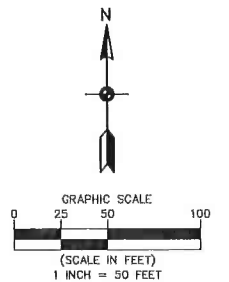
For the purposes of this plat, the North line of Outlot A, HARMONY ESTATES 2ND ADDITION, is assumed to have a bearing of South 88 degrees 50 minutes 20 seconds East

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- Denotes Found 5/8 inch by 14 inch rebar marked with RLS Number 40361, unless otherwise noted
- dk Denotes Wetland that was delineated by Kjolhuug in 2021

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



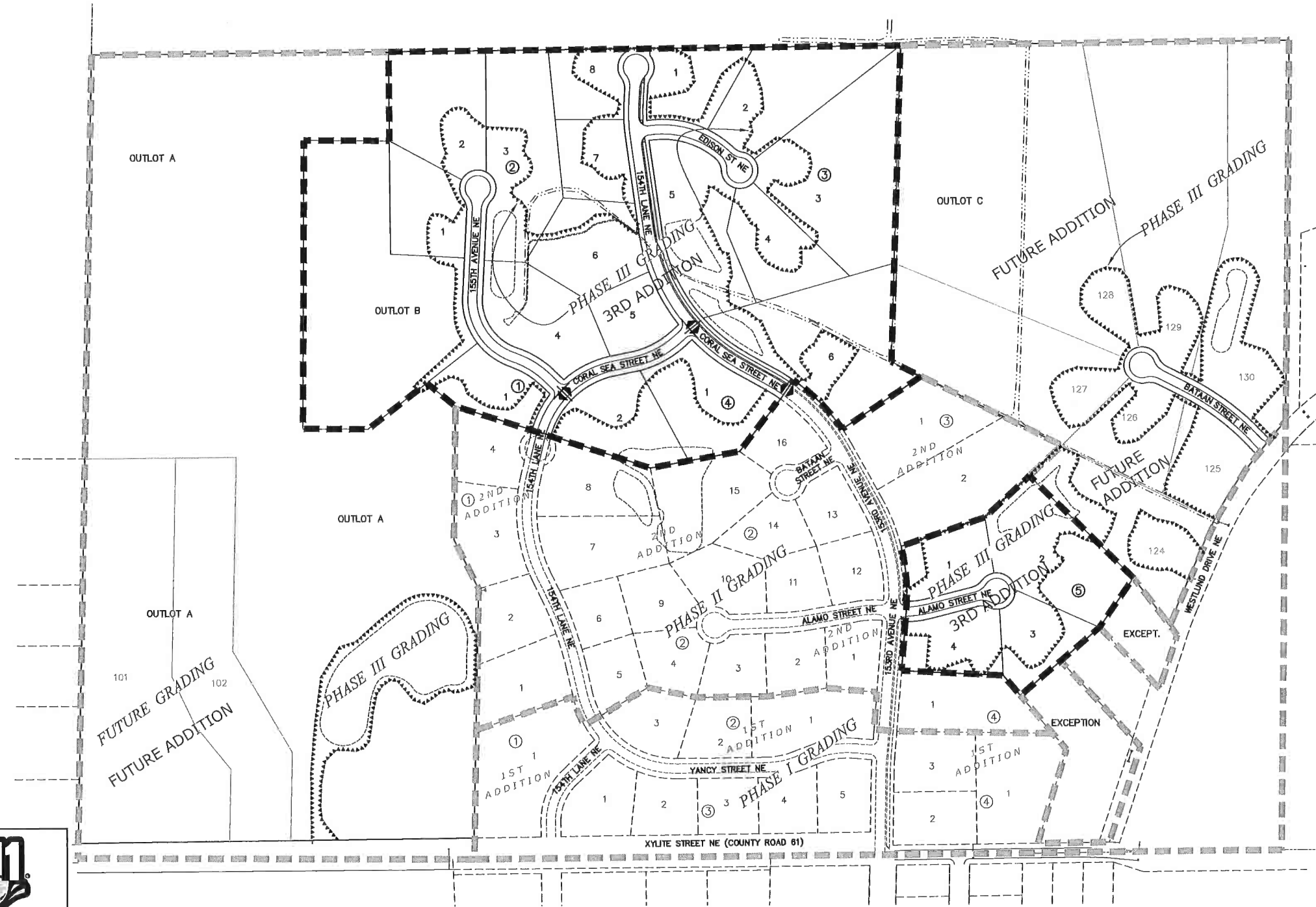
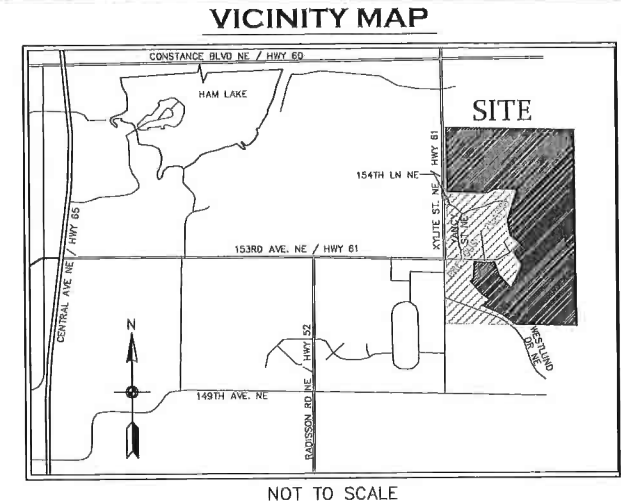
being 10 feet in width, and adjoining right of way lines, side lot lines, and rear lot lines unless otherwise shown on this plat.



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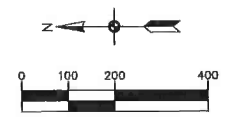
HARMONY ESTATES 3RD ADDITION

HAM LAKE, MINNESOTA



SHEET INDEX

1. COVER
2. GRADING INDEX
- 3-9. GRADING, DRAINAGE & EROSION CONTROL PLAN
10. STORM SEWER INDEX
- 11-14. STORM SEWER
- 15-18. STREET CONSTRUCTION
- 19-20. TREE PRESERVATION PLAN
- 21-23. DETAILS
24. LIVABILITY PLAN INDEX
- 25-28. LIVABILITY PLAN



BENCHMARKS

1. Anoka County Benchmark No. 3100. Elev.= 906.72 (NGVD 29)
2. Anoka County Benchmark No. 3097. Elev.= 898.19 (NGVD 29)

CALL BEFORE YOU DIG

Know what's below.
Call before you dig.

The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of CI/ASCE 38-02, entitled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data."

CARLSON ENGINEERING
ENGINEERING SURVEYING PLANNING

3890 PHEASANT RIDGE DR NE
SUITE 100
BLAINE, MN 55449
TEL 763.489.7900
FAX 763.489.7999
CARLSON-ENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Justin J Olson
Signature: *Justin J Olson*
Date: 5/21/25 License #: 54231

Drawn: CRM
Designed: JJO
Date: 5/21/25

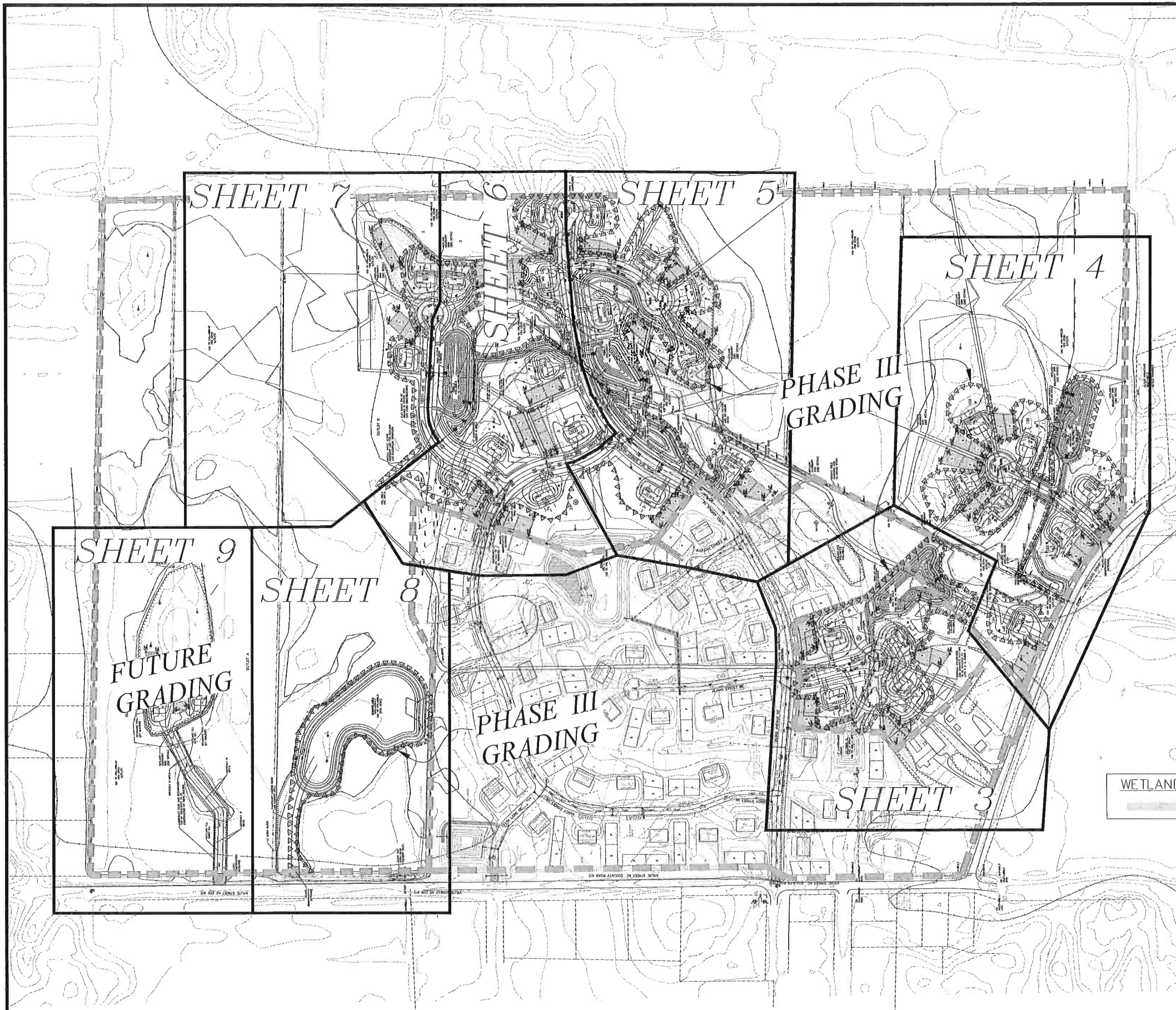
Revisions:
1. 5/20/25 Per City Comments
2. 7/11/25 Per City Comments
3. 8/7/25 Rev. Shts. 15-18
4. 9/17/25 Rev. Sht. 16

NOVA DEVELOPMENT, LLC
14916 Central Ave NE
Ham Lake, MN 55304

**HARMONY ESTATES
3RD ADDITION**
Ham Lake, MN

COVER

1 of 28



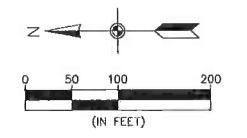
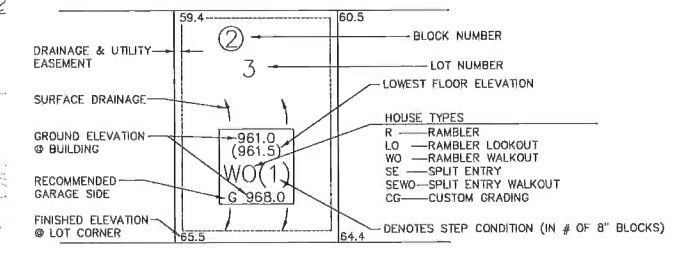
NOTES

1. SITE IS LOCATED WITHIN THE BOUNDARIES OF THE COON CREEK WATERSHED DISTRICT.
2. ALL DISTURBED AREAS TO BE SCARIFIED 6" AFTER GRADING IS COMPLETE.
3. SOIL STOCKPILES SHALL BE FITTED BY SEDIMENT-TRAPPING MEASURES AND STABILIZED WITHIN 7 DAYS OF INACTIVITY.
4. STREET SWEEPING SHALL TAKE PLACE BY THE END OF DAY (IF REQUIRED).
5. EROSION CONTROL AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
6. WETLAND BUFFER SIGNS SHALL BE INSTALLED IMMEDIATELY AFTER PROJECT GRADING IS COMPLETED.
7. THE DNR DEWATERING PERMIT MUST BE OBTAINED PRIOR TO ANY DEWATERING ACTIVITY. THE DEWATERING PLAN MUST BE SUBMITTED TO THE COON CREEK WATERSHED DISTRICT AT LEAST 7 DAYS PRIOR TO DEWATERING ACTIVITY FOR REVIEW AND APPROVAL.

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
CURB LINE	---	---
BITUMINOUS	---	---
CONCRETE	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
WATER MAIN	---	---
OVERHEAD UTILITY	---	---
STORM CATCH BASIN	---	---
STORM MANHOLE	---	---
OUTLET CONTROL STRUCTURE	---	---
MANHOLE	---	---
HYDRANT	---	---
GATE VALVE	---	---
TELEVISION BOX	---	---
TELEPHONE BOX	---	---
UTILITY POLE	---	---
RETAINING WALL	---	---
FENCE	---	---
10' CONTOUR	---	---
2' CONTOUR	---	---
FEMA FLOOD PLAIN	---	---
FLOODPLAIN PER COWD	---	---
WETLAND LINE	---	---
FEMA FLOOD PLAIN	---	---
SPOT ELEVATION	---	---
EMERGENCY OVERFLOW (STANDARD DTL #2001)	---	---
TREE FENCE	---	---
TREE FENCE GRADING LIMITS	---	---
TREELINE	---	---
INFILTRATION AREA	---	---
WELL	---	---
LIGHT POLE	---	---
FLAG POLE	---	---
ELECTRIC BOX	---	---
TELEPHONE BOX	---	---
TELEVISION BOX	---	---
SIGN	---	---
GEOTECH SOIL BORING	---	---
SEPTIC SOIL BORING	---	---

GRADING PLAN LOT KEY



WETLAND SUMMARY (PHASE 3)
 TOTAL WETLAND FILL (PH 3) = 12,571 SF

BENCHMARKS

1. Anoka County Benchmark No. 3100. Elev. = 906.72 (NGVD 29)
2. Anoka County Benchmark No. 3097. Elev. = 898.19 (NGVD 29)

CALL BEFORE YOU DIG

Know what's below.
Call before you dig.

The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of C/ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data."

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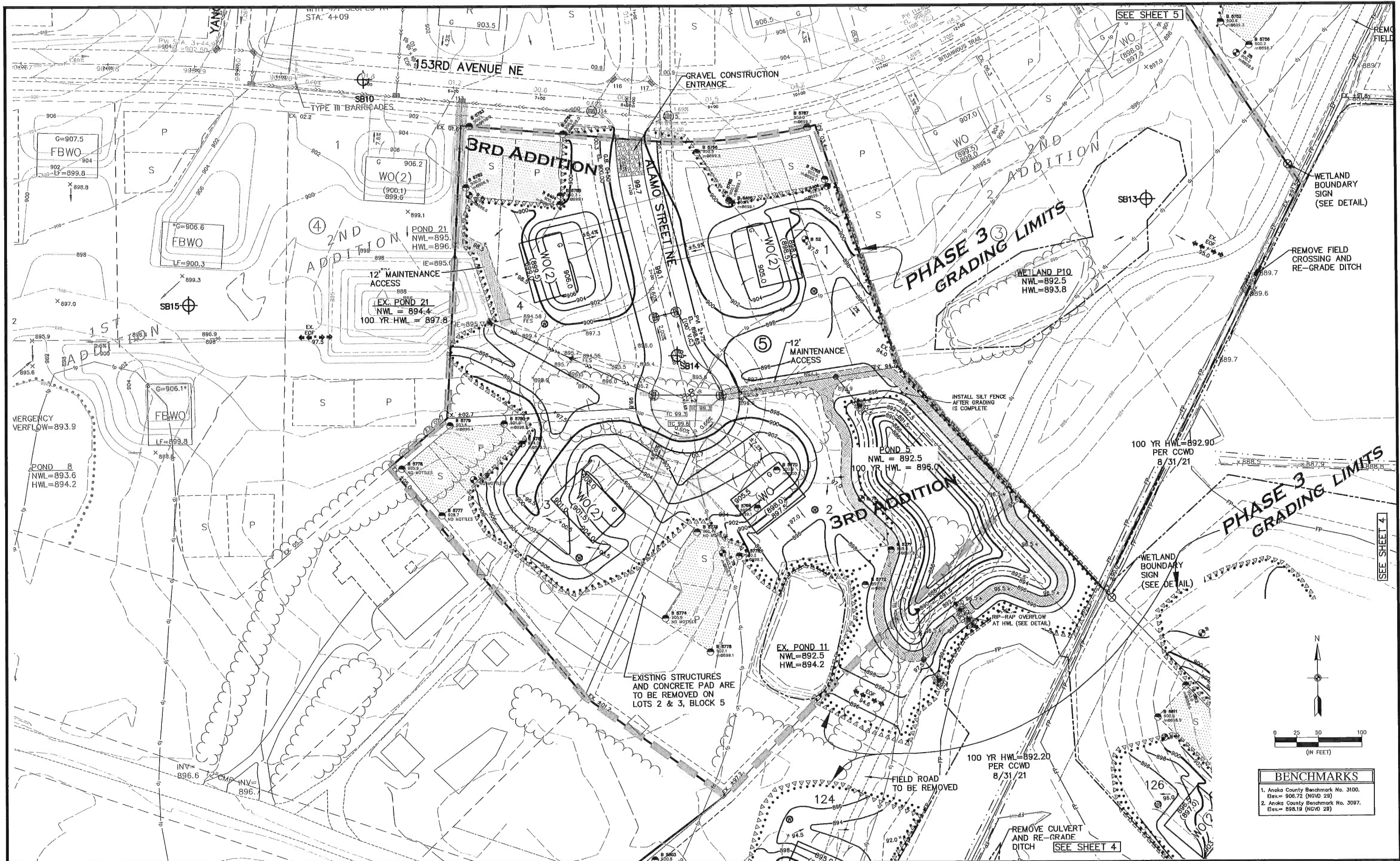
Print Name: Justin J Olson
 Signature: *Justin J Olson*
 Date: 5/21/25 License #: 54231

Drawn: CRM
 Designed: JJO
 Date: 5/21/25

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**HARMONY ESTATES
 3RD ADDITION**
 Ham Lake, MN

GRADING INDEX



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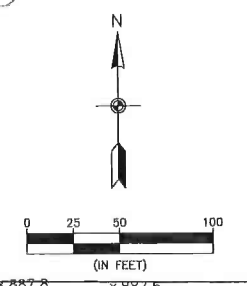
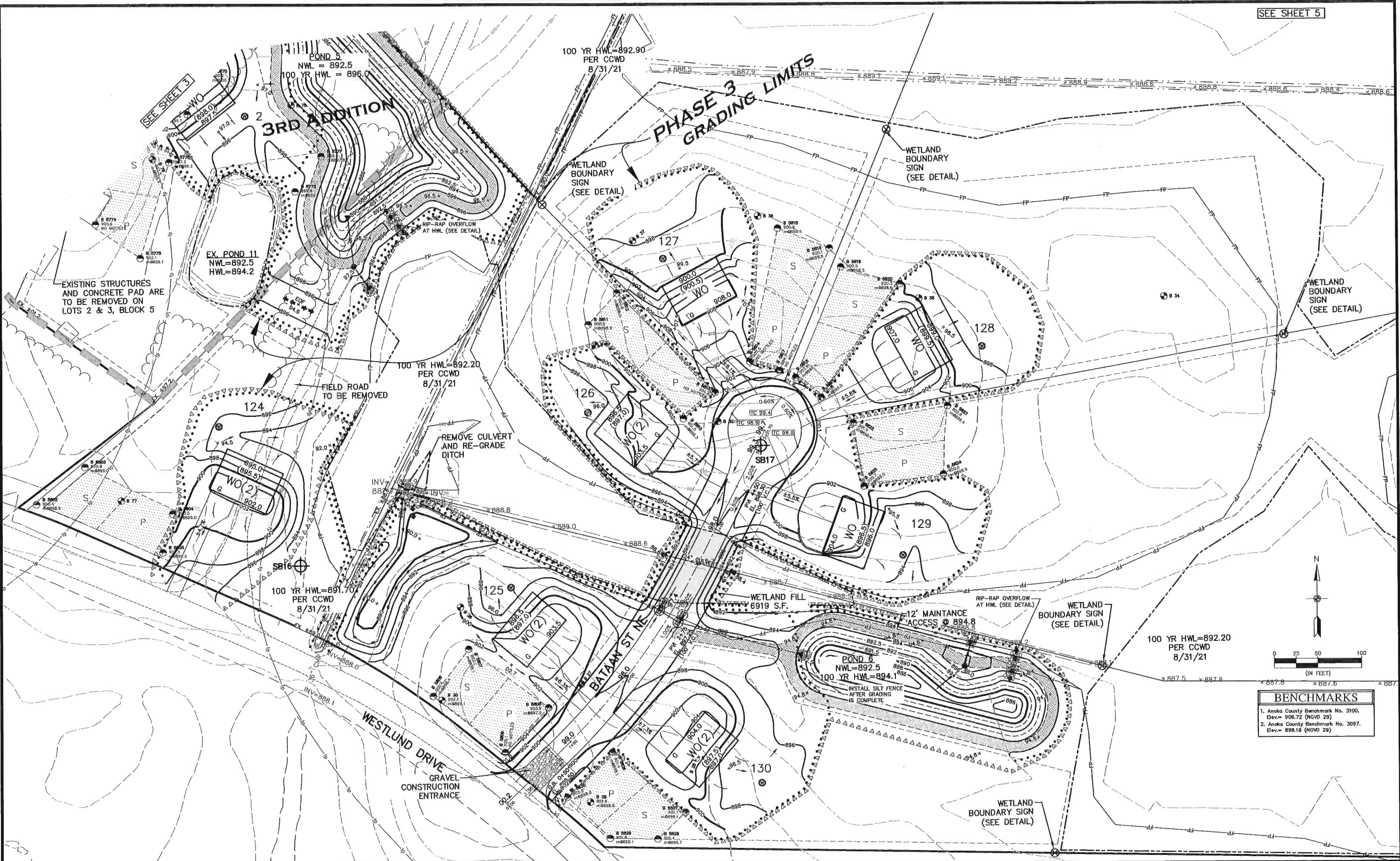
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 3RD ADDITION
 Ham Lake, MN

GRADING, DRAINAGE & EROSION CONTROL PLAN

3 of 28
 #5213-02



BENCHMARKS	
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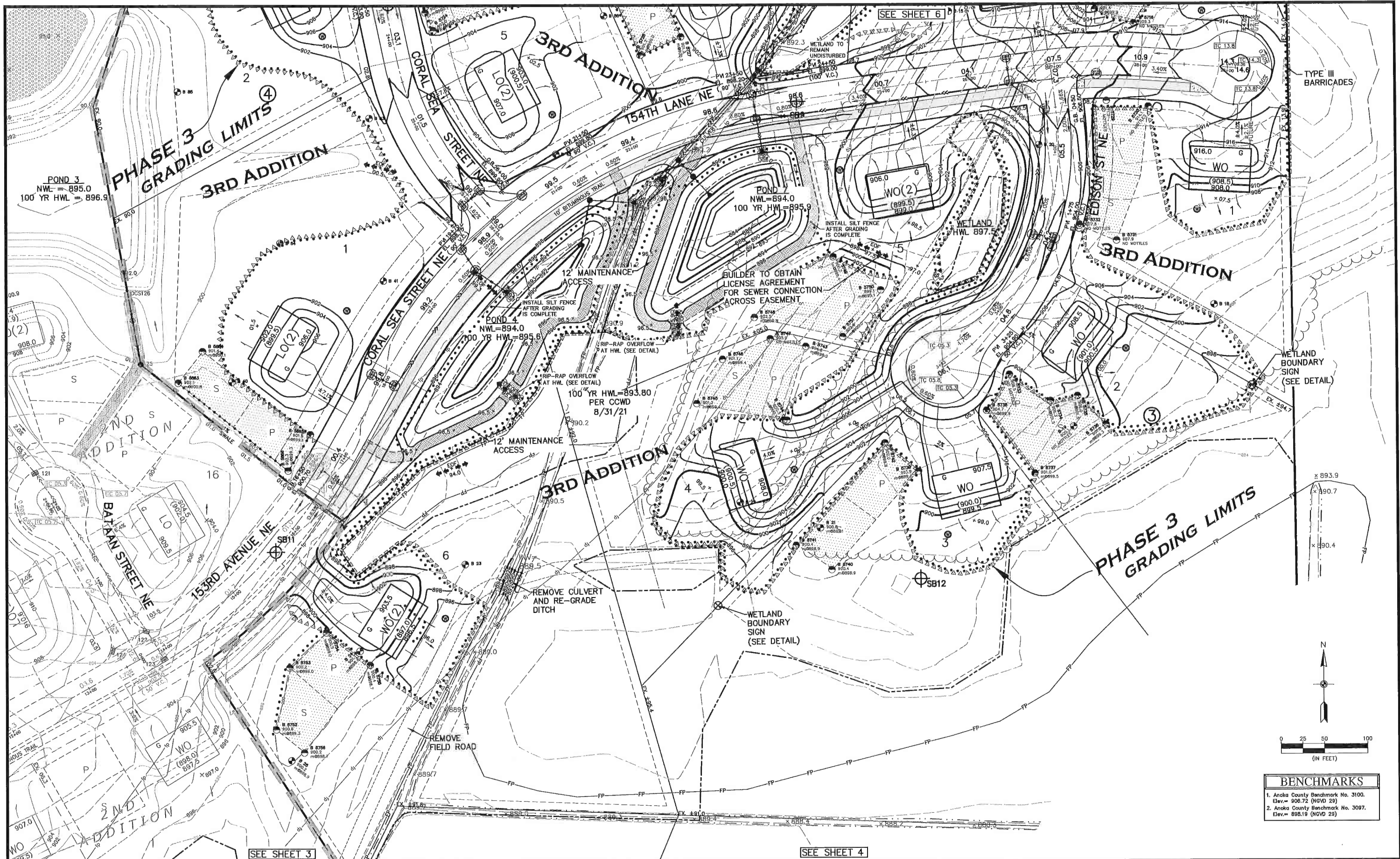
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 3RD ADDITION**
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**GRADING, DRAINAGE &
 EROSION CONTROL PLAN**



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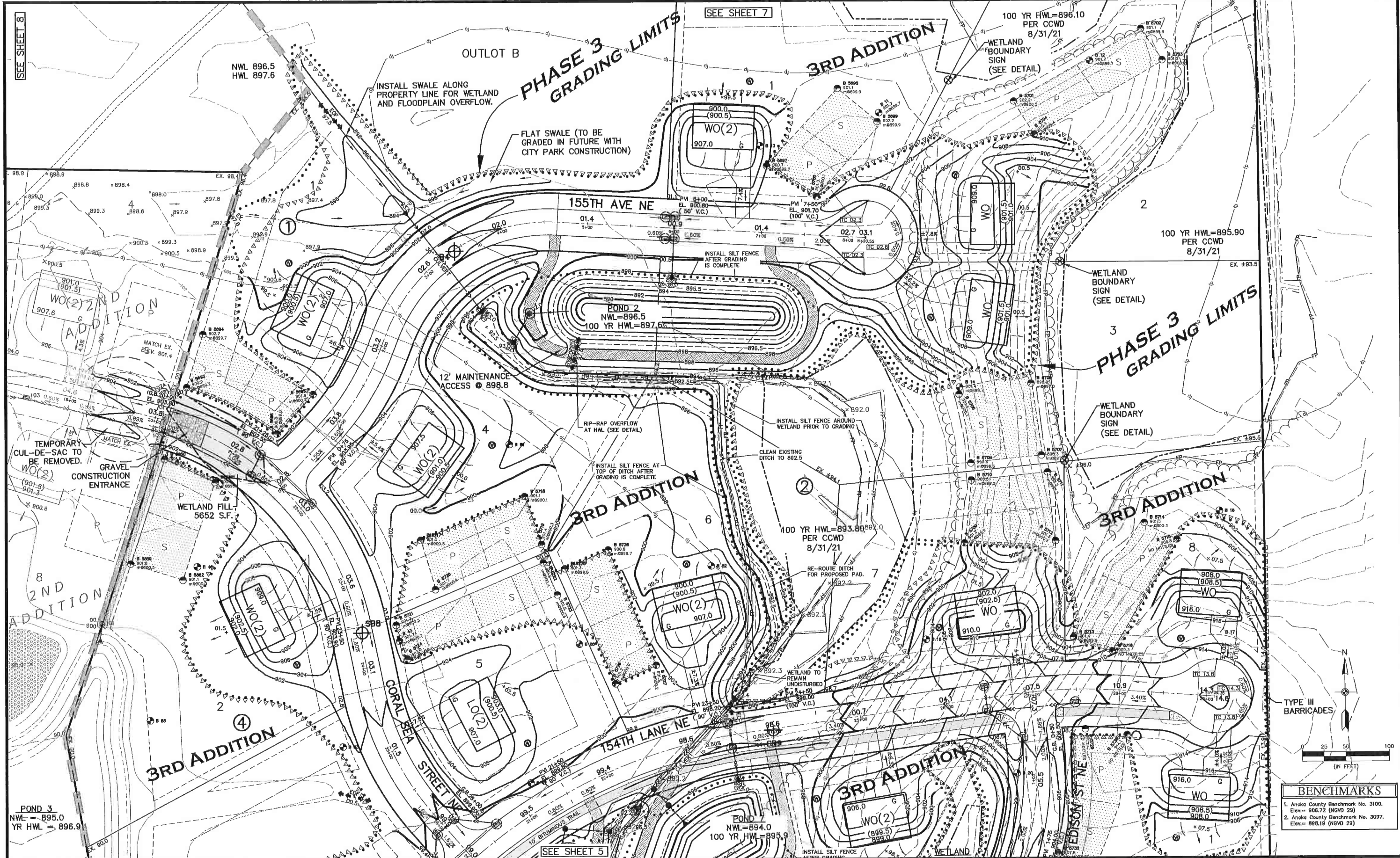
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**HARMONY ESTATES
 3RD ADDITION**
 Ham Lake, MN

**GRADING, DRAINAGE &
 EROSION CONTROL PLAN**

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HARMONY ESTATES
 3RD ADDITION
 Ham Lake, MN

GRADING, DRAINAGE & EROSION CONTROL PLAN

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#5213-02

SEE SHEET 9

100 YR HWL=896.10
PER CCWD
8/31/21

SEE SHEET 8

3RD ADDITION

PHASE 3
GRADING LIMITS

NWL 896.5
HWL 897.6

OUTLOT B

INSTALL SWALE ALONG
PROPERTY LINE FOR WETLAND
AND FLOODPLAIN OVERFLOW.

FLAT SWALE (TO BE
GRADED IN FUTURE WITH
CITY PARK CONSTRUCTION)

100 YR HWL=896.10
PER CCWD
8/31/21

WETLAND
BOUNDARY
SIGN
(SEE DETAIL)

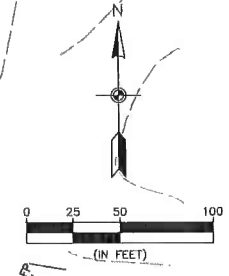
3RD ADDITION

155TH AVE NE

WO(2)
900.0
(900.5)
907.0

100 YR HWL=895.90
PER CCWD
8/31/21

WETLAND
BOUNDARY
SIGN
(SEE DETAIL)



BENCHMARKS

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- 2. Anoka County Benchmark No. 3097. Elev.= 898.19 (NGVD 29)

SEE SHEET 6

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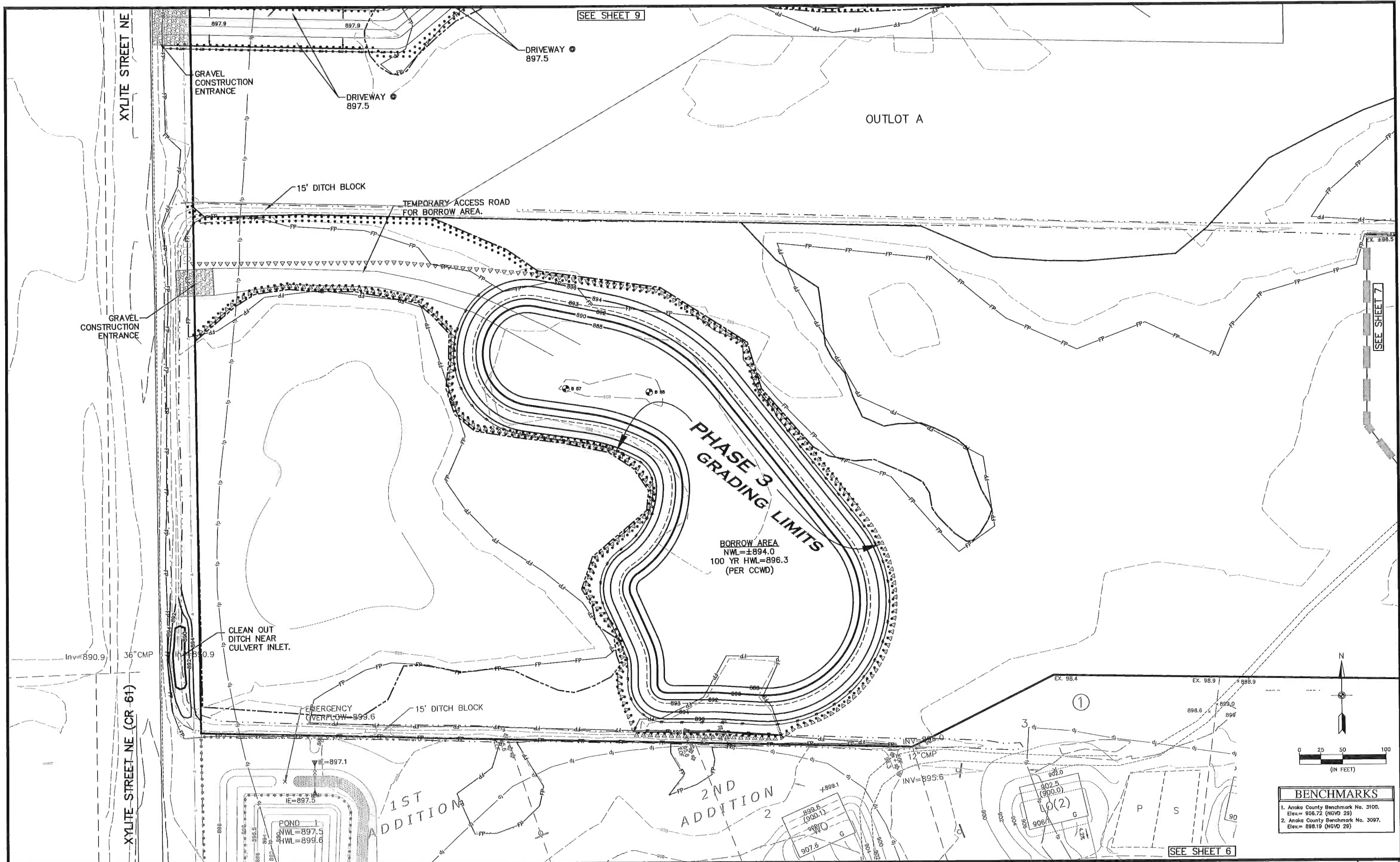
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HARMONY ESTATES
3RD ADDITION
Ham Lake, MN

GRADING, DRAINAGE & EROSION CONTROL PLAN

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Base Date: 07/11/23 F:\Users\jjo11\OneDrive\Work\Projects\2025\250513-02 - Harmony Estates 3rd Addition\cadd\c3d\grading\eroc\plan\250513-02.grdwg



SEE SHEET 9

SEE SHEET 7

SEE SHEET 6

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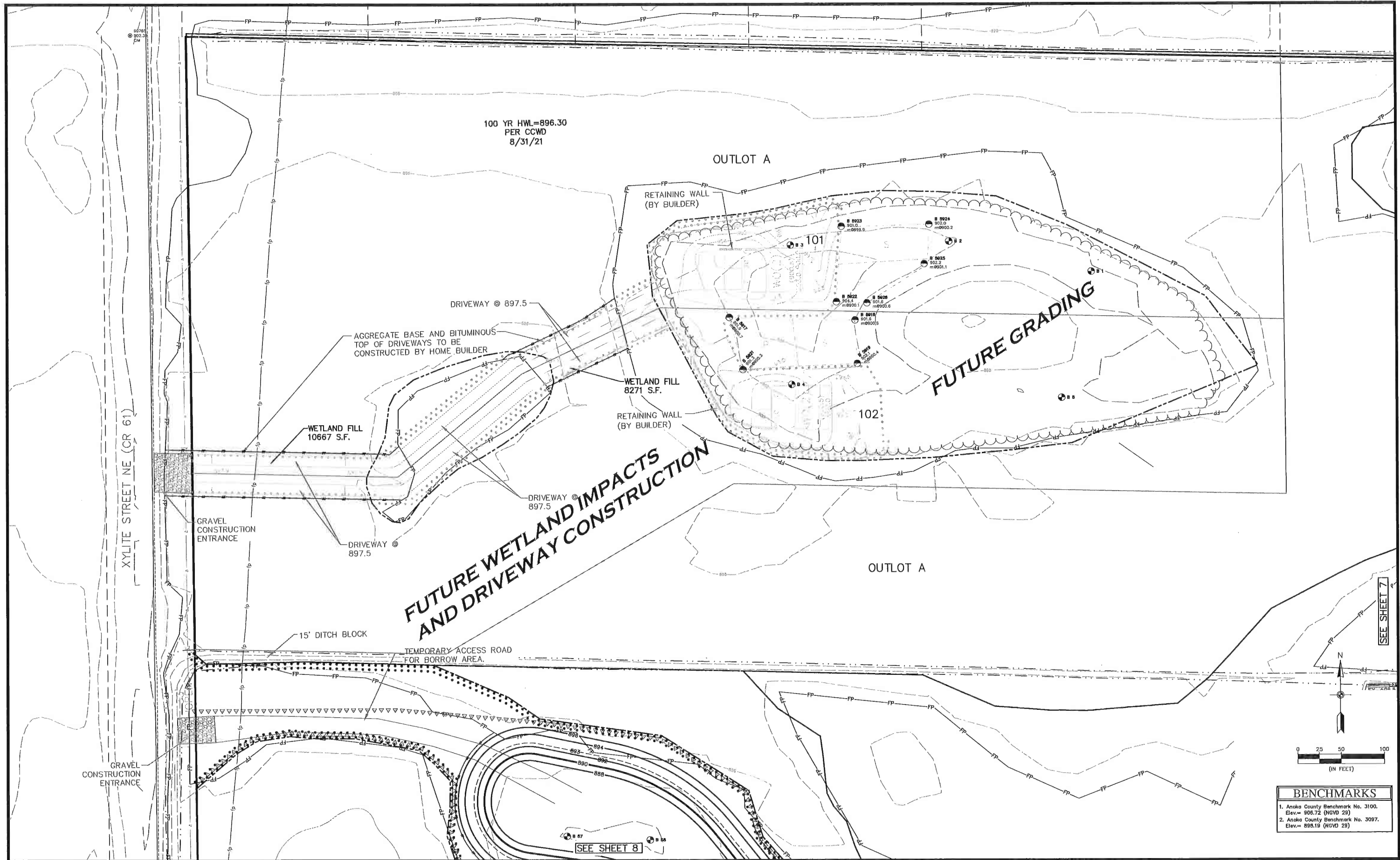
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**HARMONY ESTATES
 3RD ADDITION**
 Ham Lake, MN

**GRADING, DRAINAGE &
 EROSION CONTROL PLAN**

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Sheet Date: 02/11/23 | I:\Jobs\5201 - 5201\5213-02 - Harmony Estates 3rd Addition\CRS\CarlsonEngineering\Final Plans\5213-02_01.dwg



FUTURE WETLAND IMPACTS AND DRIVEWAY CONSTRUCTION

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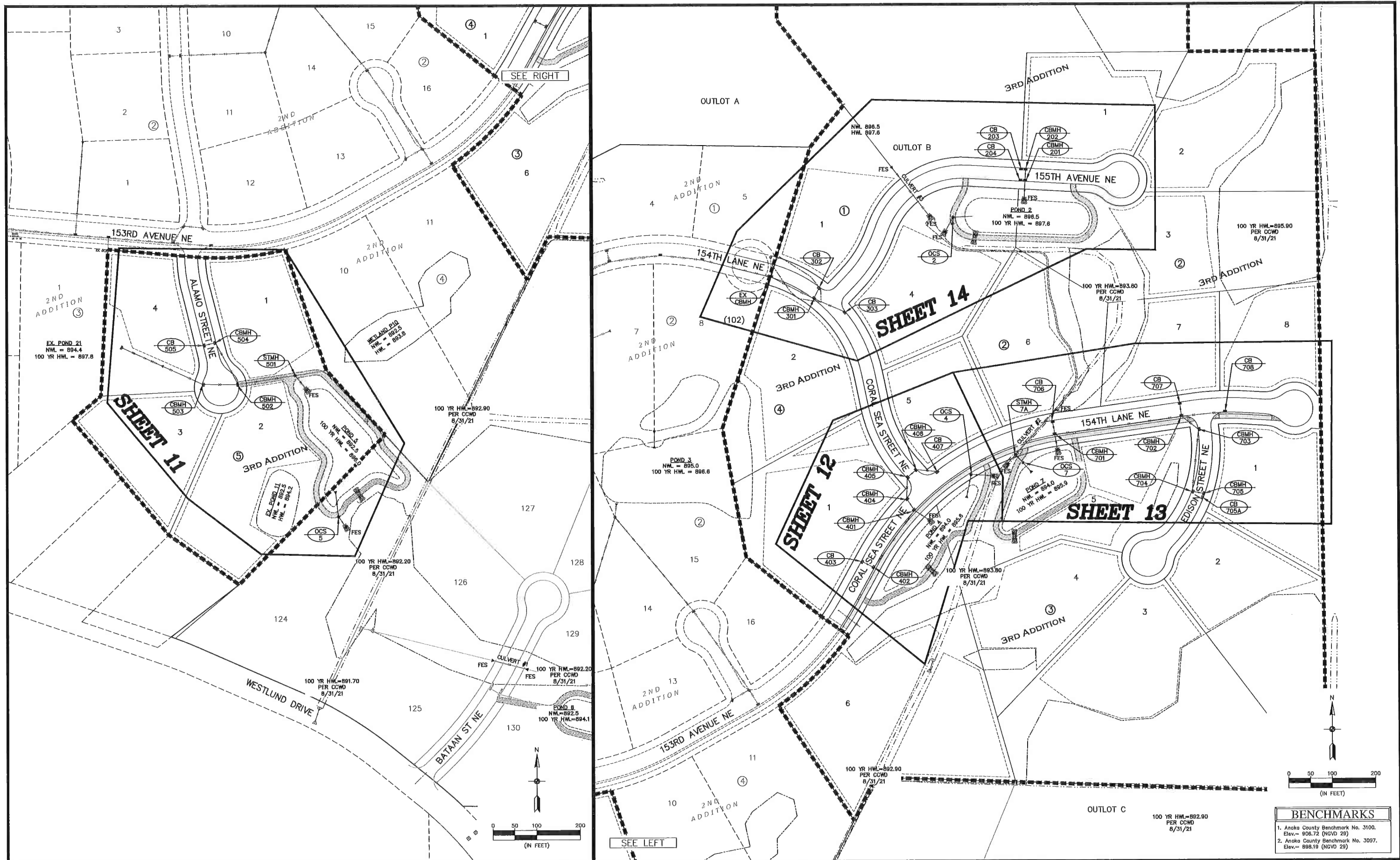
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**HARMONY ESTATES
 3RD ADDITION**
 Ham Lake, MN

**GRADING, DRAINAGE &
 EROSION CONTROL PLAN**

9 of 28

Save Date: 07/13/25 | F:\Jobs\15101 - 5220\1513-02 - harmony estates 3rd add\00\Lead_C3D\en\grading\final plans\1513-02.grd



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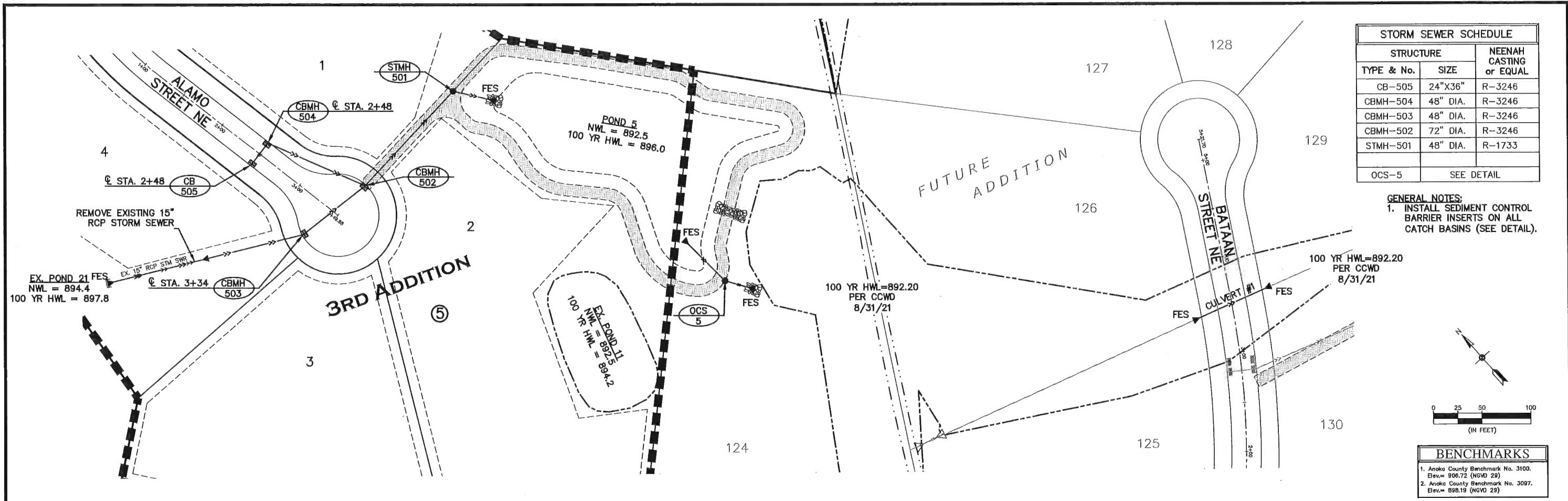
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3RD ADDITION
Ham Lake, MN

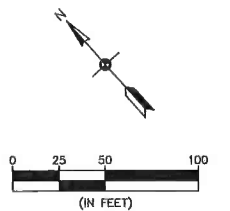
STORM SEWER INDEX

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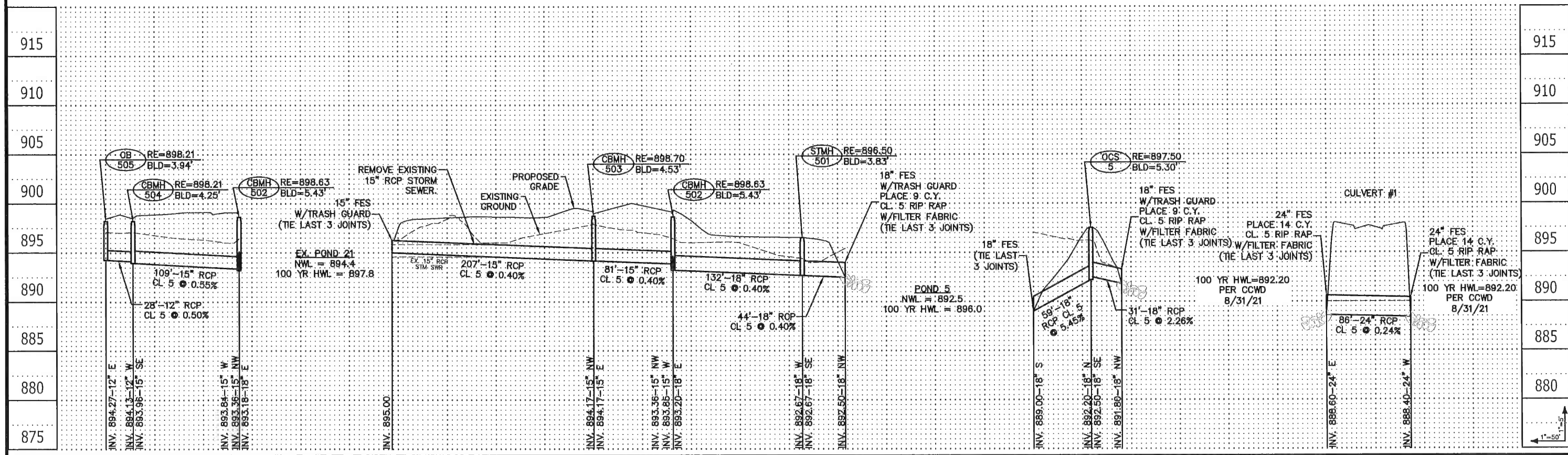


STORM SEWER SCHEDULE		
STRUCTURE	SIZE	NEENAH CASTING or EQUAL
TYPE & No.		
CB-505	24"X36"	R-3246
CBMH-504	48" DIA.	R-3246
CBMH-503	48" DIA.	R-3246
CBMH-502	72" DIA.	R-3246
STMH-501	48" DIA.	R-1733
OCS-5		SEE DETAIL

GENERAL NOTES:
 1. INSTALL SEDIMENT CONTROL BARRIER INSERTS ON ALL CATCH BASINS (SEE DETAIL).



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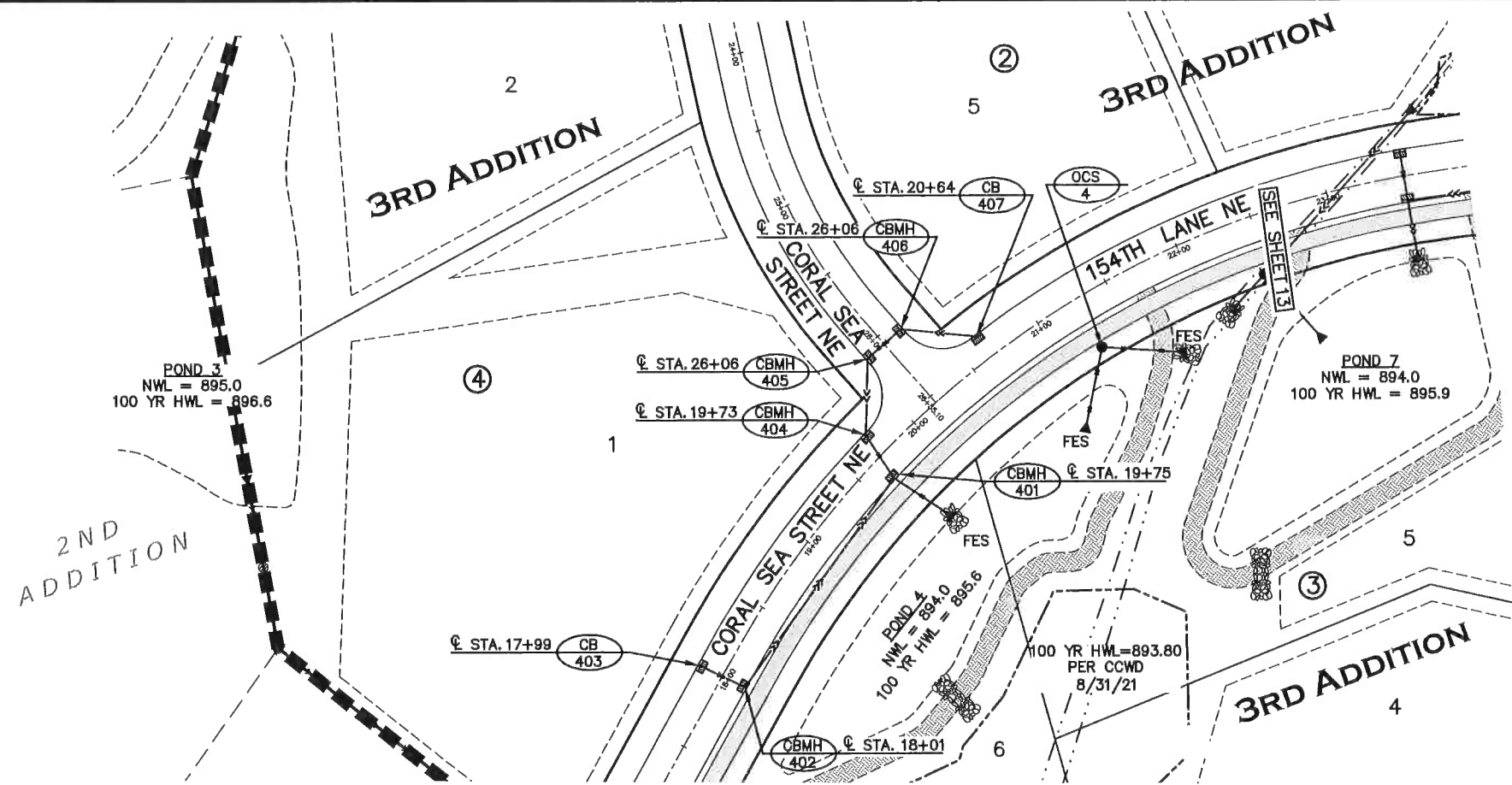
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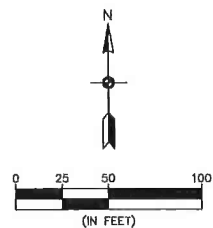
HARMONY ESTATES
 3RD ADDITION
 Ham Lake, MN

STORM SEWER
 11 of 28
 #5213-02

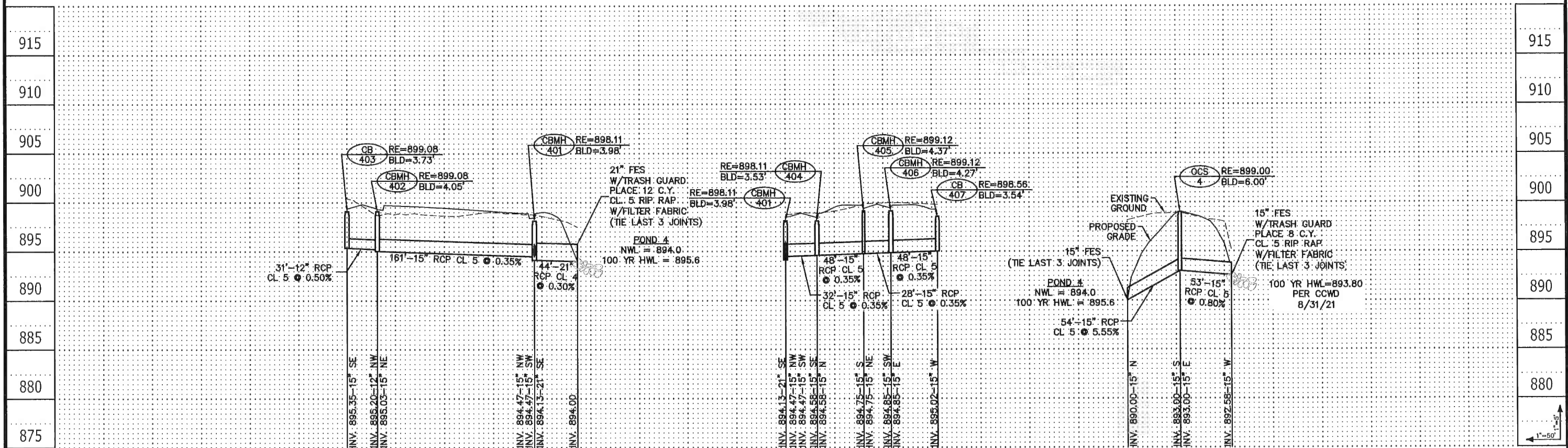


STORM SEWER SCHEDULE		
STRUCTURE	NEENAH CASTING or EQUAL	
TYPE & No.	SIZE	
CBMH-401	48" DIA.	R-3246
CBMH-402	48" DIA.	R-3246
CB-403	24"X36"	R-3246
CBMH-404	48" DIA.	R-3246
CBMH-405	48" DIA.	R-3246
CBMH-406	48" DIA.	R-3246
CB-407	24"X36"	R-3246
OCS-4	SEE DETAIL	

GENERAL NOTES:
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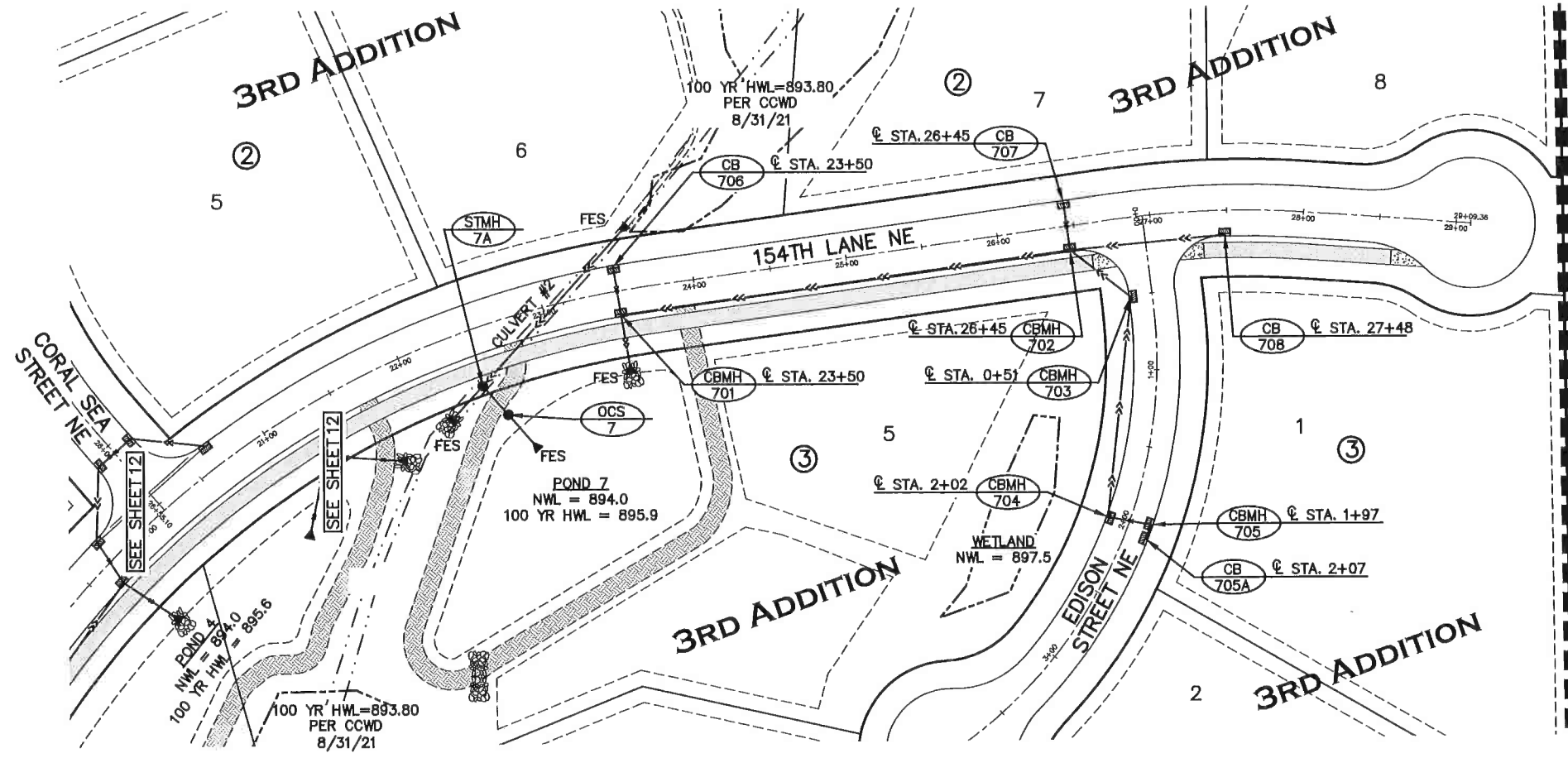
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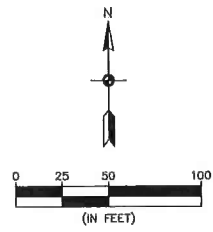
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STORM SEWER

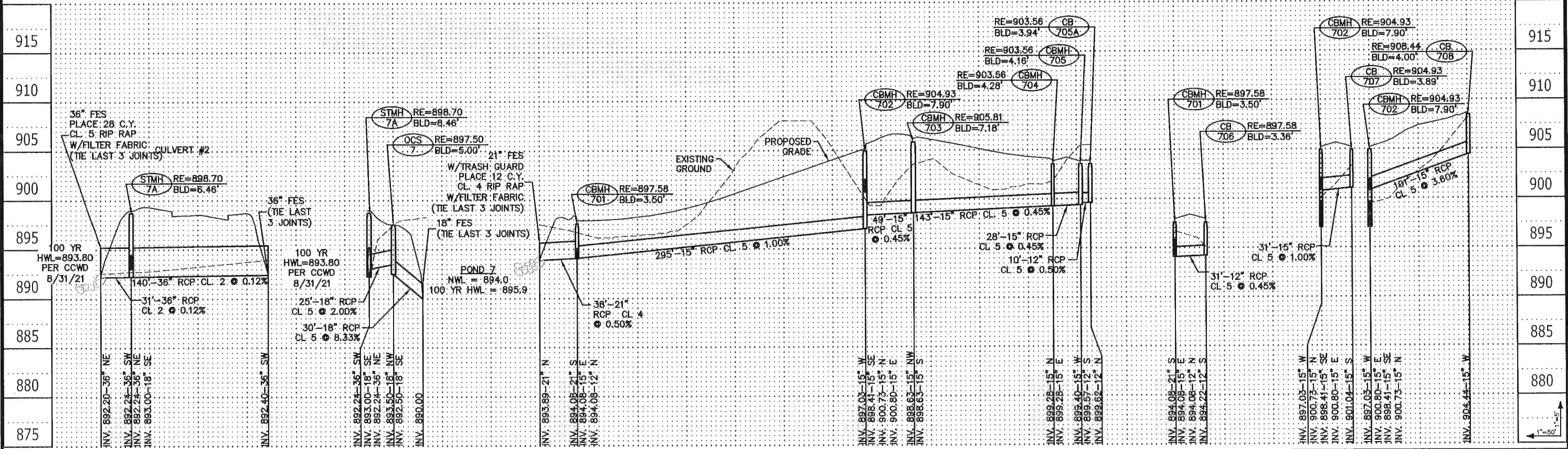


STORM SEWER SCHEDULE		
STRUCTURE	NEENAH CASTING or EQUAL	
OCS-7	SEE DETAIL	
STMH-7A	84" DIA.	R-1642
CBMH-701	48" DIA.	R-3246
CBMH-702	48" DIA.	R-3246
CBMH-703	48" DIA.	R-3246
CBMH-704	48" DIA.	R-3246
CBMH-705	48" DIA.	R-3246
CB-705A	24"X36"	R-3246
CB-706	24"X36"	R-3246
CB-707	24"X36"	R-3246
CB-708	24"X36"	R-3246

GENERAL NOTES:
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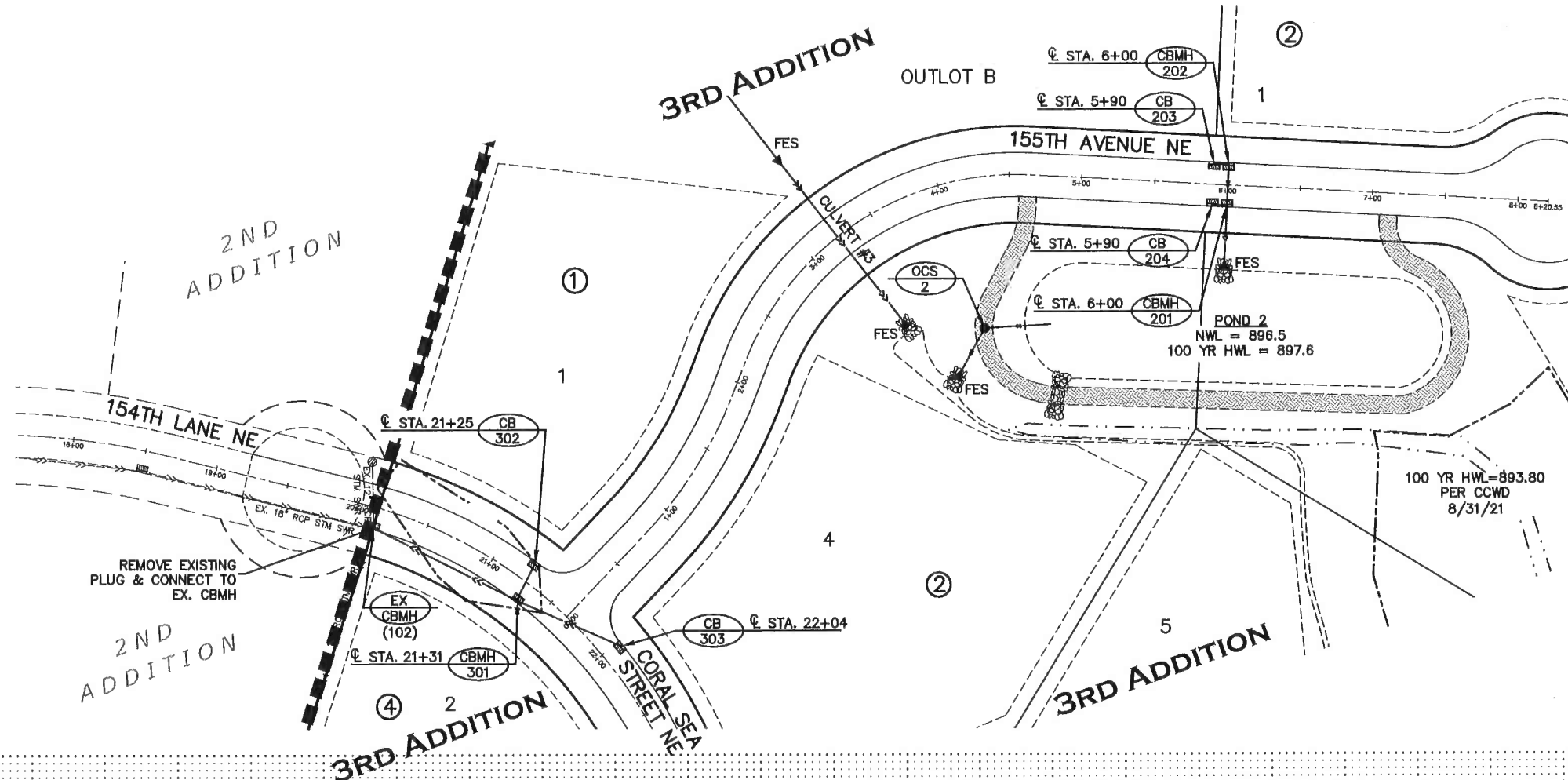
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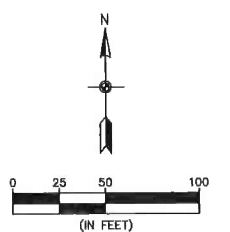
HARMONY ESTATES
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 Ham Lake, MN

STORM SEWER
 13 of 28
 #5213-02

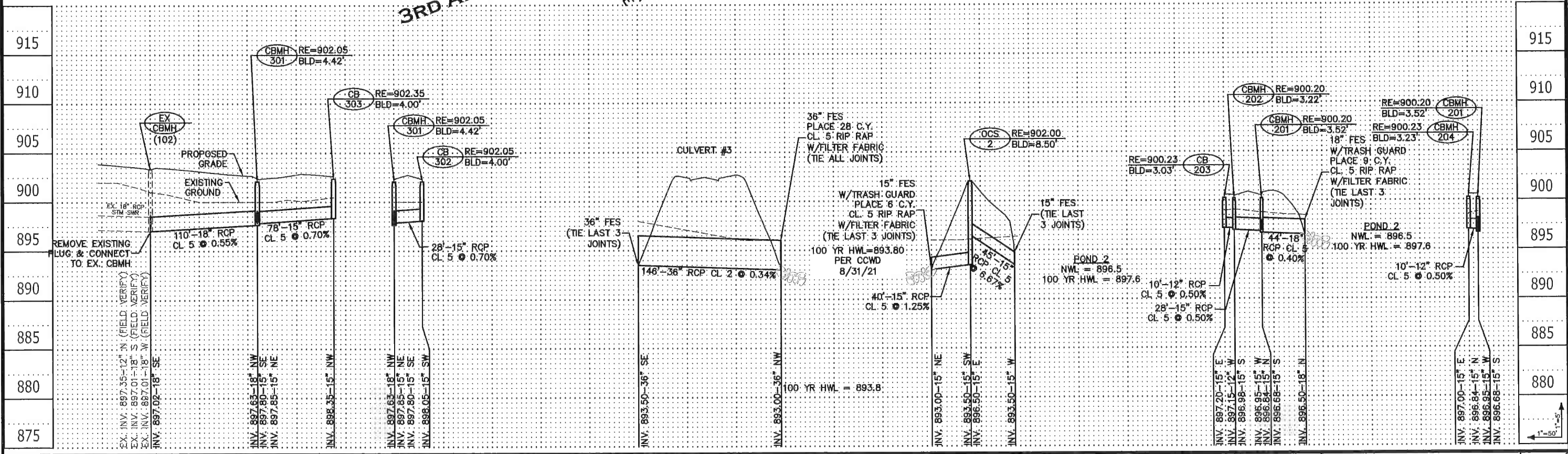


STORM SEWER SCHEDULE		
TYPE & No.	STRUCTURE	NEENAH CASTING
		or EQUAL
CB-303	24"X36"	R-3246
CBMH-301	48" DIA.	R-3246
CB-302	24"X36"	R-3246
OCS-2	SEE DETAIL	
CB-203	24"X36"	R-3246
CBMH-202	48" DIA.	R-3246
CBMH-201	48" DIA.	R-3246
CB-204	24"X36"	R-3246

GENERAL NOTES:
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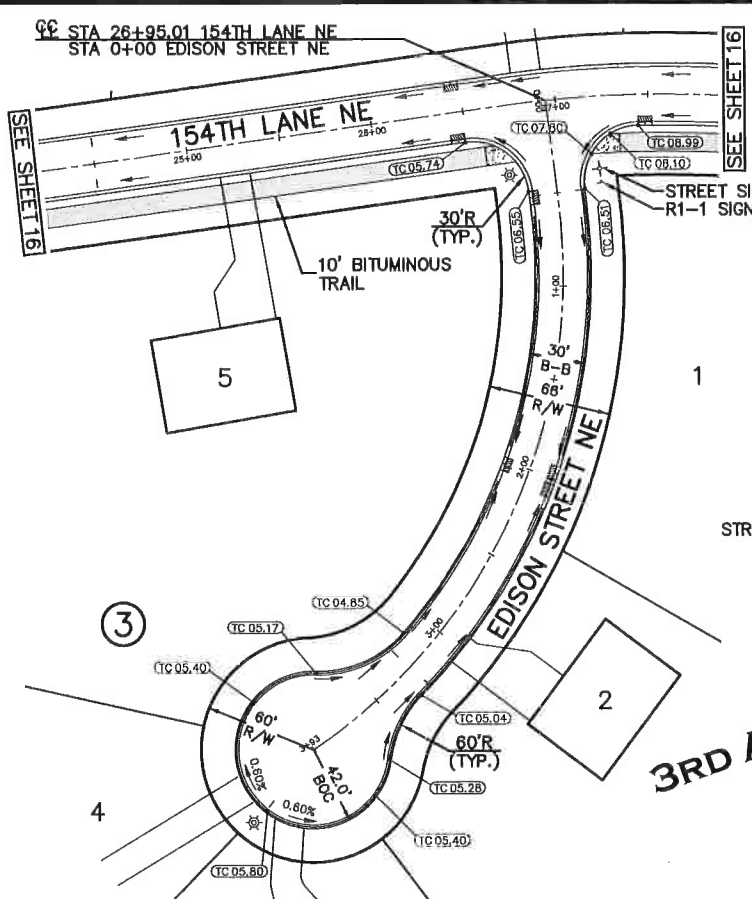
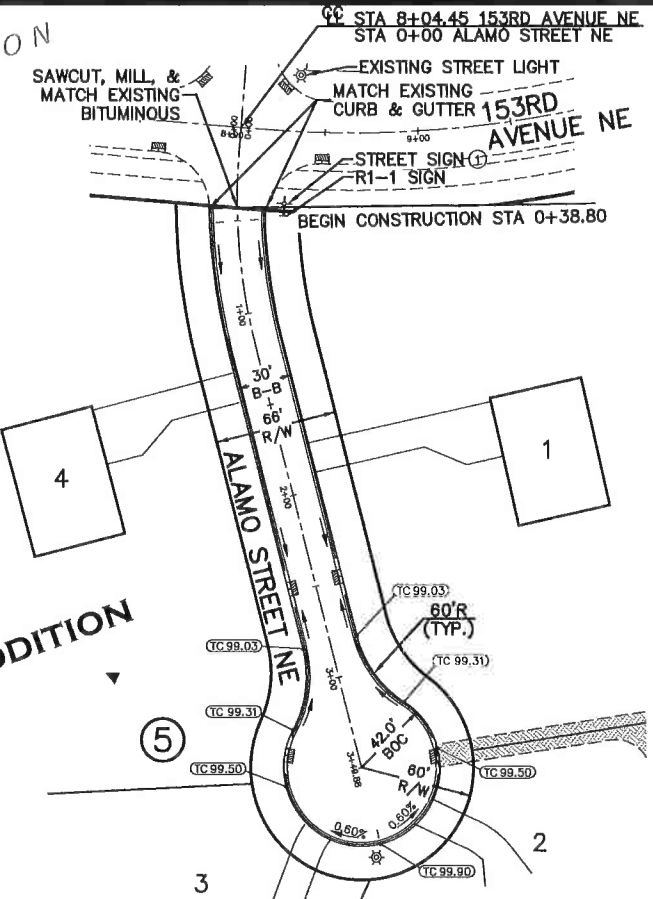
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STORM SEWER

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2ND ADDITION



CURVE DATA (ALAMO STREET NE)

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PT	= 1+18.45
Δ	= 018°52'38"
R	= 312.00'
L	= 102.7941'
T	= 51.87'

CURVE DATA (EDISON STREET NE)

PC	= 0+56.43
PT	= 3+93.00
Δ	= 063°02'38"
R	= 305.88'
L	= 336.5620'
T	= 187.60'

STREET NAME SIGNS

NAMES	QUANTITY
① Alamo St NE 153rd Ave NE	1
② Coral Sea St NE Coral Sea St. NE 154th Lane NE	1
③ Edleon St NE 154th Lane NE	1
④ Coral Sea St NE 155th Ave NE 154th Lane NE	1
⑤ 153rd Ave NE Coral Sea St. NE	1

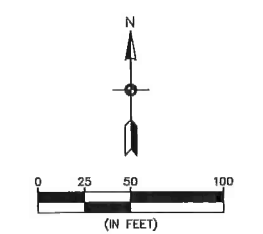
CURB TYPES LEGEND

	D312M CONCRETE CURB & GUTTER
	B618 CONCRETE CURB & GUTTER
	DENOTES TOP OF CURB ELEVATION FOR THE TYPE OF CURB SHOWN.
	PEDESTRIAN RAMP (SEE DETAIL 12)
	VALLEY GUTTER

SIGN SCHEDULE

SIGN	SIGN NO.	SIZE	QUANTITY
	R1-1	30" x 30"	4
			2
	FUTURE THRU STREET	12" x 18"	1
STREET SIGNS			4

LIGHTING NOTES:
 PROPOSED LIGHT LOCATION.
 FINAL LOCATION TO BE VERIFIED WITH CITY/CONNEXUS.



BENCHMARKS

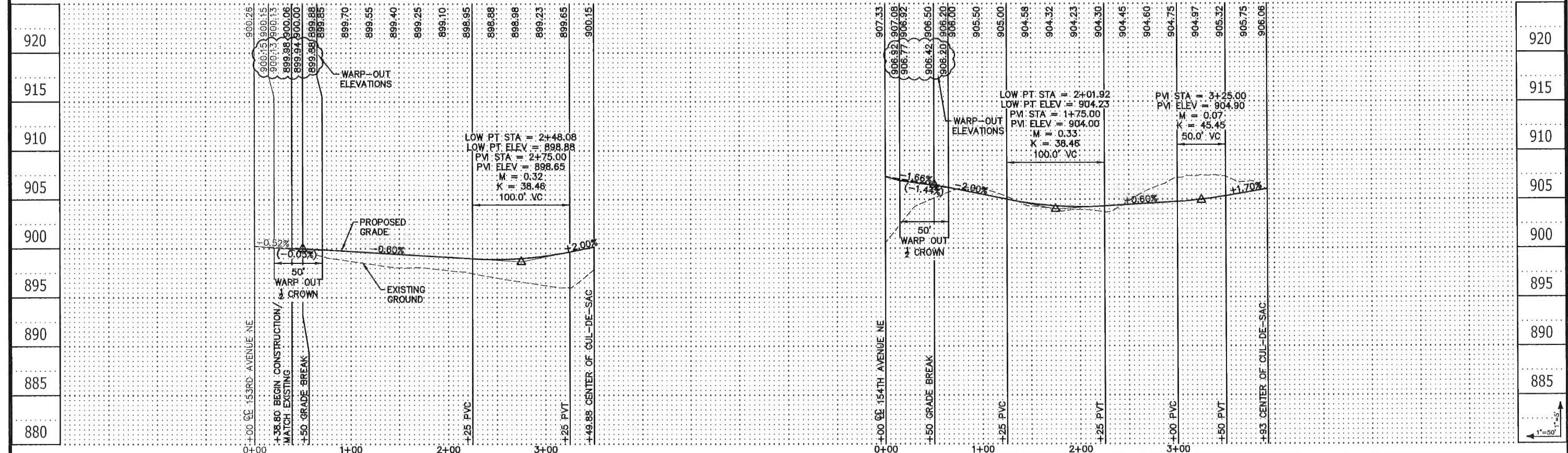
1. Anoka County Benchmark No. 3100. Elev. = 906.72 (NGVD 29)
2. Anoka County Benchmark No. 3097. Elev. = 895.19 (NGVD 29)

3RD ADDITION

3RD ADDITION

ALAMO STREET NE

EDISON STREET NE



CARLSON ENGINEERING
 ENGINEERING SURVEYING PLANNING
 3990 PHEASANT RIDGE DR NE SUITE 100
 BLAINE, MN 55449
 TEL: 763-489-7900
 FAX: 763-489-7999
 CARLSON-ENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Print Name: Justin J Olson
 Signature: *Justin J Olson*
 Date: 5/21/25 License #: 54231

Drawn: CRM
 Designed: JJO
 Date: 5/21/25

NOVA DEVELOPMENT, LLC
 14916 Central Ave NE
 Ham Lake, MN 55304

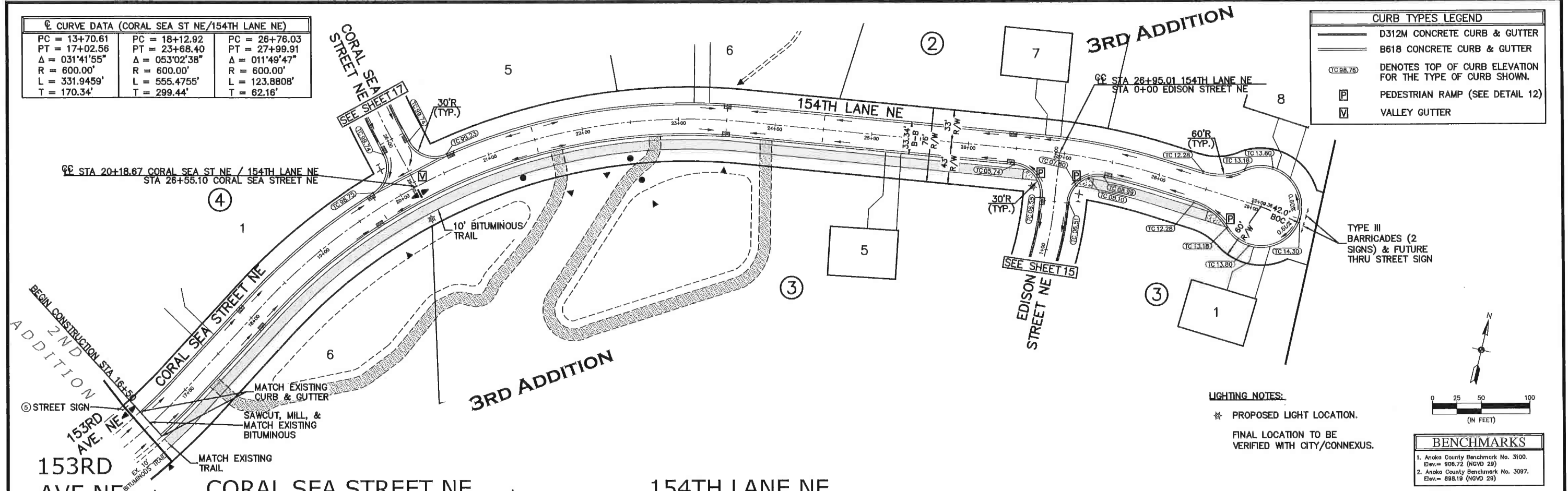
HARMONY ESTATES
 3RD ADDITION
 Ham Lake, MN

STREET CONSTRUCTION

Save Date: 05/17/25 F:\00915101 - 5220\5213-02 - Harmony Estates 3rd Addition\cadd\engineering\final\plans\5213-02_street.dwg

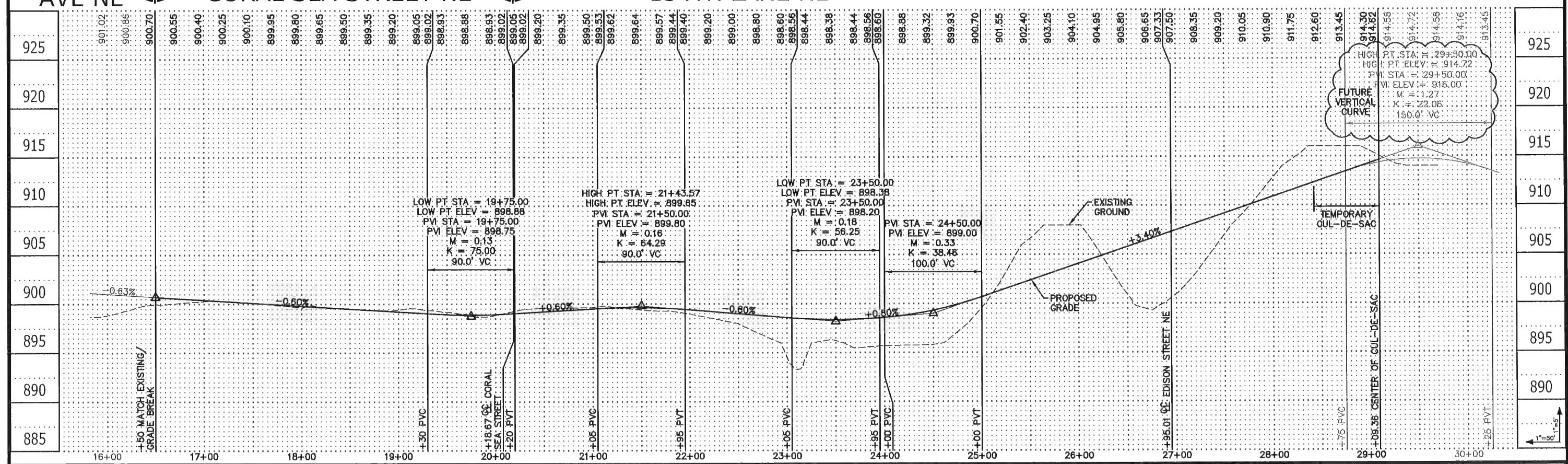
C CURVE DATA (CORAL SEA ST NE/154TH LANE NE)		
PC = 13+70.61	PC = 18+12.92	PC = 26+76.03
PT = 17+02.56	PT = 23+68.40	PT = 27+99.91
$\Delta = 031^{\circ}41'55''$	$\Delta = 053^{\circ}02'38''$	$\Delta = 011^{\circ}49'47''$
R = 600.00'	R = 600.00'	R = 600.00'
L = 331.9459'	L = 555.4755'	L = 123.8808'
T = 170.34'	T = 299.44'	T = 62.16'

CURB TYPES LEGEND	
	D312M CONCRETE CURB & GUTTER
	B618 CONCRETE CURB & GUTTER
	TC 98.76 DENOTES TOP OF CURB ELEVATION FOR THE TYPE OF CURB SHOWN.
	PEDESTRIAN RAMP (SEE DETAIL 12)
	VALLEY GUTTER



LIGHTING NOTES:
 PROPOSED LIGHT LOCATION.
 FINAL LOCATION TO BE VERIFIED WITH CITY/CONNEXUS.

BENCHMARKS	
1. Anoka County Benchmark No. 3100.	Elev. = 906.72 (NGVD 29)
2. Anoka County Benchmark No. 3097.	Elev. = 898.19 (NGVD 29)

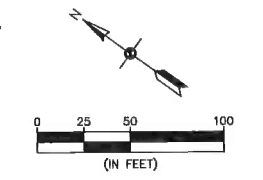


CARLSON ENGINEERING ENGINEERING SURVEYING PLANNING	3890 PHEASANT RIDGE DR NE SUITE 100 BLAINE, MN 55449 TEL 763.489.7800 FAX 763.489.7899 CARLSON-ENGINEERING.COM	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota. Signature: <i>Justin J. Olson</i> Date: 5/21/25 License #: 54231	Drawn: CRM Designed: JJO Date: 5/21/25	Revisions: 1. 6/20/25 Per City Comments 2. 7/11/25 Per City Comments 3. 8/7/25 Add Street Light Locations 4. 9/17/25 Adjust Curb Type for Coral Sea St/154th Ln.	NOVA DEVELOPMENT, LLC 14916 Central Ave NE Ham Lake, MN 55304	HARMONY ESTATES 3RD ADDITION Ham Lake, MN	STREET CONSTRUCTION	16 of 28
					Save Date: 09/17/25 | Project: 252105213-02 - harmony estates 3rd addition | User: c39@carlsoneng.com | Plan: 05213-02_street.dwg				#5213-02

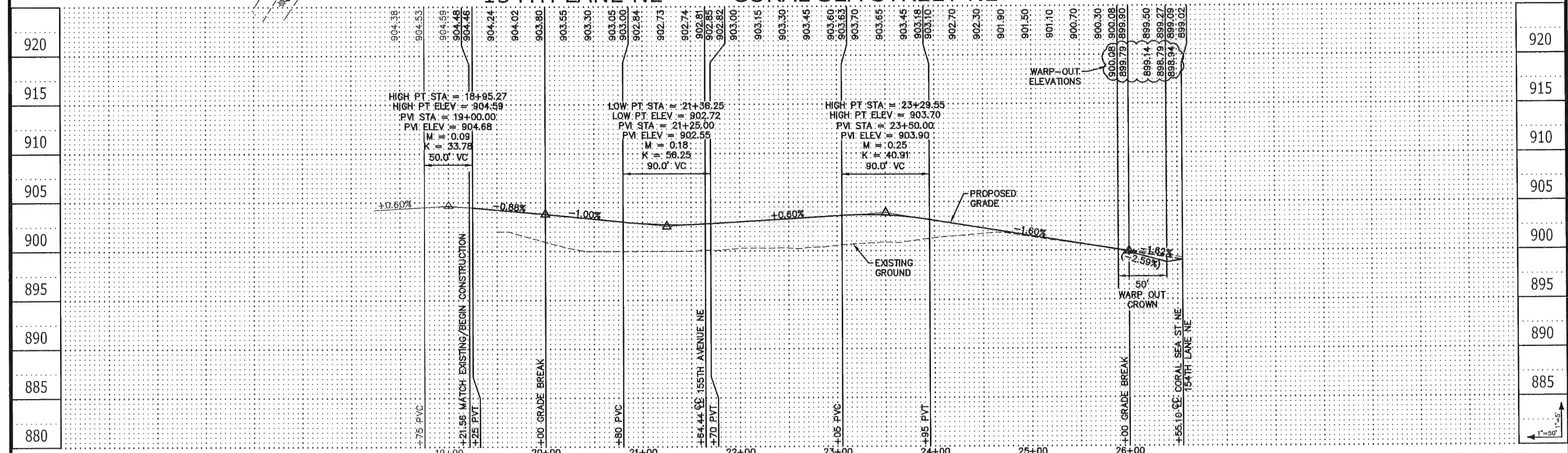
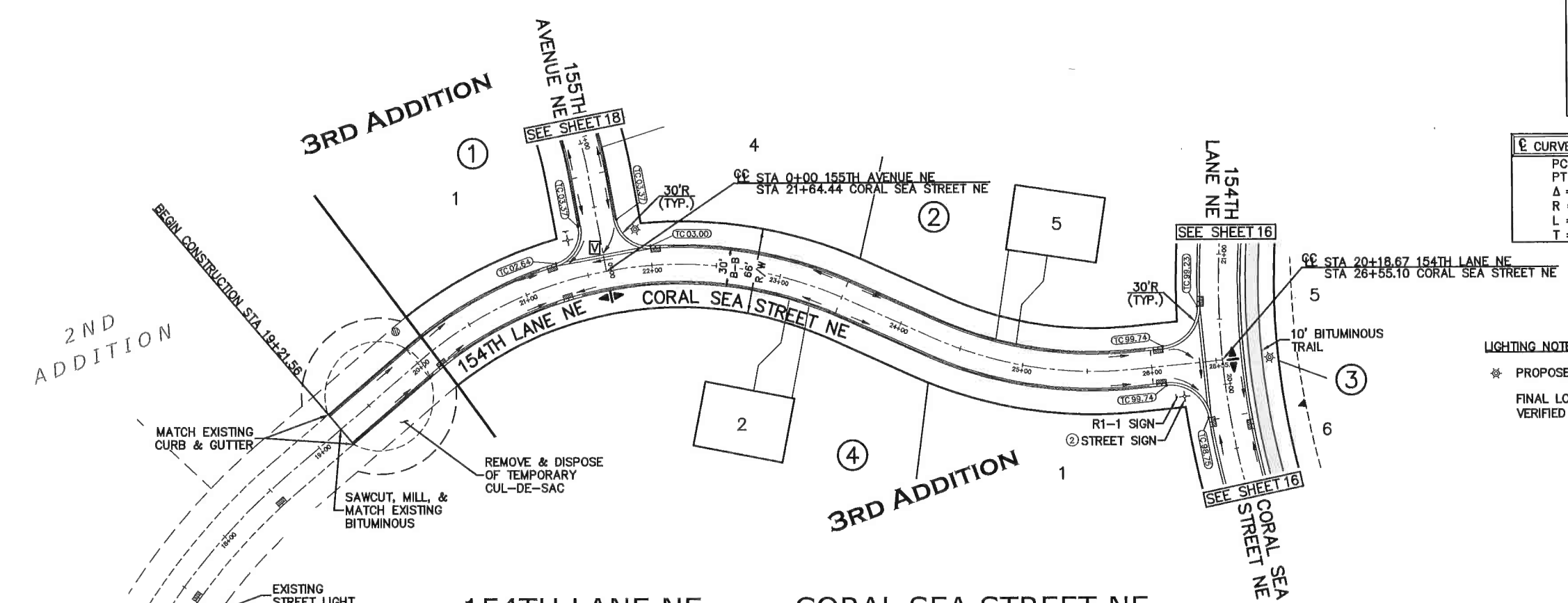
CURB TYPES LEGEND	
	D312M CONCRETE CURB & GUTTER
	B618 CONCRETE CURB & GUTTER
	TC DENOTES TOP OF CURB ELEVATION FOR THE TYPE OF CURB SHOWN.
	PEDESTRIAN RAMP (SEE DETAIL 12)
	VALLEY GUTTER

CURVE DATA (154TH LANE NE/CORAL SEA STREET NE)	
PC = 20+01.49	PC = 24+24.78
PT = 23+52.43	PT = 25+85.95
Δ = 064°26'47"	Δ = 029°35'45"
R = 312.00'	R = 312.00'
L = 350.9374'	L = 161.1623'
T = 196.65'	T = 82.42'

LIGHTING NOTES:
 PROPOSED LIGHT LOCATION.
 FINAL LOCATION TO BE VERIFIED WITH CITY/CONNEXUS.



BENCHMARKS	
1.	Anoka County Benchmark No. 3100. Elev. = 906.72 (NGVD 29)
2.	Anoka County Benchmark No. 3097. Elev. = 898.19 (NGVD 29)

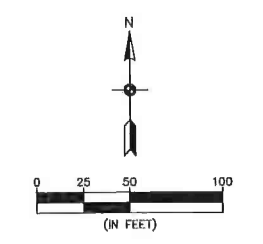


CARLSON ENGINEERING ENGINEERING SURVEYING PLANNING	3890 PHEASANT RIDGE DR NE SUITE 100 BLAINE, MN 55449 TEL 763.489.7800 FAX 763.489.7859 CARLSON-ENGINEERING.COM	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota. Print Name: Justin J Olson Signature: Date: 5/21/25 License #: 54231	Drawn: CRM Designed: JJJ Date: 5/21/25	Revisions: 1. 6/20/25 Per City Comments 2. 7/11/25 Per City Comments 3. 8/7/25 Add Street Light Locations	NOVA DEVELOPMENT, LLC 14916 Central Ave NE Ham Lake, MN 55304	HARMONY ESTATES 3RD ADDITION Ham Lake, MN	STREET CONSTRUCTION	17 of 28

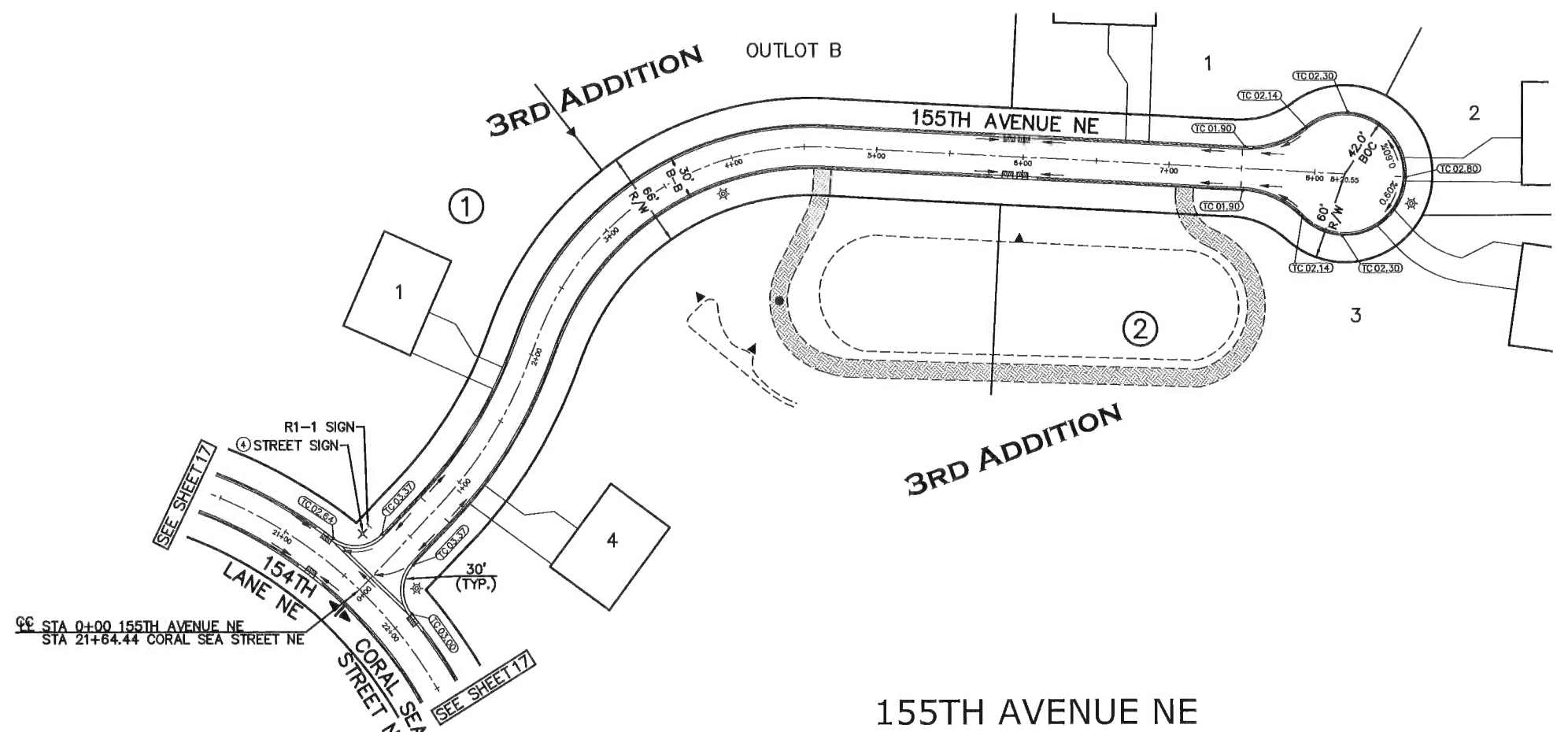
CURB TYPES LEGEND	
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	B61B CONCRETE CURB & GUTTER
	TC 98.76 DENOTES TOP OF CURB ELEVATION FOR THE TYPE OF CURB SHOWN.
	PEDESTRIAN RAMP (SEE DETAIL 12)
	VALLEY GUTTER

CURVE DATA (155TH AVENUE NE)	
PC = 0+76.38	PC = 2+13.78
PT = 1+95.06	PT = 4+65.15
Δ = 022°39'56"	Δ = 072°00'39"
R = 300.00'	R = 200.00'
L = 118.6759'	L = 251.3653'
T = 60.12'	T = 145.34'

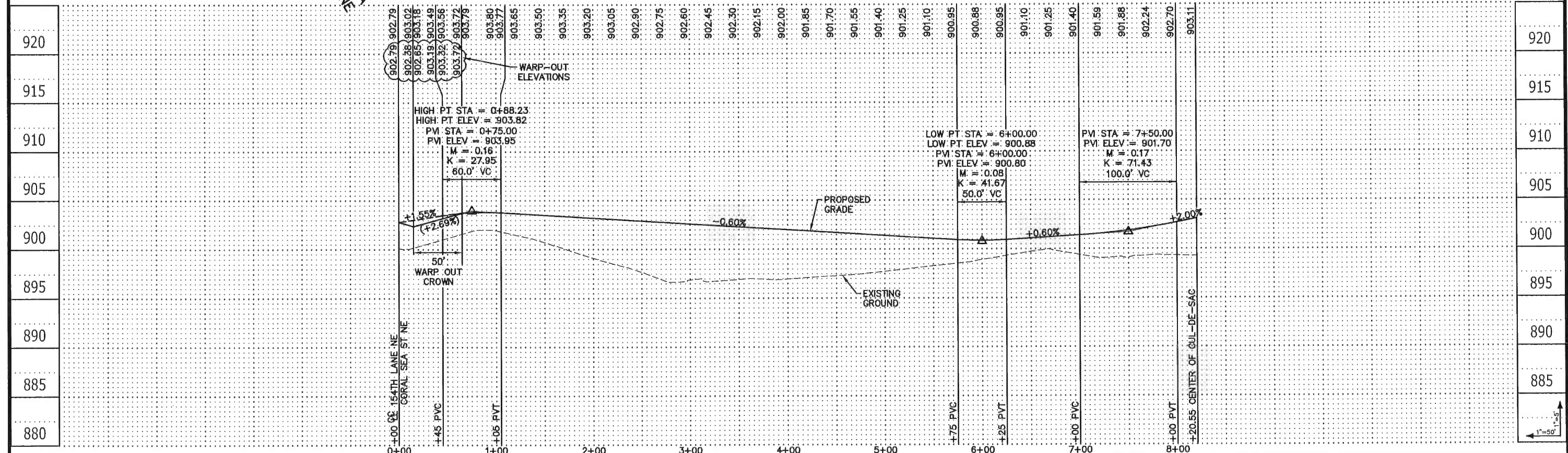
LIGHTING NOTES:
 * PROPOSED LIGHT LOCATION.
 FINAL LOCATION TO BE VERIFIED WITH CITY/CONNEXUS.



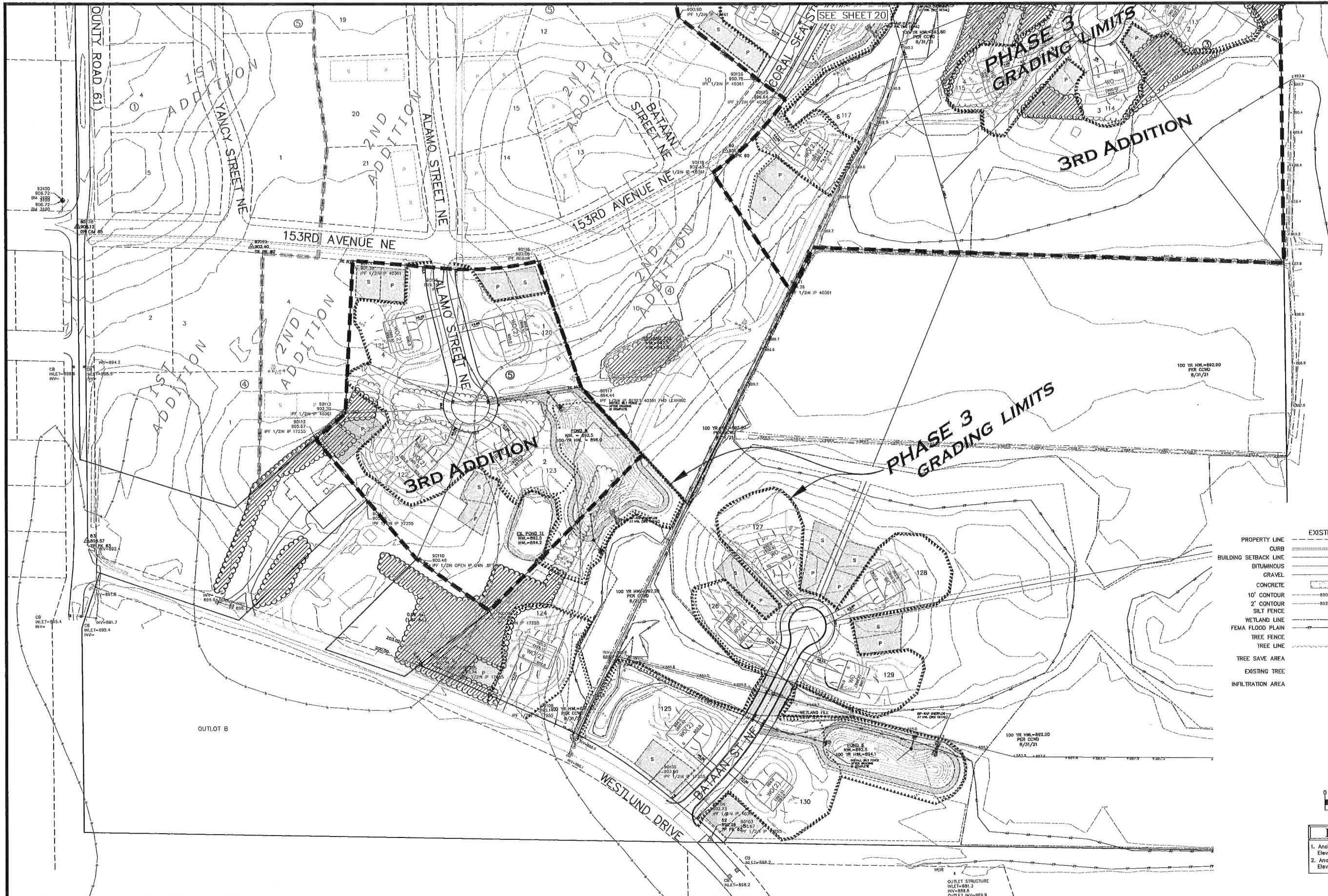
BENCHMARKS	
1. Anoka County Benchmark No. 3100.	Elev. = 906.72 (NGVD 29)
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155TH AVENUE NE

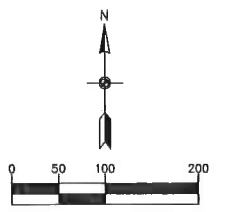


CARLSON ENGINEERING ENGINEERING SURVEYING PLANNING 3890 PHEASANT RIDGE DR NE SUITE 100 BLAINE, MN 55449 TEL 763.489.7900 FAX 763.489.7959 CARLSON-ENGINEERING.COM	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota. Print Name: Justin J Olson Signature: <i>Justin J Olson</i> Date: 5/21/25 License #: 54231	Drawn: CRM Designed: JJO Date: 5/21/25	Revisions: 1. 6/20/25 Per City Comments 2. 7/11/25 Per City Comments 3. 8/7/25 Add Street Light Locations	NOVA DEVELOPMENT, LLC 14916 Central Ave NE Ham Lake, MN 55304	HARMONY ESTATES 3RD ADDITION Ham Lake, MN	STREET CONSTRUCTION	18 of 28
	Save Date: 6/17/25 F:\Jobs\5201 - 5210\5213-02 - harmony estates 3rd add\plan\c3d\engineering\final\plans\5213-02_street.dwg						



LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
CURB	---	---
BUILDING SETBACK LINE	---	---
BITUMINOUS	---	---
GRAVEL	---	---
CONCRETE	---	---
10' CONTOUR	---890---	---890---
2' CONTOUR	---892---	---892---
SILT FENCE	---	---
WETLAND LINE	---	---
FEMA FLOOD PLAIN	---	---
TREE FENCE	---	---
TREE LINE	---	---
TREE SAVE AREA	---	---
EXISTING TREE	---	---
INFILTRATION AREA	---	---



BENCHMARKS

- Anoka County Benchmark No. 3100. Elev. = 908.72 (NGVD 29)
- Anoka County Benchmark No. 3097. Elev. = 898.19 (NGVD 29)

CARLSON ENGINEERING
ENGINEERING SURVEYING PLANNING

3890 PHEASANT RIDGE DR NE
SUITE 100
BLAINE, MN 55449
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CARLSON-ENGINEERING.COM

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Print Name: Justin J. Olson
Signature: *Justin J. Olson*
Date: 5/21/25 License #: 54231

Drawn: CRM
Designed: JJO
Date: 5/21/25

Revisions:
1. 6/20/25 Per City Comments
2. 7/11/25 Per City Comments

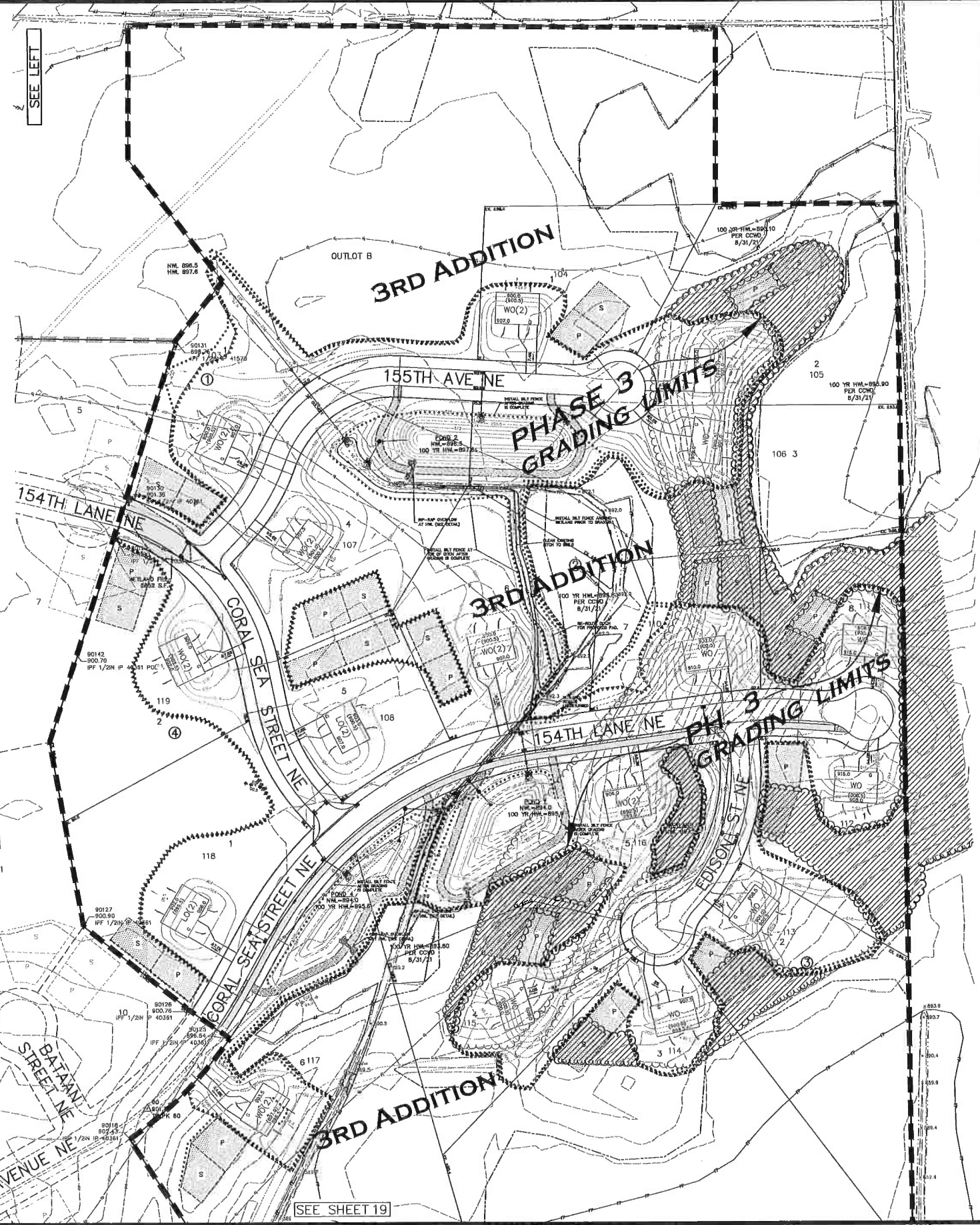
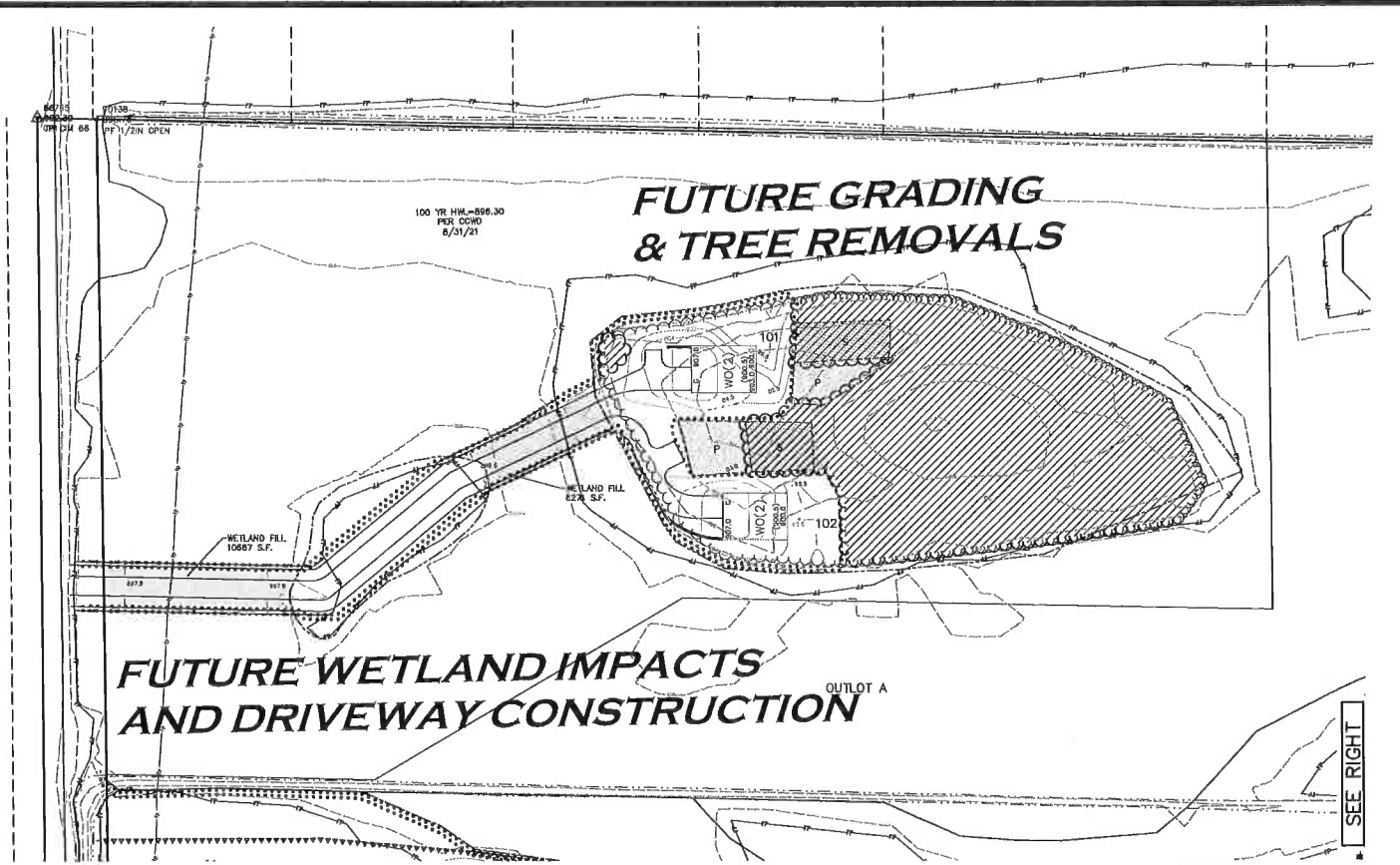
NOVA DEVELOPMENT, LLC
14916 Central Ave NE
Ham Lake, MN 55304

HARMONY ESTATES
3RD ADDITION
Ham Lake, MN

TREE PRESERVATION PLAN

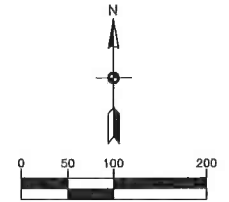
19 of 28

Save Date: 8/29/25 11:06:52 AM - 52061513-02 - Harmony Estates 3rd Addition CSD Engineering Final 8/29/25 11:06:52 AM.dwg



LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
CURB	---	---
BUILDING SETBACK LINE	---	---
BITUMINOUS	---	---
GRAVEL	---	---
CONCRETE	---	---
10' CONTOUR	---890---	---890---
2' CONTOUR	---892---	---892---
SILT FENCE	---	---
WETLAND LINE	---	---
FEMA FLOOD PLAIN	---	---
TREE FENCE	---	---
TREE LINE	---	---
TREE SAVE AREA	---	---
EXISTING TREE	---	---
INFILTRATION AREA	---	---



BENCHMARKS

- Anoka County Benchmark No. 3100. Elev.= 908.72 (NGVD 29)
- Anoka County Benchmark No. 3097. Elev.= 898.19 (NGVD 29)

CARLSON ENGINEERING
 ENGINEERING SURVEYING PLANNING
 3990 PHEASANT RIDGE DR NE SUITE 100
 BLAINE, MN 55449
 TEL 763-489-7900
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 CARLSON-ENGINEERING.COM

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 Signature: *Justin J Olson*
 Date: 5/21/25 License #: 54231

Drawn: CRM
 Designed: JJO
 Date: 5/21/25

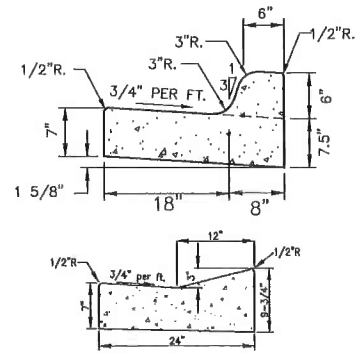
Revisions:
 1. 5/20/25 Per City Comments
 2. 7/11/25 Per City Comments

NOVA DEVELOPMENT, LLC
 14916 Central Ave NE
 Ham Lake, MN 55304

HARMONY ESTATES
 3RD ADDITION
 Ham Lake, MN

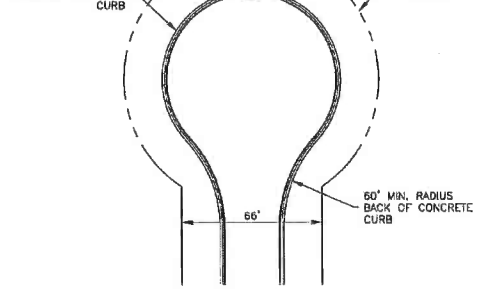
TREE PRESERVATION PLAN

B618 CURB & GUTTER

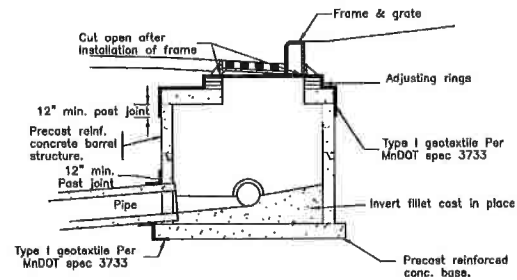


D312 MODIFIED CONCRETE CURB AND GUTTER HL-355A
NOT TO SCALE

TYPICAL RESIDENTIAL CUL-DE-SAC HL-367A



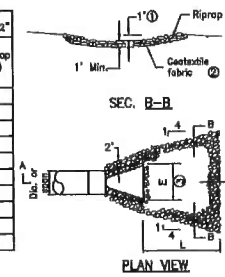
TYPICAL RESIDENTIAL CUL-DE-SAC HL-367A
NOT TO SCALE



FABRIC AROUND CATCH BASIN HL-463A1
NOT TO SCALE

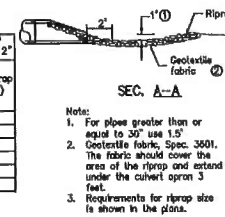
TABLE OF QUANTITIES
Riprap at RCP Outlets

Dia. Pipe (in.)	L (ft.)	Class III		
		Depth Riprap (Cu. Yd.)	Depth Riprap (Cu. Yd.)	Depth Riprap (Cu. Yd.)
12	8	3.0	4.4	5.9
15	8	3.2	4.5	6.4
18	10	4.3	6.4	8.6
21	10	4.7	7.1	9.4
24	12	6.2	9.2	12.3
27	12	6.6	9.9	13.2
30	14	8.2	12.3	16.4
36	18	10.6	15.8	21.1
42	18	12.5	18.7	24.9
48	20	14.8	22.2	29.6



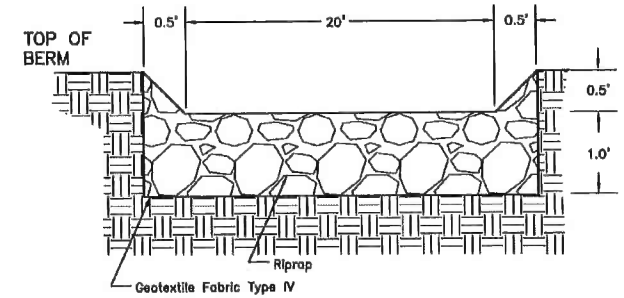
Riprap at RCPA Outlets

Span Pipe (in.)	L (ft.)	Class III		
		Depth Riprap (Cu. Yd.)	Depth Riprap (Cu. Yd.)	Depth Riprap (Cu. Yd.)
22	10	4.1	5.1	6.1
28	12	5.7	6.5	11.3
36	14	7.5	11.2	14.9
43	18	9.5	14.3	19.0
51	18	11.3	16.9	22.5
58	20	13.2	19.8	28.4

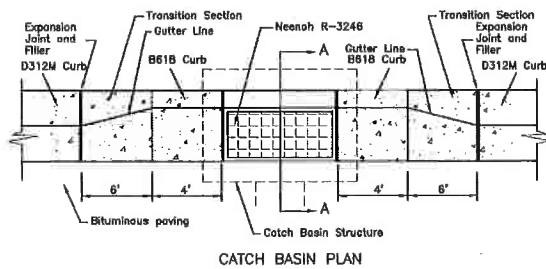


RIPRAP AT RCP OUTLETS HL-480A1
NOT TO SCALE

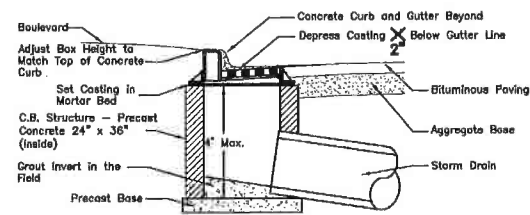
BROAD CRESTED RECTANGULAR WEIR



EMERGENCY OVERFLOW WEIR HL-852A1
NOT TO SCALE

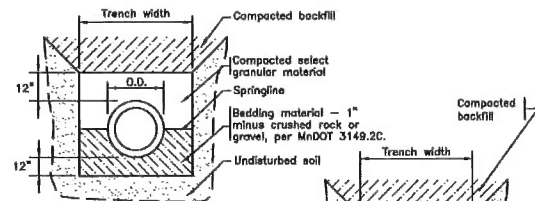


CATCH BASIN PLAN

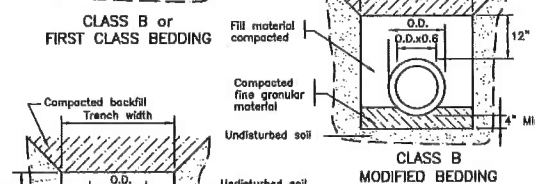


SECTION A-A

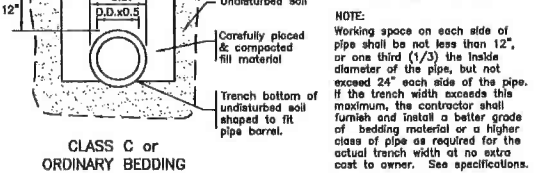
RECTANGULAR CATCH BASIN HL-459B
NOT TO SCALE



CLASS B or FIRST CLASS BEDDING

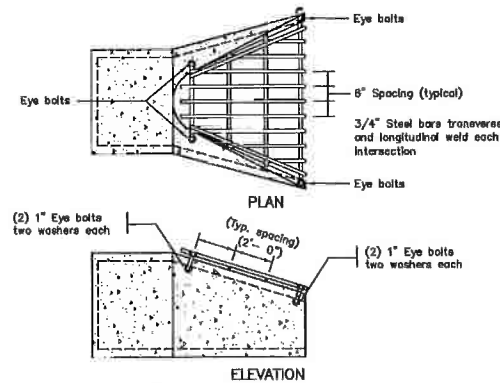


CLASS B MODIFIED BEDDING



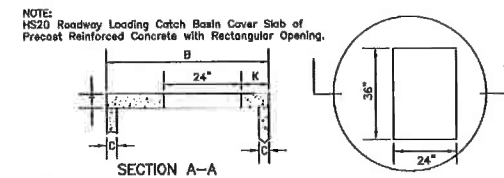
CLASS C or ORDINARY BEDDING

PIPE BEDDING EXCEPT PVC PIPE HL-652C
NOT TO SCALE



ELEVATION

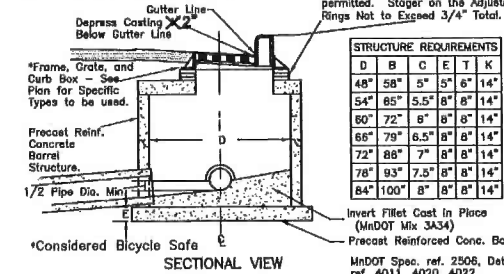
RCP TRASH GUARD HL-466B
NOT TO SCALE



SECTION A-A

PLAN OF COVER SLAB

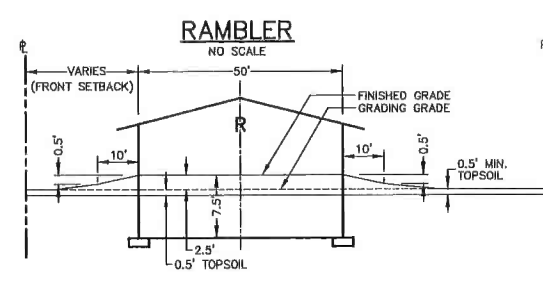
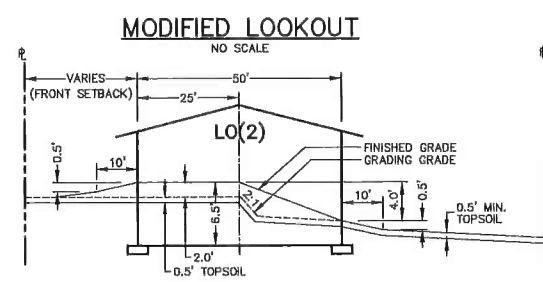
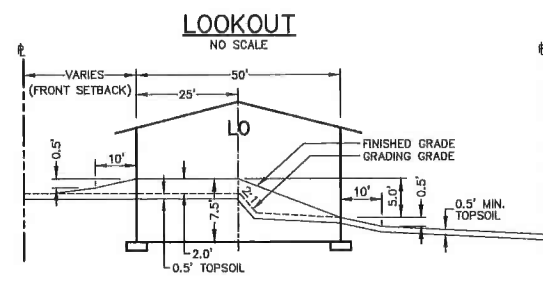
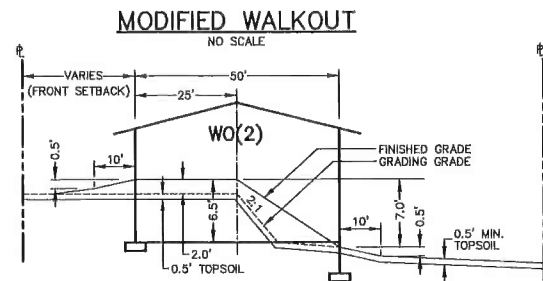
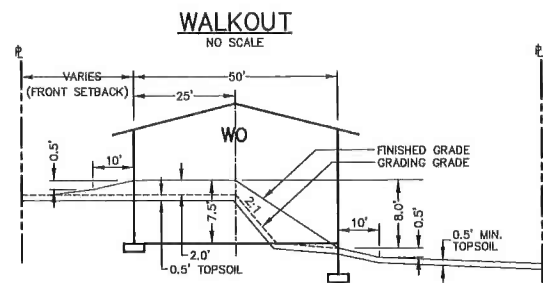
1. Slope needed for structure height greater than 4'.
2. Cover Slab to Rest on Bed of Mortar on Full Thickness of Structure Walls, not to Rest on Pipe Tongue or Groove.
3. Location of Structure as Shown in Plans.
4. See Plan for Box and Grate Type.



RECTANGULAR INLET FOR ROUND MANHOLE HL-465A1
NOT TO SCALE

STRUCTURE REQUIREMENTS

D	B	C	E	T	K
48"	58"	5"	5"	6"	14"
54"	65"	5.5"	6"	8"	14"
60"	72"	6"	8"	8"	14"
66"	79"	6.5"	8"	8"	14"
72"	86"	7"	8"	8"	14"
78"	93"	7.5"	8"	8"	14"
84"	100"	8"	8"	8"	14"



TURF ESTABLISHMENT

TURF ESTABLISHMENT SHALL APPLY TO ALL DISTURBED AREAS AND SHALL BE ACCORDING TO MnDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (LATEST EDITION) EXCEPT AS MODIFIED BELOW.

TURF ESTABLISHMENT SHALL OCCUR AS SOON AS POSSIBLE BUT IN NO CASE MORE THAN 7 DAYS.

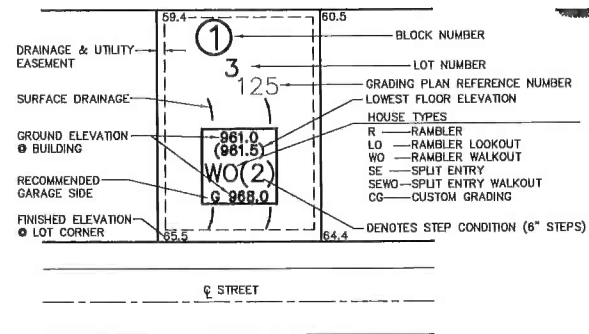
SEED: MnDOT MIXTURE 25-141 AT 60 POUNDS PER ACRE.

DORMANT SEED: SHALL BE APPLIED AT TWICE THE NORMAL RATE AFTER NOVEMBER 1ST.

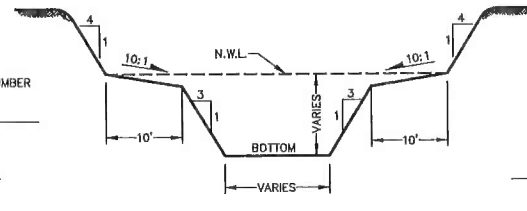
MULCH: TYPE 1 AT 2 TONS PER ACRE (DISK ANCHORED).

FERTILIZER: TYPE 1 10-10-10 AT 200 POUNDS PER ACRE.

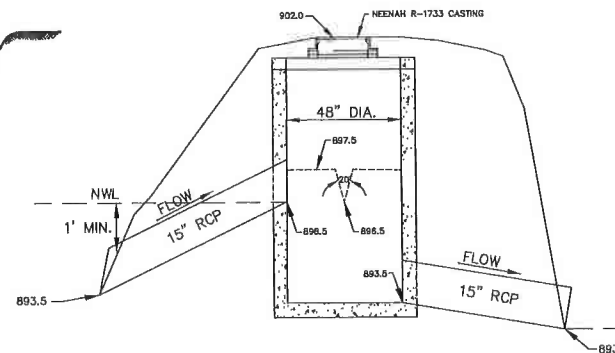
GRADING PLAN LOT KEY



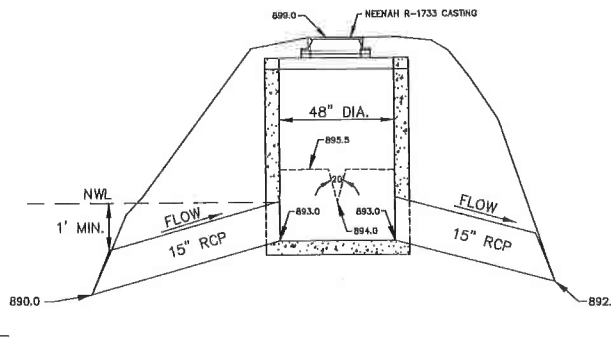
TYPICAL POND SECTION



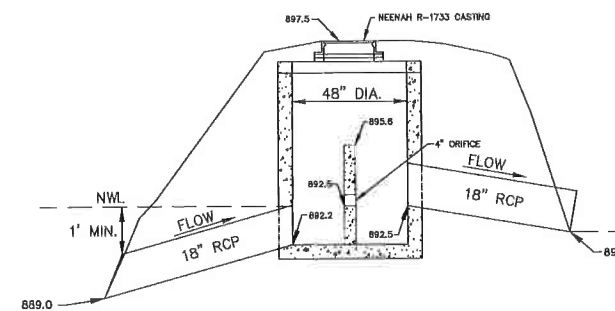
OUTLET STRUCTURE POND 2



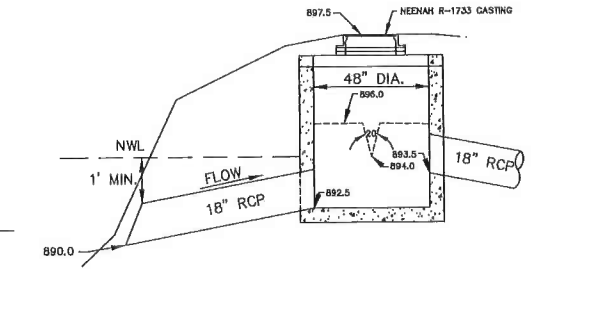
OUTLET STRUCTURE POND 4



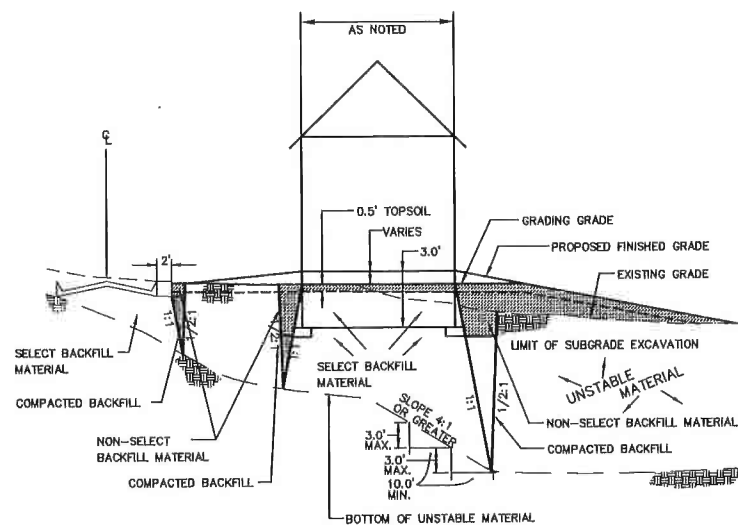
OUTLET STRUCTURE POND 5



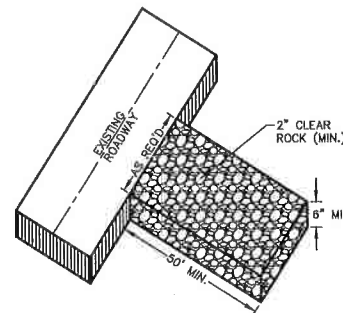
OUTLET STRUCTURE POND 7



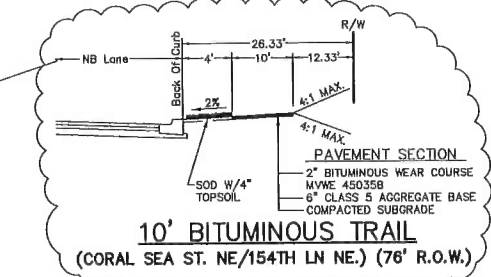
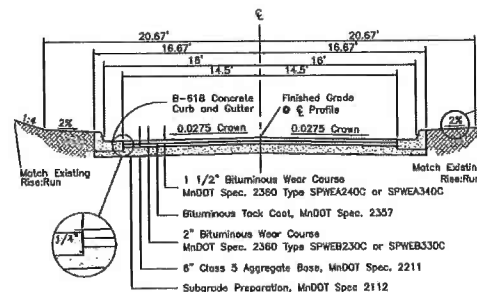
SUBGRADE CORRECTION



ROCK CONSTRUCTION ENTRANCE

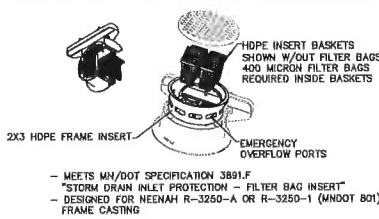


TYPICAL M.S.A STREET HL-366D1 (CORAL SEA ST. NE/154TH LN NE.) (76' R.O.W. 33.34' B-B) NOT TO SCALE



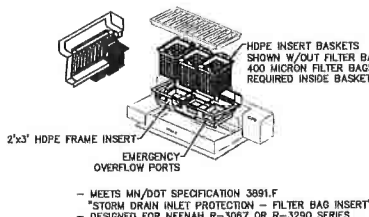
INFRASAFE - 27" DEBRIS COLLECTION DEVICE

AS MANUFACTURED BY ROYAL ENVIRONMENTAL SERVICES

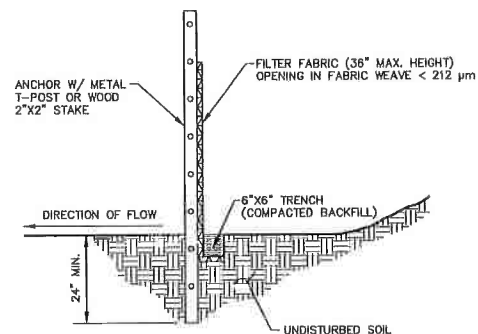


INFRASAFE - 2'x3' DEBRIS COLLECTION DEVICE

AS MANUFACTURED BY ROYAL ENVIRONMENTAL SYSTEMS



SILT FENCE

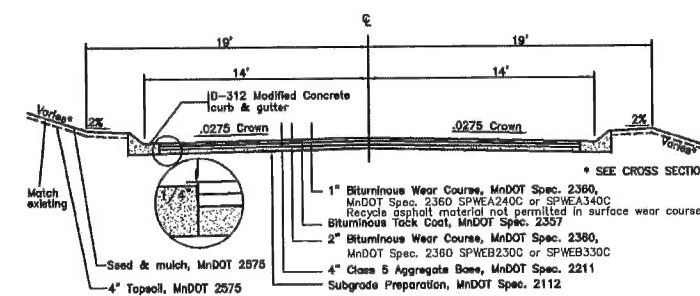


NOTES:

1. DIG A 6"x6" TRENCH ALONG THE INTENDED SILT FENCE LINE.
2. DRIVE ALL ANCHOR POSTS INTO THE GROUND AT THE DOWNHILL SIDE OF THE TRENCH.
3. POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART.
4. LAY OUT SILT FENCE ALONG THE UPHILL SIDE OF THE ANCHOR POSTS AND BACK FILL 6"x6" TRENCH.
5. SECURELY ATTACH SILT FENCE TO ANCHOR POSTS W/ MINIMUM OF THREE ATTACHMENTS PER POST.
6. SEE MN DOT SPECIFICATIONS 2573 & 3886.

TYPICAL STREET SECTIONS HL-366E1

NOT TO SCALE



CARLSON ENGINEERING
 ENGINEERING SURVEYING PLANNING
 3890 PHEASANT RIDGE DR NE SUITE 100 BLAINE, MN 55449
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 CARLSON-ENGINEERING.COM

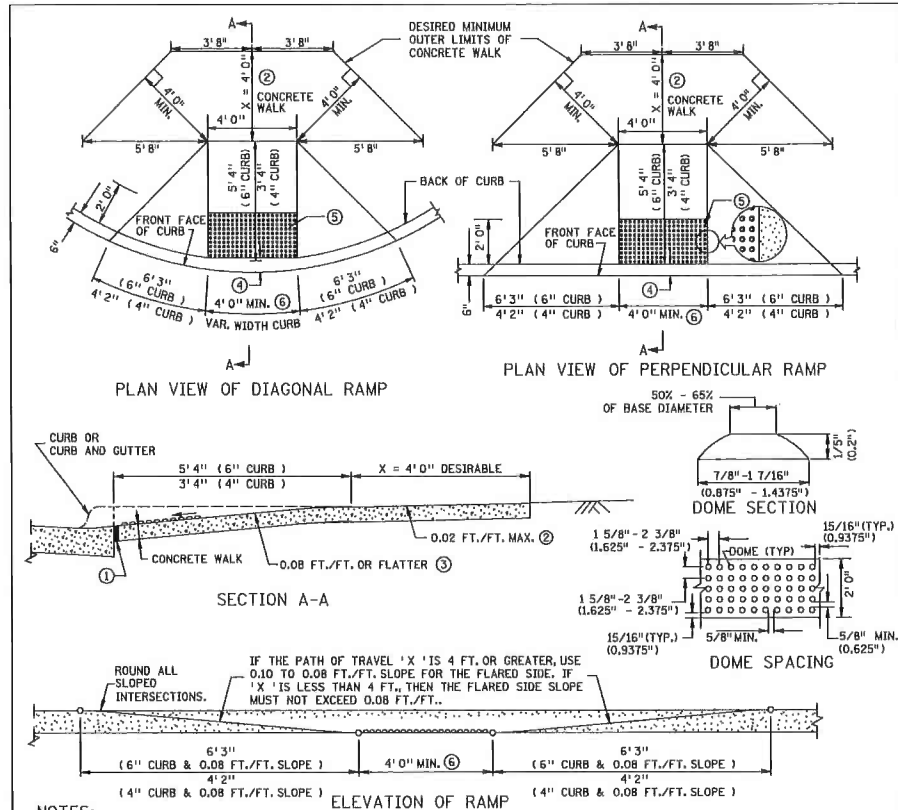
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota
 Print Name: Justin J Olson
 Signature: *Justin J Olson*
 Date: 5/21/25 License #: 54231

Revisions:
 1. 5/20/25 Per City Comments
 2. 7/11/25 Per City Comments
 Drawn: CRM
 Designed: JJO
 Date: 5/21/25

NOVA DEVELOPMENT, LLC
 14916 Central Ave NE
 Ham Lake, MN 55304

HARMONY ESTATES 3RD ADDITION
 Ham Lake, MN

DETAILS



NOTES:

TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA), ALL STATE AND LOCAL AGENCIES ARE REQUIRED TO COMPLY WITH THIS STANDARD PLATE.

THE CURB AND CURB TRANSITION ON THE RAMP WILL BE PAID FOR AS LINEAR FEET OF CONCRETE CURB OR CONCRETE CURB AND GUTTER. THE RAMP AREA WILL BE PAID FOR AS CONCRETE WALK EXCLUDING THE TRUNCATED DOME AREA WHICH WILL BE PAID FOR AS TRUNCATED DOMES BY THE SQUARE FOOT. BIKE TRAILS SHALL HAVE TRUNCATED DOMES ACROSS THE ENTIRE WIDTH OF TRAIL WHEN THE TRAIL CROSSES A ROAD. DOMES ARE NOT TO BE USED ON SIDEWALKS OR TRAILS WHEN CROSSING ALLEYS OR DRIVEWAYS.

① 1/2 INCH PREFORMED JOINT FILLER MATERIAL, AASHTO M 213.

② WHEN POSSIBLE, PROVIDE A CLEAR PATH OF TRAVEL 4'0" WIDE BEHIND THE PEDESTRIAN RAMP. A RELATIVELY FLAT 4' X 4' LANDING WILL ALLOW WHEELCHAIRS TO NAVIGATE AROUND THE PEDESTRIAN RAMP. NO SIGNALS, SIGNS, CABINETS, OR OTHER OBSTRUCTIONS ARE ALLOWED IN THE RAMP OR PATH OF TRAVEL.

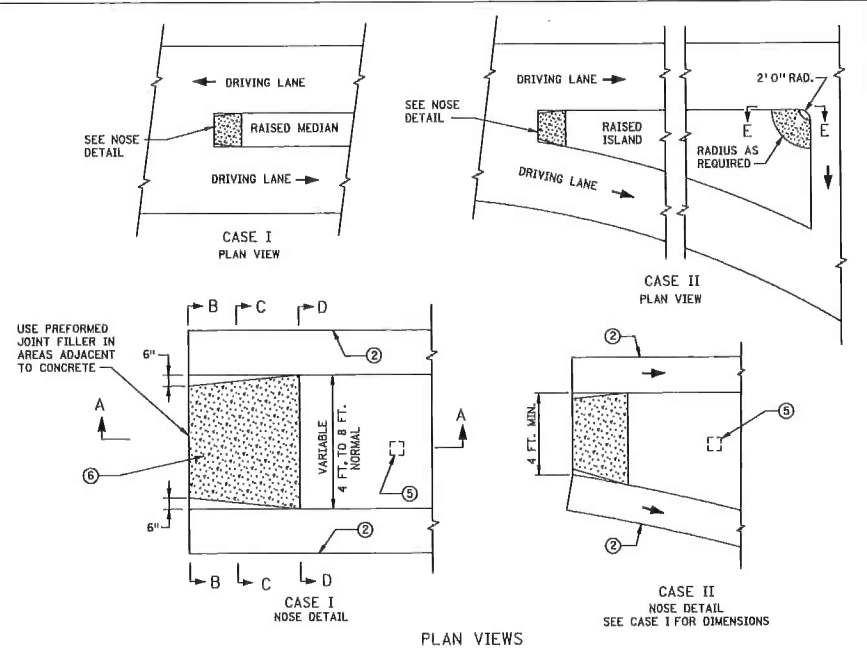
③ WHEN A MEDIAN IS NOT WIDE ENOUGH FOR TWO PEDESTRIAN RAMPS AND A 48" LANDING BETWEEN THEM, THE PEDESTRIAN CROSSING SHALL BE CUT THROUGH THE MEDIAN AT STREET LEVEL.

④ PLACE THE DETECTABLE WARNINGS (TRUNCATED DOMES) AT THE BACK OF CURB. WHEN THE DETECTABLE WARNING SYSTEM IS A PRECAST MATERIAL, THE CURB SHALL BE HAND FORMED TO FILL THE GAP.

⑤ ADA REQUIRED TRUNCATED DOME AREA SHALL BE 2'0" MIN. IN DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH (3'0" OR 4'0" TYP.) OF THE CURB RAMP. THIS 2'0" BY 3'0" OR 4'0" WIDTH (TYP.) TRUNCATED DOME AREA SHALL CONTRAST VISUALLY WITH THE ADJACENT WALKING SURFACE. THE ENTIRE TRUNCATED DOME AREA SHALL BE A LIGHT (GRAY OR BUFF TYPICALLY) COLOR WHEN THE ADJACENT SIDEWALK IS A DARK COLOR. THE ENTIRE TRUNCATED DOME AREA SHALL BE A DARK COLOR (RED OR DARK GRAY TYPICALLY) WHEN THE ADJACENT SIDEWALK IS A LIGHT GRAY CEMENT COLOR.

⑥ 4'0" MIN. FOR NEW CONSTRUCTION, 3'0" ALLOWED TO STAY IN PLACE FOR RETROFIT PROJECTS. IN SITUATIONS WHERE THE CURB CUT WIDTH EXCEEDS 4'0", THE DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH.

APPROVED FEB. 20, 2004 <i>Milakus</i> STATE DESIGN ENGINEER	STATE OF MINNESOTA DEPARTMENT OF TRANSPORTATION PEDESTRIAN CURB RAMP FOR THE HANDICAPPED	SPECIFICATION REFERENCE 2521 2531	STANDARD PLATE NO. 7036F 1 OF 2
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NOTES:

① TYPICAL SLOPE ALONG GUTTER LINE EACH DIRECTION.

② GUTTER, IF REQUIRED.

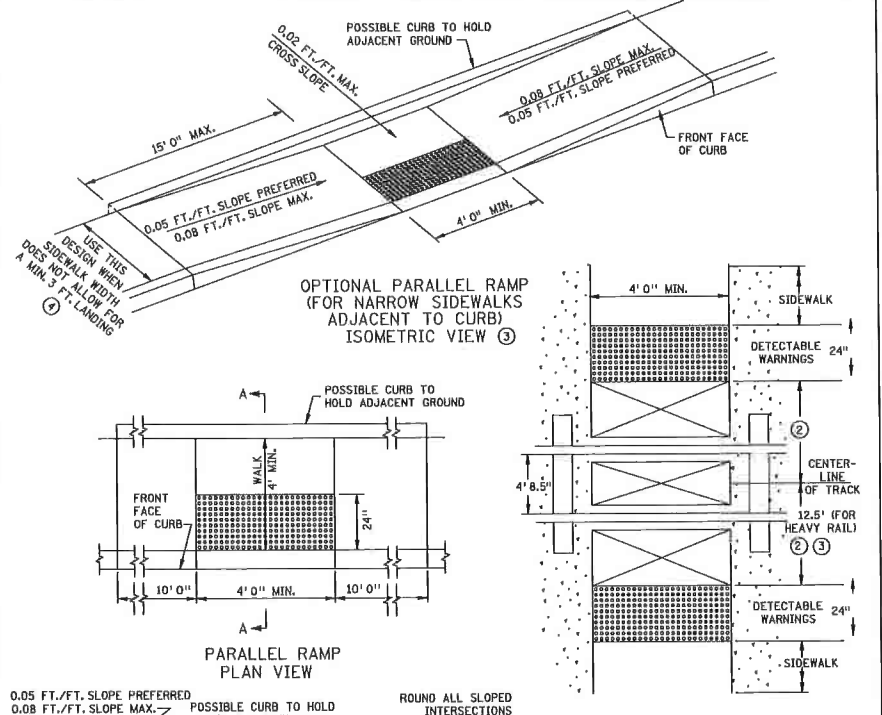
③ VARIABLE MEDIAN OR CURB HEIGHT.

④ SHAPE SAME AS MEDIAN OR CURB.

⑤ PROVIDE ONE 6" X 6" OPENING IN MEDIAN FOR SIGNING IF REQUIRED.

⑥ PAID FOR AS CONCRETE WALK, INCLUDES GUTTER, IF REQUIRED.

APPROVED <u>June 24, 1993</u> <i>B.M. Hill</i> STATE DESIGN ENGINEER	STATE OF MINNESOTA DEPARTMENT OF TRANSPORTATION CONCRETE APPROACH NOSE DETAIL	SPECIFICATION REFERENCE 2531	STANDARD PLATE NO. 7113A
--	--	------------------------------------	--



NOTES:

① 1/2 INCH PREFORMED JOINT FILLER MATERIAL, AASHTO M 213.

② WHEN THERE IS A GATE ARM, THE EDGE OF THE DETECTABLE WARNING SHALL BE 17"-19" FROM THE FACE OF THE GATE ARM. WHEN THERE IS NO GATE, THE EDGE OF THE DETECTABLE WARNING SHALL BE 12.5 FT. (HEAVY RAIL) OR 8 FT. (LRT) FROM THE CENTERLINE OF THE NEAREST TRACK.

③ ALL RAIL IN STATE IS HEAVY RAIL WITH THE EXCEPTION OF THE LRT IN MINNEAPOLIS.

④ THE REASON FOR USING THIS VARIATION INSTEAD OF THE OFFICIAL DESIGN ON SH.1 SHALL BE DOCUMENTED. IF A LARGE AMOUNT OF WATER IS EXPECTED FROM THE ADJACENT PROPERTY, THE DESIGNER SHOULD PLAN ACCORDINGLY.

THESE ARE OPTIONAL PEDESTRIAN SIDEWALK ACCESS DETAILS THAT ARE NOT REQUIRED BY CURRENT ADA REGULATIONS

APPROVED FEB. 20, 2004 <i>Milakus</i> STATE DESIGN ENGINEER	STATE OF MINNESOTA DEPARTMENT OF TRANSPORTATION PEDESTRIAN CURB RAMP OPTIONS FOR THE HANDICAPPED	SPECIFICATION REFERENCE 2521 2531	STANDARD PLATE NO. 7036F 2 OF 2
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1890 PHEASANT RIDGE DR NE SUITE 100 BLAINE, MN 55449 TEL 763.488.7900 FAX 763.488.7959 CARLSON-ENGINEERING.COM

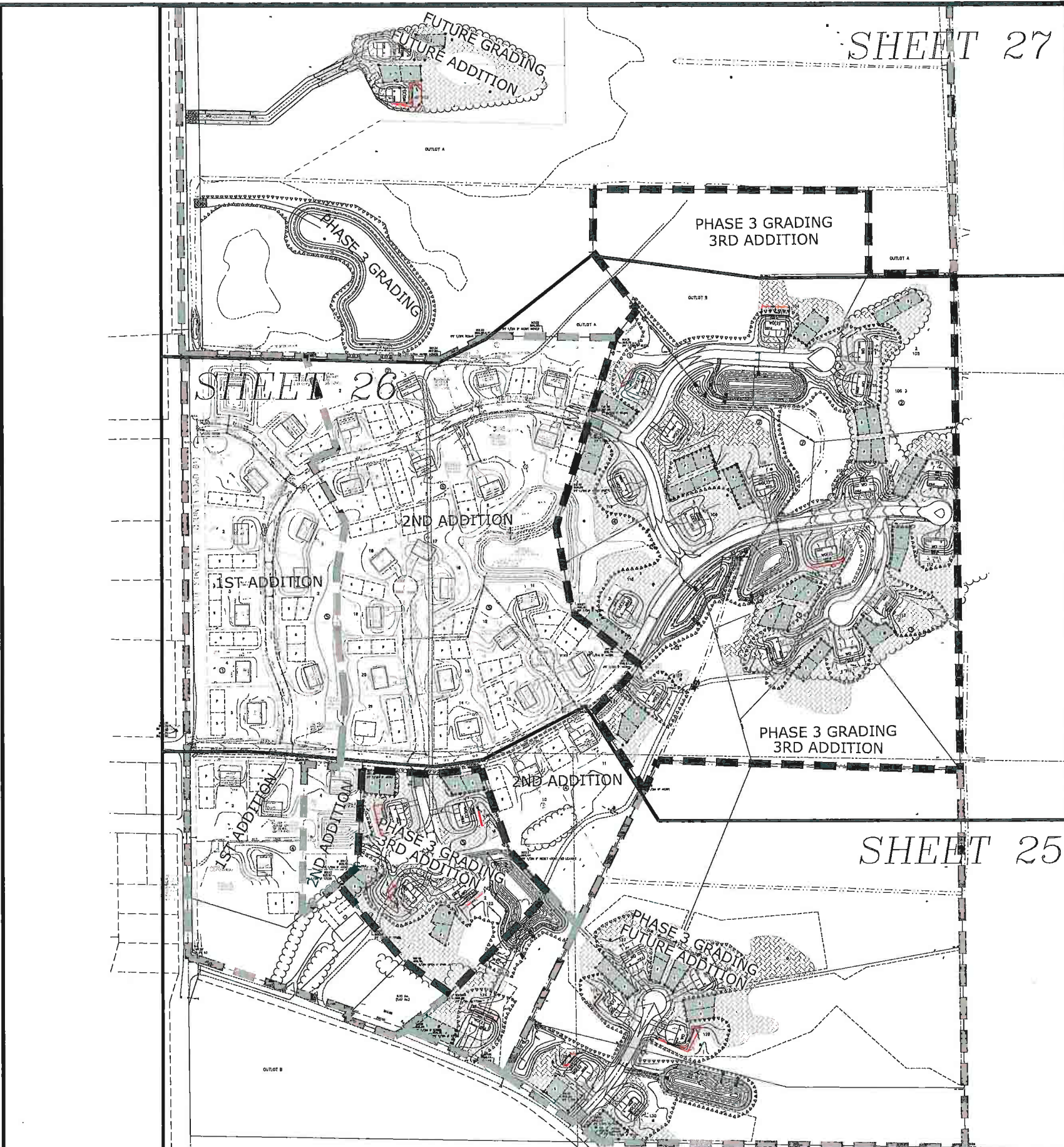
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota
Print Name: Justin J Olson
Signature: *Justin J Olson*
Date: 5/21/25 License #: 54231

Drawn: CRM
Designed: JJO
Date: 5/21/25

NOVA DEVELOPMENT, LLC
14916 Central Ave NE
Ham Lake, MN 55304

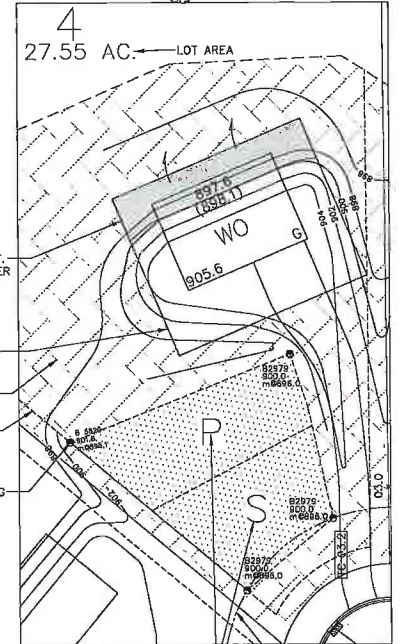
**HARMONY ESTATES
3RD ADDITION**
Ham Lake, MN

DETAILS



GRADING PLAN LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
BUILDING SETBACK LINE	---	---
CURB	---	---
BITUMINOUS GRAVEL	---	---
CONCRETE	---	---
10' CONTOUR	---880---	---880---
2' CONTOUR	---892---	---892---
STORM SEWER	---	---
WETLAND LINE	---	---
FEMA FLOOD PLAIN	---	---
SPOT ELEVATION	00.0	00.0
EMERGENCY OVERFLOW	---	---
SILT FENCE	---	---
TREE FENCE	---	---
INLET PROTECTION	---	---
INFILTRATION AREA	---	---
WELL	---	---
LIGHT POLE	---	---
FLAG POLE	---	---
ELECTRIC BOX	---	---
TELEPHONE BOX	---	---
TELEVISION BOX	---	---
SIGN	---	---
GEOTECH SOIL BORING	---	---
SEPTIC SOIL BORING	---	---
TREE LINE	---	---
TREE	---	---



DENOTES PORTION OF 10,000 SF. BLDG. PAD NOT MAINTAINED AFTER GRADING FOR WALK-OUT

10,000 SF. BLDG PAD

DENOTES 12,000 SF. MIN YARD

DRAINAGE & UTILITY EASEMENT

SEPTIC SOIL BORING

PRIMARY & SECONDARY SEPTIC AREAS (7,500 SF)

BUILDING SETBACK LINE

BUILDING SETBACKS

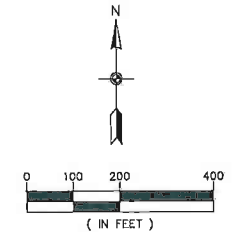
FRONT	30 FT
SIDE	10 FT
SIDE CORNER	30 FT
REAR	50 FT

NOTES:

ALL LOTS WILL MEET THE CITY'S LIVABILITY STANDARDS, UNLESS OTHERWISE NOTED IN THE CHART. LIVABILITY ELEVATIONS ARE DETERMINED AS FOLLOWS:

SEPTIC AREAS:
7500 S.F. AREA 1 FT ABOVE MOTTLED SOILS IS BASED ON SOIL BORINGS AT THE CORNERS OF THE SEPTIC AREAS. ELEVATION OF MOTTLED SOIL FLUCTUATES FROM BORING TO BORING BUT THE ENTIRE AREA IS 1 FT OR MORE ABOVE MOTTLED SOIL.

BUILDING PADS:
1. AREA 4 FEET ABOVE UNSUITABLE SOIL IS DETERMINED AS FOLLOWS: 4 FEET ABOVE GROUNDWATER TABLE, OR 4 FEET ABOVE 100-YEAR FLOOD ELEVATION, WHICHEVER IS GREATER.
2. AREA 1 FT. ABOVE UNSUITABLE SOIL WAS DETERMINED USING THE SAME METHOD AS ABOVE.



BENCHMARKS

- Anoka County Benchmark No. 3100. Elev. = 906.72 (NGVD 29)
- Anoka County Benchmark No. 3097. Elev. = 898.19 (NGVD 29)

CARLSON ENGINEERING
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Drawn: CRM
Designed: JJD
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Revisions:
1. 6/20/25 Per City Comments
2. 7/11/25 Per City Comments

NOVA DEVELOPMENT, LLC
14916 Central Ave NE
Ham Lake, MN 55304

**HARMONY ESTATES
3RD ADDITION**
Ham Lake, MN

LIVABILITY INDEX

Save Date: 07/11/25 | P:\vba\9201 - 5220\5213-02 - harmony estates 3rd addition\load c3d\p\engineering\final plans\5213-02_livability.dwg



BENCHMARKS	
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2.	Anoka County Benchmark No. 3097. Elev.= 898.19 (NGVD 29)

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 Ham Lake, MN 55304

HARMONY ESTATES
3RD ADDITION
 Ham Lake, MN

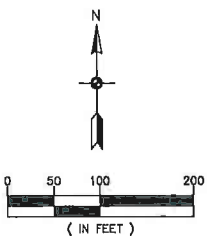
LIVABILITY PLAN

Drawn Date: 07/11/25 | File: 22201513-02 - harmony estates 3rd addition livability plan.dwg



SEE SHEET 27

SEE SHEET 25



BENCHMARKS	
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2.	Anoka County Benchmark No. 3097. Elev.= 898.19 (NGVD 29)

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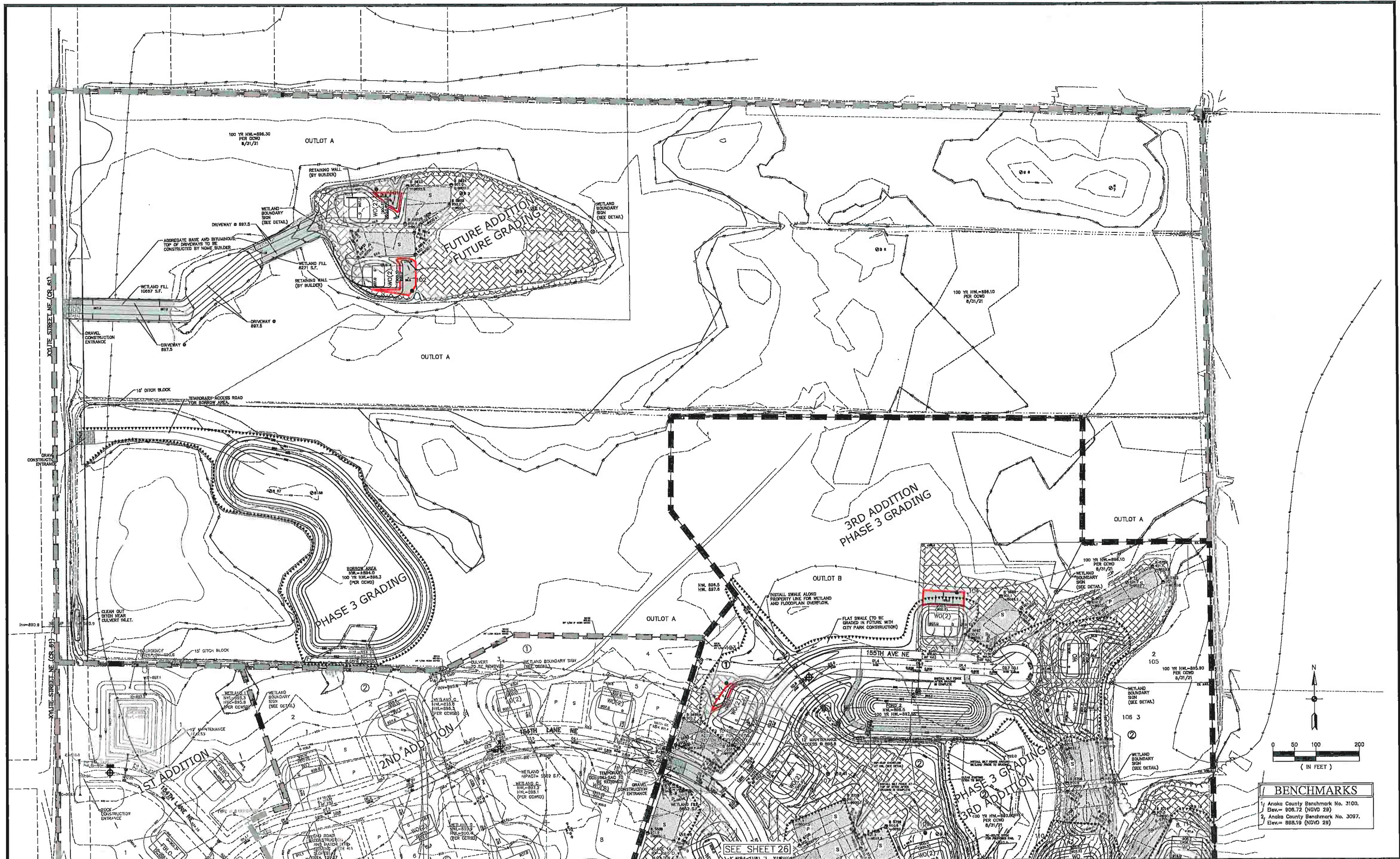
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14916 Central Ave NE
Ham Lake, MN 55304

HARMONY ESTATES
3RD ADDITION
Ham Lake, MN

LIVABILITY PLAN

26 of 28

#5213-02



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 14916 Central Ave NE
 Ham Lake, MN 55304

HARMONY ESTATES
 3RD ADDITION
 Ham Lake, MN

LIVABILITY PLAN

Sheet Date: 07/11/25 File Path: G:\01 - 5220\5213-02 - Harmony Estates 3rd Addition\csl\engineering\plan\plan\5213-02_livability.dwg

LIVABILITY CHART - (HARMONY ESTATES PHASE 3)
Table with columns: LOT/BLK, LOT AREA, 1/4" ELEVATIONS, GROSS LIVABILITY AREA, BUILDING AREA, LOTS AREA, YARD AREA, SUGGESTED SEPTIC SYSTEM TYPE, SOIL BORINGS, HIGHEST ANTICIPATED GROUND WATER, 100 YEAR HIGH SURFACE WATER LEVEL, PROPOSED LOWEST FLOOR ELEV., HOUSE TYPE, RECOMMENDED GARAGE FLOOR ELEV., LOW FLOOR DETERMINING FACTOR.

LIVABILITY CHART - (HARMONY ESTATES PHASE 3)
Table with columns: LOT/BLK, LOT AREA, 1/4" ELEVATIONS, GROSS LIVABILITY AREA, BUILDING AREA, LOTS AREA, YARD AREA, SUGGESTED SEPTIC SYSTEM TYPE, SOIL BORINGS, HIGHEST ANTICIPATED GROUND WATER, 100 YEAR HIGH SURFACE WATER LEVEL, PROPOSED LOWEST FLOOR ELEV., HOUSE TYPE, RECOMMENDED GARAGE FLOOR ELEV., LOW FLOOR DETERMINING FACTOR.

*10 DENOTES PORTION OF 10,000 SF. BUILDING PAD NOT MAINTAINED AFTER GRADING FOR WALK-OUT
**10 DENOTES 100 YR H/VL IS FOR A REAR YARD DRAINAGE SWALE AND NOT APPLICABLE TO ESTABLISH LOW FLOOR ELEVATION
**10 DENOTES LOT AREA INCLUDING RIGHT-OF-WAY

(1) DATA SHOWN IS PER THE ORIGINAL APPROVED PRELIMINARY PLAT (PREPARED BY RLK ENGINEERING).



3890 PHEASANT RIDGE DR NE
SUITE 100
BLAINE, MN 55449
TEL: 763.483.7900
FAX: 763.489.7959
CARLSON-ENGINEERING.COM

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NOVA DEVELOPMENT, LLC
14916 Central Ave NE
Ham Lake, MN 55304

HARMONY ESTATES
3RD ADDITION
Ham Lake, MN

LIVABILITY PLAN

**Tradewell Soil Testing
18330 Dahlia Street NW
Cedar, MN 55011**

February 21st, 2022

RFC Engineering
13635 Johnson Street NE
Ham Lake, MN 55304
Attention: Tom Collins

Dear Mr. Collins:

As a licensed site evaluator who conducted the soil borings in Harmony Estates 3rd Addition, I found the following: Each boring has at least 12" of natural, undisturbed and unmottled soil. In order to design and install a standard soil treatment system according to MN Chapter 7080 Code, at least 12" of natural soil with no signs of mottling is required. Therefore, each of the proposed lots will support 2 "standard" septic systems within the 7,500 square feet septic area as shown on the Grading Plan.
Sincerely,



Mark Tradewell
MPCA #307

PERMIT
COON CREEK WATERSHED DISTRICT
13632 Van Buren St NE
Ham Lake, MN 55304
Permit Number: 2423

Project: Harmony Estates Phase 3

Issued to: Nova Development LLC
Jeff Entsminger
14916 Central Ave NE
Ham Lake MN 55304

Location: 153rd Avenue & Xylite St NE, Ham Lake, MN

Permit Application #: P-21-161

Purpose: Construct 30 Acre+ lots with associated streets, storm sewer and infrastructure

At its meeting on 02/28/2022, the Board of Managers of the Coon Creek Watershed District reviewed and approved your permit application. The following exhibits are on file describing the approved project:

1. Construction Plans by Carlson McCain, dated 4/4/2022, received 1/14/2025.
2. Storm Sewer Sizing by Carlson McCain, dated 2/11/2022, received 01/14/2025.
3. Storm Sewer Map by Carlson McCain, undated, received 1/14/2025.
4. Stormwater Management Plan by Carlson McCain, dated 4/04/2022, received 01/14/2025.
5. Wetland Discharges Table by Carlson McCain, undated, received 3/10/2025.
6. Joint Application by Kjolhaug Environmental, dated 3/03/2025, received 3/05/2025.
7. Wetland Delineation by Kjolhaug Environmental, dated 4/14/2021 and 4/16/2021, received 5/07/2021.

The Board of Managers found the project as planned to be in accordance with the Rules and Regulations, and Guidelines of the District, and therefore, approved the permit with 3 stipulations.

1. Submittal of as-builts for the following stormwater management practices, including volume, critical elevations and proof of installation for hydrodynamic separators:

Stormwater Treatment Practices	Number
Wet Sedimentation Pond	5
Outlet Control Structure	5
Floodplain Compensatory Storage Area	1

2. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.
3. The applicant must apply for coverage under the Minnesota Pollution Control Agency's (MPCA's) Construction Stormwater Permit (Permit No: MNR100001)

A follow up inspection will be conducted at the project site to assure compliance with all stipulations to this Permit. Failure to comply with the foregoing may result in rescission of the Permit, and is a violation of Minnesota Statutes section 103D.545, a misdemeanor.

This document is not transferable.

Date of Issuance: 8/7/25
Date of Expiration: 8/7/26



Tim Kelly, District Administrator

cc: File- 21-161
Eileen Weigel, Stantec
Dave Krugler, Ham Lake

IMPORTANT PERMIT REQUIREMENTS OUTLINED ON REVERSE

GENERAL PERMIT STIPULATIONS:

1. The permittee must maintain the project authorized by this permit in good condition and in conformance with the terms and conditions of this permit.
2. The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the District for inspection of the work authorized hereunder.
3. The permittee shall utilize best management practices on the project site to minimize the potential for adverse impacts associated with erosion and sedimentation.
4. This permit applies only to the permitted project and the dated plans approved on this permit. If the design, location or purpose of the project changes you should contact the District to make sure the changes would not violate District Rules or applicable state law.
5. Construction work authorized under this permit shall be completed on or before the date specified above. The permittee may request an extension of the time to complete the project, stating the reason thereof, upon written request to the District.
6. The District may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
 - a. You fail to comply with the terms and conditions of this permit.
 - b. The information provided by you or in support of your permit application proves to have been false, incomplete, or inaccurate.
 - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
7. Permittee shall ensure that the contractor has received and thoroughly understands all conditions of this permit.

ADDITIONAL WETLAND-RELATED PERMIT CONDITIONS:

The following additional terms and conditions apply to replacement wetland(s) approved as part of this permit.

1. The replacement wetland approved as part of this permit must be constructed concurrent with or prior to any wetland fill or draining activity; or the District has received and accepted an irrevocable bank letter of credit, a performance bond, or other security acceptable to the District in an amount sufficient to guarantee the successful completion of the wetland replacement as provided under Minn. Rules 8420.0530 (B)(2), as amended.
2. The Notice of Use Restrictions and Maintenance Responsibilities specified in Minn. Rules 8420.0530(D)(6), as amended, must be recorded and proof of recording provided to the District within 30 days of completing construction of the replacement wetland (completion of construction as determined by the District).
3. The permittee each year for five years following completion of the replacement wetland must submit to the District a Monitoring Report on the replacement wetland, which Report includes the information specified in Minn. Rules 8420.0620, as amended. The Report must be submitted to the District no later than October 1 of each year.

THIS CERTIFICATION ONLY APPLIES TO THE WCA OF 1991, AS AMENDED. Permits from local, state, and federal agencies may be required. Check with the appropriate authorities before commencing work in or near wetlands. The Combined Project Notification form can be used for this purpose.

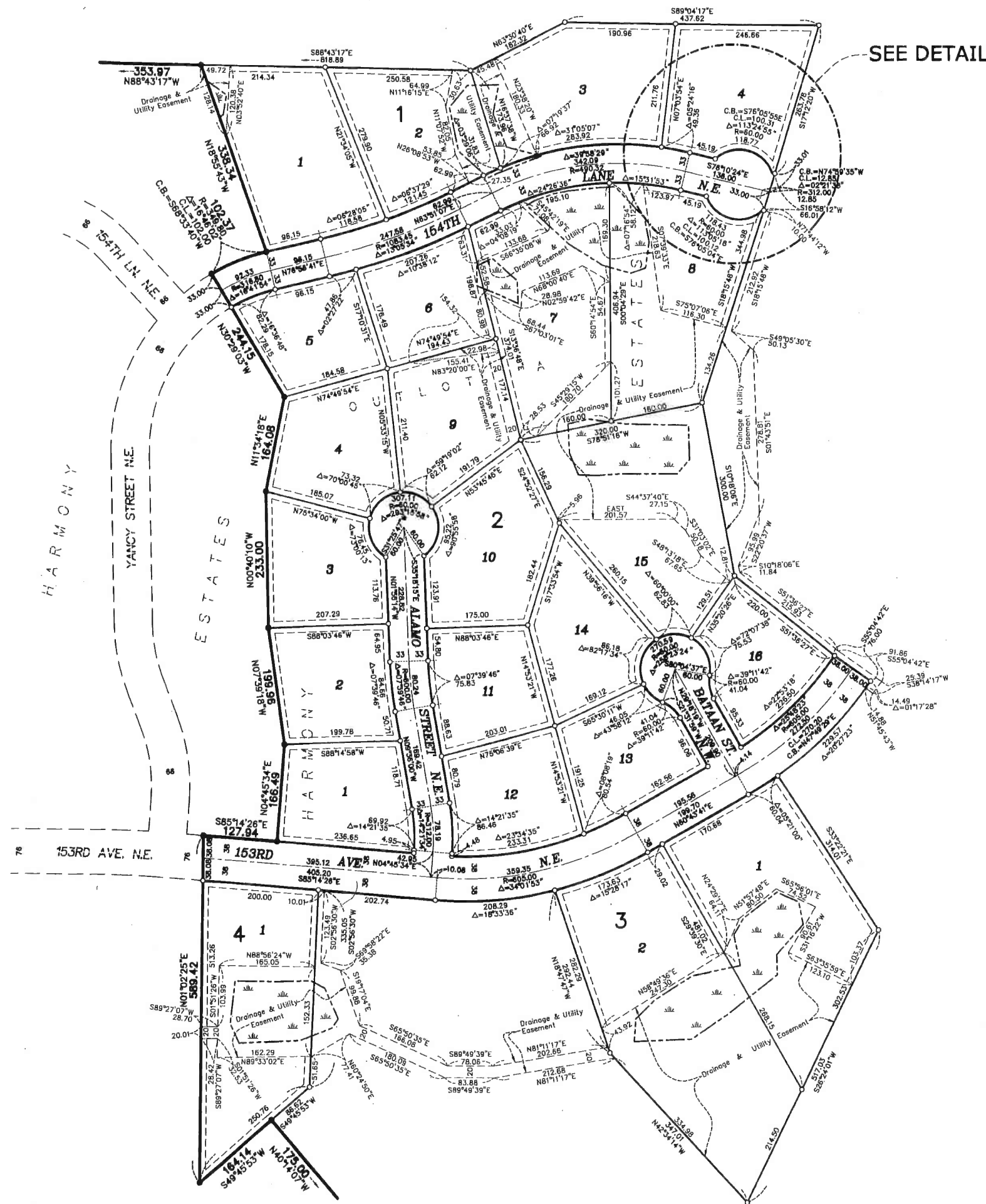
REFUNDING OF ESCROWS: Upon completion of the project the applicant shall notify the District that:

1. The project is complete
2. The site is stabilized
3. The project is ready for final inspection
4. All stipulations listed on this permit have been fulfilled
5. If applicable, the applicant would like return of its escrow

Upon receipt of such notification the District will inspect the project for conformance with the permit conditions and requirements, permitted plans and water resources associated with the implementation of those plans resulting from construction. If the District determines the project is not complete and/or not stabilized the District will inform the applicant in writing. If the District determines the site is complete and stabilized, the permit conditions and requirements have been satisfied, the District will execute the appropriate refund at its next regularly scheduled meeting where the Board pays bills (typically the second Monday of each month).

Escrow refunds will be calculated as follows and shown on the refund check

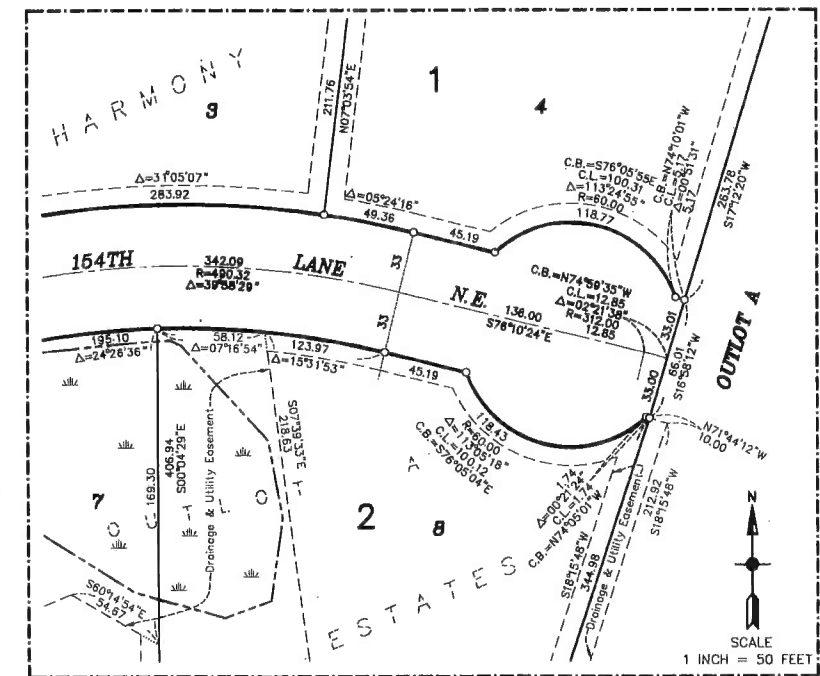
1. Amount of escrow balance paid in cash;
2. Minus any permit review and/or inspection fees
3. Minus any other project-related expenses incurred by the District.



SEE DETAIL

HARMONY ESTATES 2ND ADDITION INSET 'A'

DETAIL

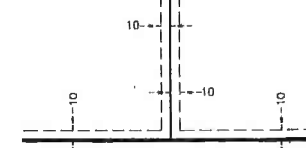


SCALE
1 INCH = 50 FEET

For the purposes of this plat, the North line of Outlot A, HARMONY ESTATES, is assumed to have a bearing of South 88 degrees 50 minutes 20 seconds East.

- Denotes Wetland that was delineated by Ken Meeks in 2014
- Denotes 1/2 inch by 14 inch iron monument set or to be set within one year of recording of this plat and marked with license number 40361
- Denotes Found Iron Monument marked with RLS Number 17255

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



being 10 feet in width, and adjoining right of way lines, side lot lines, and rear lot lines unless otherwise shown on this plat.

