

CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
info@ci.ham-lake.mn.us

CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY AGENDA MONDAY, APRIL 6, 2026

- 1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance**
- 2.0 PUBLIC COMMENT**
- 3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS – None**
- 4.0 CONSENT AGENDA**

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

- 4.1 Approval of minutes of March 16, 2026
- 4.2 Approval of claims
- 4.3 Approval of the Ham Lake Member City Grant Agreement with Twin Cities Gateway
- 4.4 Approval of the resignation of Jeff Entsminger from the Upper Rum River Watershed Management Organization
- 4.5 Approval of a Resolution terminating participation in the North Metro Regional Street Maintenance Joint Powers Agreement (JPA)
- 4.6 Approval of amending the Ham Lake Fire Department Regulations

5.0 PLANNING COMMISSION RECOMMENDATIONS

- 5.1 Jeffrey A. Stalberger of MN Developments LLC, requesting Preliminary and Final Plat approval and rezoning portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for South Shore Estates (3 lots) in Section 2 (this is consideration of the First Reading of a rezoning Ordinance)
- 5.2 Jeffrey A. Stalberger of MN Developments LLC, requesting Preliminary Plat approval and rezoning portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for South Shore Estates Second Addition (42 lots) in Section 2 (this is consideration of the First Reading of a rezoning Ordinance)

6.0 ECONOMIC DEVELOPMENT AUTHORITY – None

7.0 APPEARANCES – None

8.0 CITY ATTORNEY

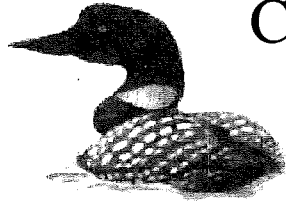
9.0 CITY ENGINEER

10.0 CITY ADMINISTRATOR

11.0 COUNCIL BUSINESS

11.1 Committee Reports

11.2 Announcements and future agenda items



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
info@ci.ham-lake.mn.us

CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY MINUTES MONDAY, MARCH 16, 2026

The Ham Lake City Council and Economic Development Authority met for its regular meeting on Monday, March 16, 2026 at 6:00 p.m. in the Council Chambers at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Mayor Brian Kirkham and Councilmembers Jim Doyle, Andrew Hallberg, Al Parranto, and Mike Van Kirk

MEMBERS ABSENT: None

OTHERS PRESENT: City Attorney, Mark Berglund; City Engineer, Dave Krugler; City Administrator, Denise Webster; and Administrative Assistant, Nicole Wheeler

1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

2.0 PUBLIC COMMENT – None

3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS

3.1 Anoka County Sheriff Brad Wise, Chief Deputy Bill Jacobson and Lt. Anthony Mendoza, Anoka County Sheriff's Office – Introduction of Deputies assigned to the City of Ham Lake for 2026 and the Monthly Report

Anoka County Sheriff Brad Wise, Chief Deputy Bill Jacobson, and Lt. Anthony Mendoza were present. Sheriff Wise stated that the Sheriff's Department aims to provide the best service possible to the City of Ham Lake. Sheriff Wise stated that he knows the Sheriff's Contract is not cheap, but they offer great benefits and he knows that it is the Council's job to advocate for the residents of Ham Lake to get the most bang for their buck. Sheriff Wise stated that there are high tensions between Anoka County and the City of Anoka on where the new jail project should be located and currently, they are in litigation. Sheriff Wise stated that the current jail is falling apart and deteriorating and a new one needs to be constructed.

Mayor Kirkham stated that he has never received complaints about any of the Ham Lake Deputies. All Councilmembers agreed.

Lt. Mendoza gave a summary of the Sheriff's Report for the month of February 2026.

Lt. Mendoza introduced the current Deputies assigned to Ham Lake for 2026: Day Shift is Nick Duren – 12 years in Law Enforcement, 1 year as a CSO, 11 years as a Deputy; Tanner Shipman – 20 years in Law Enforcement, 14 years working in Ham Lake, Deputy Shipman was the 2024 Officer of

the Year; Power Shift is Matthew Hoefs – 6 ½ years in Law Enforcement, 2nd year in Ham Lake; Braden Adams – 3 ½ years in Law Enforcement, 1st year in Ham Lake; Night Shift is Blake Petrich – 8 years in Law Enforcement, 2nd year in Ham Lake; and Spenser Rawlinson – 5 years in the Military, 3 years with the Sheriff’s Department, 2nd year in Ham Lake. Lt. Mendoza stated that Investigator Thomas Kvam was not present.

The Mayor and Councilmembers thanked the Deputies for their service and all that they do.

4.0 CONSENT AGENDA

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

- 4.1 Approval of minutes of March 2, 2026
- 4.2 Approval of claims in the amount of \$199,171.17
- 4.3 Approval of scheduling a Special City Council meeting for Monday, April 6, 2026 at 5:00 p.m. to interview applicants for the vacancy on the Planning Commission
- 4.4 Approval of Ordinance No. 26-04 amending Article 7, Licenses, regarding Adult-Use Cannabis Business Operations
- 4.5 Approval of Ordinance No. 26-05 rezoning Kohler Farms
- 4.6 Approval of Resolution No. 26-13 adopting the 2025 Anoka County Hazard Mitigation Plan
- 4.7 Approval of the resignation of Public Works employee Erik Hlivka
- 4.8 Approval of the well usage and maintenance agreement with Jeff Harstad and Heather Wollan
- 4.9 Approval of the quotes for remodeling bathrooms and painting the bay at Fire Station #2

Motion by Doyle, seconded by Van Kirk, to approve the Consent Agenda as written. All in favor, motion carried.

5.0 PLANNING COMMISSION RECOMMENDATIONS – None

6.0 ECONOMIC DEVELOPMENT AUTHORITY – None

7.0 APPEARANCES – None

8.0 CITY ATTORNEY

8.1 Discussion of an amendment to Harmony Estates 3rd Addition Development Agreement and adoption of a Resolution No. 26-14

Attorney Berglund stated that the Development Agreement for Harmony Estates 3rd Addition was approved last November and part of the development agreement was that the developer would get a Federal Emergency Management Agency (FEMA) Letter of Map Amendment (LOMA) for all properties that are affected by FEMA before any permits in the development would be allowed. Currently the Developer does not have the LOMA’s and is requesting to get building permits for any lots that are not affected by the LOMA’s. Attorney Berglund stated that all developers are required to get any lots that need the FEMA LOMA’s to be removed before any building permits are allowed as an incentive for developers to get the map amendments completed. Attorney Berglund stated that since there is a federal shutdown, there is now a delay in getting LOMA’s and therefore is asking the Council to approve the amendment to the Development Agreement to allow building permits for any lots that do not need a LOMA.

Motion by Van Kirk, seconded by Parranto, to approve Resolution No. 26-14, to amend Harmony Estates 3rd Addition Development Agreement, allowing building permits for the lots in the development that are not affected by the Federal Emergency Management Agency (FEMA) for a Letter of Map Amendment (LOMA) and are otherwise in compliance with all City, DNR, Watershed, County, State and Federal requirements. All in favor, motion carried.

9.0 CITY ENGINEER – None

10.0 CITY ADMINISTRATOR – None

11.0 COUNCIL BUSINESS

11.1 Committee Reports – None

11.2 Announcements and future agenda items – None

Motion by Van Kirk, seconded by Hallberg, to adjourn the City Council meeting at 6:20 p.m. All in favor, motion carried.

Nicole Wheeler, Administrative Assistant

CITY OF HAM LAKE
CLAIMS SUBMITTED TO COUNCIL
April 6, 2026

CITY OF HAM LAKE

EFTS, CHECKS, AND BANK DRAFTS		03/17/26 - 04/06/26	
EFT	# 2522 - 2533		\$ 48,423.25
REFUND CHECKS	#67959 - 67960		\$ 580.00
CHECKS	# 67961 - 67993		\$ 504,352.77
BANK DRAFTS	DFT0003049 - DFT0003061		\$ 60,116.80
TOTAL EFTS, CHECKS, AND BANK DRAFTS			<u>\$ 613,472.82</u>
PAYROLL CHECKS			
04/03/26	Direct Deposits		\$ 40,682.86
TOTAL PAYROLL CHECKS			<u>\$ 40,682.86</u>
VOID CHECKS			
CHECKS			
ZERO CHECKS	#67969, 67970, 67988		\$ -
ZERO EFT	#2534		\$ -
BANK DRAFT NOT USED			\$ -
TOTAL VOIDS			<u>\$ -</u>
TOTAL OF ALL PAYMENTS			<u>\$ 654,155.68</u>

APPROVED BY THE HAM LAKE CITY COUNCIL THIS 6TH DAY OF APRIL 2026

MAYOR

COUNCILMEMBER

COUNCILMEMBER

COUNCILMEMBER

COUNCILMEMBER



Packet: ARPKT01706 - 04/01/26 TRUST & A/R REFUNDS

Refund Detail

Account Number	Name	Check Date	Check Number	Amount
00005	CONNEXUS	4/1/2026	67959	430.00
00817	ANNA DAVIDS	4/1/2026	67960	150.00
Total Refund Amount:				580.00

Revenue Totals

Revenue Code	Total Distribution
TRUST DEPOSITS - TRUST DEPOSITS	410.00
UCA - GEN FUND - UNAPPLIED CREDIT GENERAL FUND	170.00
Revenue Totals:	580.00

General Ledger Distribution

Posting Date: 04/01/2026

Fund:	Account Number	Account Name	Posting Amount	IFT
100 - GENERAL	100-10101	Cash	-170.00	Yes
	100-11501	Misc receivables	170.00	
	100 Total:		0.00	
890 - TRUST FUND	890-10101	Cash-claim on pooled cash	-410.00	Yes
	890-11501	Misc receivables	410.00	
	890 Total:		0.00	
999 - POOLED CASH	999-10100	Pooled Cash	-580.00	
	999-20702	Due to other funds	580.00	Yes
	999 Total:		0.00	
	Distribution Total:		0.00	



Payment Dates 3/17/2026 - 4/6/2026

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
2522	BRODIN PRESS	APRIL HAM LAKER	Editing	211-41704-3125	900.00
2523	CINTAS CORP	UNIFORMS	Clothing & personal protectiv	100-43101-2210	141.73
2523	CINTAS CORP	UNIFORMS	Clothing & personal protectiv	100-44101-2210	59.08
2523	CINTAS CORP	UNIFORMS	Clothing & personal protectiv	100-43101-2210	141.73
2523	CINTAS CORP	UNIFORMS	Clothing & personal protectiv	100-44101-2210	59.08
2523	CINTAS CORP	UNIFORMS	Clothing & personal protectiv	100-43101-2210	141.73
2523	CINTAS CORP	UNIFORMS	Clothing & personal protectiv	100-44101-2210	59.08
2523	CINTAS CORP	PW - HARD SURFACE DISINFE	A/P adjustment	100-20202	7.53
2523	CINTAS CORP	FIRE #1 HARD SURFACE DISIN	A/P adjustment	100-20202	7.53
2523	CINTAS CORP	FIRE #2 HARD SURFACE DISIN	A/P adjustment	100-20202	7.53
2523	CINTAS CORP	FIRE #3 HARD SURFACE DISIN	A/P adjustment	100-20202	7.53
2523	CINTAS CORP	FIRE #2 TRAUMA BAG, BLEEDI	A/P adjustment	100-20202	544.55
2523	CINTAS CORP	FIRE #1 TRAUMA BAG, BLEEDI	A/P adjustment	100-20202	544.55
2523	CINTAS CORP	PW - 7 STANDARD VEHICLE FI	A/P adjustment	100-20202	807.03
2523	CINTAS CORP	FIRE #3 TRAUMA BAG, BLEEDI	A/P adjustment	100-20202	544.55
2524	CMT JANITORIAL SERVICES	CITY HALL CLEANING	Cleaning service	100-41702-3430	612.00
2524	CMT JANITORIAL SERVICES	SHERIFF'S OFFICE CLEANING	Cleaning service	100-41702-3430	153.00
2524	CMT JANITORIAL SERVICES	FIRE #2 CLEANING	Cleaning service	100-42202-3430	151.00
2524	CMT JANITORIAL SERVICES	FIRE #1 CLEANING	Cleaning service	100-42202-3430	161.00
2524	CMT JANITORIAL SERVICES	FIRE #3	Cleaning service	100-42202-3430	387.00
2524	CMT JANITORIAL SERVICES	PW CLEANING	Cleaning service	100-43104-3430	148.00
2524	CMT JANITORIAL SERVICES	SR CENTER CLEANING	Cleaning service	100-44202-3430	300.00
2525	DELTA DENTAL PLAN OF MINN	APRIL COBRA - DK	COBRA receivable	100-11502	52.06
2525	DELTA DENTAL PLAN OF MINN	APRIL DENTAL	Dental Insurance	100-21711	791.63
2526	FES, INC	PANTS	Clothing & personal protectiv	100-42201-2210	1,789.47
2527	GRAINGER	#129 MECHANICAL EXPANSIO	Equipment parts & supplies	100-44101-2320	64.78
2528	GREATAMERICA FINANCIAL SE	APRIL MAILING MACHINE LEA	Equipment rentals	100-41701-3320	160.95
2529	HAM LAKE FIRE RELIEF ASSN	2026 SUPPLEMENTAL PENSIO	Fire relief state aid	100-48101-4135	3,000.00
2530	HEALTH PARTNERS INC	MARCH EAP	Other professional services	100-41701-3190	22.95
2531	HOTSY MINNESOTA	FLEET WASH & RINSE	Operating supplies	100-43101-2290	704.00
2532	KILLMER ELECTRIC CO INC	LION'S PARK LIGHT POLE REPL	Other repair & maintenance s	100-44101-3490	3,831.00
2533	RFC ENGINEERING, INC.	CROSTOWN BUSINESS PARK	Engineering	262-46101-3135	112.90
2533	RFC ENGINEERING, INC.	CROSTOWN SHOPPING CENT	Engineering	431-43301-3135	6,647.31
2533	RFC ENGINEERING, INC.	W FRONT RD S OF CONSTANC	Engineering	431-43301-3135	10,116.88
2533	RFC ENGINEERING, INC.	COUNCIL MEETING	Engineering	100-41101-3135	46.79
2533	RFC ENGINEERING, INC.	CITY CODE UPDATES	Engineering	100-41102-3135	46.79
2533	RFC ENGINEERING, INC.	PLANNING COMMISION MEE	Engineering	100-41601-3135	202.74
2533	RFC ENGINEERING, INC.	PLANNING/POTENTIAL DEVEL	Engineering	100-41601-3135	233.94
2533	RFC ENGINEERING, INC.	STODDARD WETLAND BANK	Engineering	100-41601-3135	93.57
2533	RFC ENGINEERING, INC.	L22B3 ELWELL FARMS DEVIATI	Engineering	100-42401-3135	140.36
2533	RFC ENGINEERING, INC.	16619 ISANTI CIRCLE FEMA L	Engineering	100-42401-3135	30.64
2533	RFC ENGINEERING, INC.	HAM LAKE BUILDING PERMIT	Engineering	100-42401-3135	15.60
2533	RFC ENGINEERING, INC.	SNOW PLOW MAPS	Engineering	100-43101-3135	40.86
2533	RFC ENGINEERING, INC.	CCWD RULES AMENDMENTS	Engineering	100-43103-3135	296.31
2533	RFC ENGINEERING, INC.	NPDES	Engineering	230-43201-3135	62.38
2533	RFC ENGINEERING, INC.	HAM LAKE STORM NETWORK	Engineering	230-43201-3135	1,816.32
2533	RFC ENGINEERING, INC.	DITCH 60 SUBWATERSHED PL	Engineering	230-43201-3135	62.38
2533	RFC ENGINEERING, INC.	HAM LAKE AS LGU-WCA	Engineering	233-43201-3135	31.19
2533	RFC ENGINEERING, INC.	HAM LAKE AS LGU-WCA	Engineering	234-43201-3135	31.19
2533	RFC ENGINEERING, INC.	CSAH 116/TH 65/BUNKER LAK	Engineering	431-43301-3135	109.18
2533	RFC ENGINEERING, INC.	2026 REHAB	Engineering	431-43301-3135	155.96
2533	RFC ENGINEERING, INC.	NORTH METRO STORAGE - RO	Engineering	431-43301-3135	187.15
2533	RFC ENGINEERING, INC.	CSAH 17 N OF CSAH 18	Engineering	431-43301-3135	265.12
2533	RFC ENGINEERING, INC.	EAST LAKE NETTA ROAD FEASI	Engineering	431-43301-3135	3,177.66

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
2533	RFC ENGINEERING, INC.	PLANNING/POTENTIAL DEVEL	Engineering	890-90001-3135	46.79
2533	RFC ENGINEERING, INC.	ALLSTATE DISTRIBUTIONS CO	Engineering	890-90001-3135	129.60
2533	RFC ENGINEERING, INC.	MAJESTIC HIGHLANDS	Engineering	890-90001-3135	31.19
2533	RFC ENGINEERING, INC.	MAJESTIC HIGHLANDS - LABEL	Engineering	890-90001-3135	35.00
2533	RFC ENGINEERING, INC.	KOHLER FARMS	Engineering	890-90001-3135	164.53
2533	RFC ENGINEERING, INC.	PLANNING/POTENTIAL DEVEL	Engineering	890-90001-3135	155.96
2533	RFC ENGINEERING, INC.	SOUTH SHORE ESTATES	Engineering	890-90001-3135	935.71
2533	RFC ENGINEERING, INC.	ELWELL FARMS 2ND	Engineering	890-90001-3135	1,369.64
2533	RFC ENGINEERING, INC.	SOUTH SHORE ESTATES 2ND	Engineering	890-90001-3135	1,465.96
2533	RFC ENGINEERING, INC.	HARMONY ESTATES 3RD	Engineering	890-90001-3135	842.17
2533	RFC ENGINEERING, INC.	GROUP PERMIT BILLING	Engineering - ROW	100-43501-3135	2,121.06
2533	RFC ENGINEERING, INC.	MSA GROUP BILLING	Engineering	431-43301-3135	900.35
67961	ADAM'S PEST CONTROL, INC	INSECT CONTROL	Building repair & maintenanc	100-41702-3420	248.39
67962	ANOKA COUNTY FIRE PROTEC	RMS	Computer & software support	100-42201-3120	995.00
67962	ANOKA COUNTY FIRE PROTEC	SPECIAL RESCUE TEAM ALLOC	Other communication	100-42201-3290	590.00
67962	ANOKA COUNTY FIRE PROTEC	AUDIT FEE ALLOCATION	Other communication	100-42201-3290	295.00
67962	ANOKA COUNTY FIRE PROTEC	PSDS ALLOCATION	Other communication	100-42201-3290	9,879.00
67963	ANOKA COUNTY TREASURY D	1ST QTR LAW ENFORCEMENT	Police protection	100-42101-3155	389,137.00
67963	ANOKA COUNTY TREASURY D	1ST QTR LAW ENFORCEMENT	Police protection	212-41706-3155	45,000.00
67964	AT&T MOBILITY/FIRSTNET	FEB TABLET 612-583-4290	Phones/radios/pagers	100-42201-3210	13.07
67965	CENTERPOINT ENERGY	CITY HALL	Natural gas	100-41702-3620	1,165.83
67965	CENTERPOINT ENERGY	FIRE #1	Natural gas	100-42202-3620	725.79
67965	CENTERPOINT ENERGY	FIRE #2	Natural gas	100-42202-3620	1,210.57
67965	CENTERPOINT ENERGY	PW	Natural gas	100-43104-3620	3,260.52
67965	CENTERPOINT ENERGY	H.L. PARK PAVILION	Natural gas	100-44102-3620	326.98
67965	CENTERPOINT ENERGY	H.L. PARK BUILDING	Natural gas	100-44102-3620	896.48
67965	CENTERPOINT ENERGY	SR CENTER	Natural gas	100-44202-3620	627.75
67966	CM2 SUPPLY	ACETYLENE, OXYGEN	Operating supplies	100-43101-2290	203.99
67967	COMCAST BUSINESS	APRIL FIRE #1 ADD'L CABLE B	Rentals-other	100-42201-3390	11.34
67968	CONNEXUS ENERGY	CITY HALL	Electricity	100-41702-3610	843.19
67968	CONNEXUS ENERGY	GARAGE	Electricity	100-41702-3610	39.55
67968	CONNEXUS ENERGY	CITY SIGN	Electricity	100-41703-3610	245.88
67968	CONNEXUS ENERGY	SOUTH WELCOME	Electricity	100-41703-3610	17.70
67968	CONNEXUS ENERGY	FIRE #3	Electricity	100-42202-3610	263.57
67968	CONNEXUS ENERGY	FIRE #1	Electricity	100-42202-3610	506.71
67968	CONNEXUS ENERGY	FIRE #2	Electricity	100-42202-3610	354.87
67968	CONNEXUS ENERGY	SIRENS	Electricity	100-42302-3610	70.20
67968	CONNEXUS ENERGY	PW	Electricity	100-43104-3610	1,067.26
67968	CONNEXUS ENERGY	STREET LIGHTS #1	Electricity	100-43401-3610	26.60
67968	CONNEXUS ENERGY	BUNKER/LEXINGTON SIGNALS	Electricity	100-43401-3610	72.35
67968	CONNEXUS ENERGY	RADISSON/BUNKER SIGNALS	Electricity	100-43401-3610	83.01
67968	CONNEXUS ENERGY	HWY 65/ANDOVER BLVD SIGN	Electricity	100-43401-3610	88.07
67968	CONNEXUS ENERGY	HWY 65/BUNKER SIGNALS	Electricity	100-43401-3610	92.47
67968	CONNEXUS ENERGY	HWY 65/CONSTANCE SIGNALS	Electricity	100-43401-3610	119.16
67968	CONNEXUS ENERGY	LEXINGTON/CROSTOWN SIG	Electricity	100-43401-3610	52.20
67968	CONNEXUS ENERGY	BUNKER/JEFFERSON SIGNALS	Electricity	100-43401-3610	69.38
67968	CONNEXUS ENERGY	STREET LIGHTS #2	Electricity	100-43401-3610	311.81
67968	CONNEXUS ENERGY	CROSTOWN/HWY 65 SIGNAL	Electricity	100-43401-3610	84.61
67968	CONNEXUS ENERGY	SODERVILLE PARK WELL	Electricity	100-44101-3610	16.50
67968	CONNEXUS ENERGY	HAM LAKE AERATOR	Electricity	100-44101-3610	16.50
67968	CONNEXUS ENERGY	HAM LAKE PARK	Electricity	100-44101-3610	153.18
67968	CONNEXUS ENERGY	HAM LAKE WELL	Electricity	100-44101-3610	148.37
67968	CONNEXUS ENERGY	SODERVILLE PARK	Electricity	100-44101-3610	41.61
67968	CONNEXUS ENERGY	HAM LAKE PARK BUILDING	Electricity	100-44102-3610	130.65
67968	CONNEXUS ENERGY	HAM LAKE PARK SHELTER	Electricity	100-44102-3610	30.75
67968	CONNEXUS ENERGY	LION'S PARK PAVILION	Electricity	100-44102-3610	45.41
67968	CONNEXUS ENERGY	LION'S PARK CONCESSION	Electricity	100-44102-3610	22.10
67968	CONNEXUS ENERGY	HAM LAKE PARK CONCESSION	Electricity	100-44102-3610	20.36
67968	CONNEXUS ENERGY	SR CENTER	Electricity	100-44202-3610	454.02
67968	CONNEXUS ENERGY	STREET LIGHTS	Electricity	232-43701-3610	5,414.72

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
67971	DEARBORN LIFE INS CO	APRIL JB VOL LIFE	Other Misc Receivables	100-11503	17.60
67971	DEARBORN LIFE INS CO	APRIL VOL LIFE	Life Insurance	100-21714	160.20
67971	DEARBORN LIFE INS CO	APRIL LIFE	Life Insurance	100-21714	50.08
67972	DEHN OIL CO	200.3 GAL DIESEL	Fuel	100-43101-2230	703.11
67972	DEHN OIL CO	352.4 GAL GASOLINE	Fuel	100-43101-2230	995.84
67972	DEHN OIL CO	199 GAL DIESEL	Fuel	100-43101-2230	690.45
67972	DEHN OIL CO	450 GAL DIESEL	Fuel	100-43101-2230	1,650.20
67973	FORUM COMMUNICATIONS P	APRIL HAM LAKER	Printing	211-41704-3970	675.98
67974	JARED A. NORDLUND	2025 WEBSITE MAINTENANC	A/P adjustment	100-20202	1,800.00
67975	MENARDS-BLAINE	OUTLET	Building repair & maintenanc	100-44202-2310	25.20
67975	MENARDS-BLAINE	TAPE MEASURE, REEL TAPE M	Small tools	100-42401-2410	39.98
67975	MENARDS-BLAINE	TAPE MEASURE	Small tools	100-42401-2410	12.99
67976	MINNESOTA EQUIPMENT	#86 DRUM STUD	Equipment parts & supplies	100-44101-2320	64.40
67976	MINNESOTA EQUIPMENT	APRON CHAP	Safety supplies	100-43101-2240	128.99
67976	MINNESOTA EQUIPMENT	APRON CHAP	Safety supplies	100-43101-2240	-128.99
67976	MINNESOTA EQUIPMENT	#68 REPAIR PARTS	Equipment parts & supplies	100-43101-2320	110.93
67977	MN METRO NORTH TOURISM	DEC LODGING TAX	AP Adjustments	263-20202	1,715.76
67977	MN METRO NORTH TOURISM	JAN LODGING TAX	Convention bureau	263-46101-4120	1,506.45
67978	NORTH METRO FIRE & EMS	FIRE ACADEMY CLASS - BS	Training/conferences/schools	100-42201-3510	2,045.00
67979	OCCUPATIONAL HEALTH CENT	DRUG TESTING	Personnel testing & recruitme	100-44101-3150	76.00
67980	PTL TIRE INC	#49 TIRE MOUNTS	Vehicle repair & maintenance	100-43101-3470	155.98
67981	SANDY DAHLAGER	CANCEL 04/26/26 HAM LAKE	Sales tax	100-21801	14.22
67981	SANDY DAHLAGER	CANCEL 04/26/26 HAM LAKE	Park/pavilion rentals	100-34702	175.00
67982	TASC	MAY COBRA ADMINISTRATIO	Other professional services	100-41701-3190	43.30
67983	THE MPX GROUP	APRIL HAM LAKER DELIVERY	Other services and charges	211-41704-3990	400.00
67984	TOUCHDOWN TILE, LLC	FIRE #2 BATHROOM REMODE	Capital assets	420-42201-5110	16,240.60
67985	TRANSWEST TRUCKS ST. MICH	#78 NUT	Vehicle parts & supplies	100-43101-2340	-52.66
67985	TRANSWEST TRUCKS ST. MICH	#78 JOINT ASY-BALL, NUT	Vehicle parts & supplies	100-43101-2340	-221.72
67985	TRANSWEST TRUCKS ST. MICH	DEF	Fuel	100-43101-2230	314.13
67986	TURFWERKS	#65 BUMPER BAR & PIN	Equipment parts & supplies	100-44101-2320	357.85
67987	US BANK CORPORATE PAYME	ZOOM-zoom-NW	Dues & subscriptions	100-41201-3920	14.69
67987	US BANK CORPORATE PAYME	IOS-11x17 paper-NW	Office supplies	100-41701-2110	134.30
67987	US BANK CORPORATE PAYME	AMAZON-receipt paper-NW	Office supplies	100-41701-2110	20.85
67987	US BANK CORPORATE PAYME	IOS-SOAP-NW	Operating supplies	100-41701-2290	14.37
67987	US BANK CORPORATE PAYME	IOS-paper towels-CH,SHER-N	Operating supplies	100-41701-2290	149.00
67987	US BANK CORPORATE PAYME	PIXSY-HAM LAKER IMAGE LICE	Other professional services	100-41701-3190	750.00
67987	US BANK CORPORATE PAYME	PANTHEON-website-NW	Internet & website	100-41707-3220	350.00
67987	US BANK CORPORATE PAYME	AMAZON-invitations-NW	Office supplies	100-42201-2110	22.99
67987	US BANK CORPORATE PAYME	AMAZON-trash bags-NW	Operating supplies	100-42201-2290	37.80
67987	US BANK CORPORATE PAYME	AMAZON-LED pins-NW	Operating supplies	100-42201-2290	28.47
67987	US BANK CORPORATE PAYME	AMAZON-trash bags-NW	Operating supplies	100-42201-2290	19.04
67987	US BANK CORPORATE PAYME	AMAZON-6 volt batteries-NW	Operating supplies	100-42201-2290	148.49
67987	US BANK CORPORATE PAYME	IOS-paper towels, toilet paper	Operating supplies	100-42201-2290	144.37
67987	US BANK CORPORATE PAYME	DISASTER MNGMNT-FIRE #1 T	Operating supplies	100-42201-2290	169.45
67987	US BANK CORPORATE PAYME	AMAZON-SURGE PROTECTOR-	Operating supplies	100-42201-2290	15.99
67987	US BANK CORPORATE PAYME	MN STATE COLLEGES-TRAININ	Training/conferences/schools	100-42201-3510	-580.00
67987	US BANK CORPORATE PAYME	MN STATE COLLEGES-TRAININ	Training/conferences/schools	100-42201-3510	-580.00
67987	US BANK CORPORATE PAYME	MN IAAI-MN IAAI CONFEREN	Training/conferences/schools	100-42201-3510	375.00
67987	US BANK CORPORATE PAYME	DPS-MBFTE LICENSE - MR-MR	Professional licenses & certific	100-42201-3520	75.00
67987	US BANK CORPORATE PAYME	HOME DEPOT-FIRE #2 REMOD	Capital assets	100-42201-5110	102.08
67987	US BANK CORPORATE PAYME	BRIMSTONE-EV FIRE SUPPRES	Controllable assets	100-42201-5120	4,559.02
67987	US BANK CORPORATE PAYME	AMAZON-vacuum filter-NW	Operating supplies	100-43101-2290	18.03
67987	US BANK CORPORATE PAYME	AMAZON-ice maker-NW	Operating supplies	100-43101-2290	269.71
67987	US BANK CORPORATE PAYME	WALMART- TV-JC	Operating supplies	100-43101-2290	-430.34
67987	US BANK CORPORATE PAYME	AUTOZONE-#78 BALL JOINTS-J	Vehicle parts & supplies	100-43101-2340	-78.92
67987	US BANK CORPORATE PAYME	SAI-MAR SIGN SUBSCRIPTION	Computer & software support	100-43401-3120	87.99
67987	US BANK CORPORATE PAYME	IOS-paper towels, trash bags-	Operating supplies	100-44201-2290	140.41
67987	US BANK CORPORATE PAYME	HOME DEPOT-WRONG CARD	Refunds & reimbursements	100-48101-4145	-113.17
67987	US BANK CORPORATE PAYME	HOME DEPOT-WRONG CARD	Refunds & reimbursements	100-48101-4145	113.17
67989	VEHICLE RESPONSE TRAINING	TRAINING	Training/conferences/schools	100-42201-3510	800.00

Council Approval List

Payment Dates: 3/17/2026 - 4/6/2026

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
67990	VERIZON WIRELESS	MR	Phones/radios/pagers	100-42201-3210	38.41
67990	VERIZON WIRELESS	5 FIRE SURFACE PROS	Phones/radios/pagers	100-42201-3210	100.10
67990	VERIZON WIRELESS	TD, MJ & 2 LAPTOPS	Phones/radios/pagers	100-42401-3210	156.84
67990	VERIZON WIRELESS	JK, JW, JC, CS, EH, & 2 LAPTOP	Phones/radios/pagers	100-43101-3210	275.06
67990	VERIZON WIRELESS	AM	Phones/radios/pagers	100-44101-3210	38.41
67990	VERIZON WIRELESS	DH, AC, JS	Phones/radios/pagers	100-44101-3210	115.23
67991	WARREN HOFFMAN SOD CO.	2025 NAPLES WELL	A/P adjustment	100-20202	800.00
67992	WRIGHT-HENNEPIN COOPERA	SECURITY MONITORING	Monitoring	100-41702-3145	33.95
67992	WRIGHT-HENNEPIN COOPERA	ELEVATOR MONITORING	Monitoring	100-41702-3145	10.00
67992	WRIGHT-HENNEPIN COOPERA	PW FIRE PANEL MONITORING	Monitoring	100-43104-3145	52.95
67993	ZIEGLER, INC	#69 WATER PUMP, IDLER PULL	Vehicle parts & supplies	100-43101-2340	456.34
67993	ZIEGLER, INC	#69 WATER PUMP CORE CHA	Vehicle parts & supplies	100-43101-2340	241.35
DFT0003049	IRS-Payroll Tax	Federal Withholding	Federal WH/FICA/MC	100-21701	6,342.24
DFT0003049	IRS-Payroll Tax	Medicare Payable	Federal WH/FICA/MC	100-21701	1,989.04
DFT0003049	IRS-Payroll Tax	Social Security Payable	Federal WH/FICA/MC	100-21701	7,874.88
DFT0003050	MN STATE DEPT OF REVENUE-	MN State Withholding	State W/H	100-21702	2,790.31
DFT0003051	PERA	Retirement-Coordinated	PERA	100-21703	7,288.25
DFT0003051	PERA	Retirement-Elected Officials	PERA	100-21703	40.84
DFT0003051	PERA	Retirement-Police & Fire	PERA	100-21703	1,378.28
DFT0003052	VOYA	Deferred Compensation	Deferred compensation	100-21704	2,410.00
DFT0003052	VOYA	Roth IRA	Deferred compensation	100-21704	200.00
DFT0003055	MN STATE DEPT OF REVENUE-	PAY BACK DUPLICATE REFUND	Due from other governments	100-14101	51.51
DFT0003055	MN STATE DEPT OF REVENUE-	FEBRUARY FUEL TAX	Fuel	100-43101-2230	142.46
DFT0003056	US POSTMASTER	APRIL HAM LAKER POSTAGE	Postage	211-41704-2120	1,562.84
DFT0003057	US POSTMASTER	MAR SR CENTER POSTAGE	Postage Liability	100-20204	43.30
DFT0003058	IRS-Payroll Tax	Federal Withholding	Federal WH/FICA/MC	100-21701	5,998.84
DFT0003058	IRS-Payroll Tax	Medicare Payable	Federal WH/FICA/MC	100-21701	1,680.50
DFT0003058	IRS-Payroll Tax	Social Security Payable	Federal WH/FICA/MC	100-21701	6,606.34
DFT0003059	MN STATE DEPT OF REVENUE-	MN State Withholding	State W/H	100-21702	2,650.39
DFT0003060	PERA	Retirement-Coordinated	PERA	100-21703	7,078.50
DFT0003060	PERA	Retirement-Police & Fire	PERA	100-21703	1,378.28
DFT0003061	VOYA	Deferred Compensation	Deferred compensation	100-21704	2,410.00
DFT0003061	VOYA	Roth IRA	Deferred compensation	100-21704	200.00

Grand Total: 612,892.82

Report Summary

Fund Summary

Fund	Payment Amount
100 - GENERAL	510,623.95
211 - HAM LAKER	3,538.82
212 - LAWFUL GAMBLING	45,000.00
230 - FUTURE DRAINAGE	1,941.08
232 - STREET LIGHT	5,414.72
233 - SUNRISE WATERSHED	31.19
234 - UPPER RUM RIVER WATERSHED	31.19
262 - HAM LAKE EDA	112.90
263 - LODGING TAX	3,222.21
420 - FIRE EQUIPMENT	16,240.60
431 - REVOLVING STREET	21,559.61
890 - TRUST FUND	5,176.55
Grand Total:	612,892.82

Account Summary

Account Number	Account Name	Payment Amount
100-11502	COBRA receivable	52.06
100-11503	Other Misc Receivables	17.60
100-14101	Due from other govern	51.51
100-20202	A/P adjustment	5,070.80
100-20204	Postage Liability	43.30
100-21701	Federal WH/FICA/MC	30,491.84
100-21702	State W/H	5,440.70
100-21703	PERA	17,164.15
100-21704	Deferred compensation	5,220.00
100-21711	Dental Insurance	791.63
100-21714	Life Insurance	210.28
100-21801	Sales tax	14.22
100-34702	Park/pavilion rentals	175.00
100-41101-3135	Engineering	46.79
100-41102-3135	Engineering	46.79
100-41201-3920	Dues & subscriptions	14.69
100-41601-3135	Engineering	530.25
100-41701-2110	Office supplies	155.15
100-41701-2290	Operating supplies	163.37
100-41701-3190	Other professional servi	816.25
100-41701-3320	Equipment rentals	160.95
100-41702-3145	Monitoring	43.95
100-41702-3420	Building repair & mainte	248.39
100-41702-3430	Cleaning service	765.00
100-41702-3610	Electricity	882.74
100-41702-3620	Natural gas	1,165.83
100-41703-3610	Electricity	263.58
100-41707-3220	Internet & website	350.00
100-42101-3155	Police protection	389,137.00
100-42201-2110	Office supplies	22.99
100-42201-2210	Clothing & personal prot	1,789.47
100-42201-2290	Operating supplies	563.61
100-42201-3120	Computer & software su	995.00
100-42201-3210	Phones/radios/pagers	151.58
100-42201-3290	Other communication	10,764.00
100-42201-3390	Rentals-other	11.34
100-42201-3510	Training/conferences/sc	2,060.00
100-42201-3520	Professional licenses & c	75.00
100-42201-5110	Capital assets	102.08
100-42201-5120	Controllable assets	4,559.02
100-42202-3430	Cleaning service	699.00

Account Summary

Account Number	Account Name	Payment Amount
100-42202-3610	Electricity	1,125.15
100-42202-3620	Natural gas	1,936.36
100-42302-3610	Electricity	70.20
100-42401-2410	Small tools	52.97
100-42401-3135	Engineering	186.60
100-42401-3210	Phones/radios/pagers	156.84
100-43101-2210	Clothing & personal prot	425.19
100-43101-2230	Fuel	4,496.19
100-43101-2240	Safety supplies	0.00
100-43101-2290	Operating supplies	765.39
100-43101-2320	Equipment parts & suppl	110.93
100-43101-2340	Vehicle parts & supplies	344.39
100-43101-3135	Engineering	40.86
100-43101-3210	Phones/radios/pagers	275.06
100-43101-3470	Vehicle repair & mainten	155.98
100-43103-3135	Engineering	296.31
100-43104-3145	Monitoring	52.95
100-43104-3430	Cleaning service	148.00
100-43104-3610	Electricity	1,067.26
100-43104-3620	Natural gas	3,260.52
100-43401-3120	Computer & software su	87.99
100-43401-3610	Electricity	999.66
100-43501-3135	Engineering - ROW	2,121.06
100-44101-2210	Clothing & personal prot	177.24
100-44101-2320	Equipment parts & suppl	487.03
100-44101-3150	Personnel testing & recr	76.00
100-44101-3210	Phones/radios/pagers	153.64
100-44101-3490	Other repair & maintena	3,831.00
100-44101-3610	Electricity	376.16
100-44102-3610	Electricity	249.27
100-44102-3620	Natural gas	1,223.46
100-44201-2290	Operating supplies	140.41
100-44202-2310	Building repair & mainte	25.20
100-44202-3430	Cleaning service	300.00
100-44202-3610	Electricity	454.02
100-44202-3620	Natural gas	627.75
100-48101-4135	Fire relief state aid	3,000.00
100-48101-4145	Refunds & reimburseme	0.00
211-41704-2120	Postage	1,562.84
211-41704-3125	Editing	900.00
211-41704-3970	Printing	675.98
211-41704-3990	Other services and charg	400.00
212-41706-3155	Police protection	45,000.00
230-43201-3135	Engineering	1,941.08
232-43701-3610	Electricity	5,414.72
233-43201-3135	Engineering	31.19
234-43201-3135	Engineering	31.19
262-46101-3135	Engineering	112.90
263-20202	AP Adjustments	1,715.76
263-46101-4120	Convention bureau	1,506.45
420-42201-5110	Capital assets	16,240.60
431-43301-3135	Engineering	21,559.61
890-90001-3135	Engineering	5,176.55
	Grand Total:	612,892.82

Project Account Summary

Project Account Key	Payment Amount
None	591,220.31

Project Account Summary

Project Account Key	Payment Amount
202111-100	112.90
202205-100	6,647.31
202502.078-100	3,177.66
202502.57-100	187.15
202509-100	10,116.88
MISC-100	1,430.61
Grand Total:	<u>612,892.82</u>



City of Ham Lake, MN

Journal Entry Register

Packet: GLPKT07792 - POSTAGE METER REFILL

Journal: JN06958	Controlling Fund: 999	Posting Date: 3/24/2026	Accrual Date:	Added Date: 3/30/2026
Description: POSTAGE METER REFILL			JE Type:	Adjusting Entry: N
<u>Account</u>	<u>Account Name</u> <u>Project Account Key</u>	<u>Description</u>	<u>IFT</u>	<u>Debits</u> <u>Credits</u>
<u>100-41701-2120</u>	Postage	POSTAGE METER REFILL		10.00
<u>999-10100</u>	Pooled Cash	POSTAGE METER REFILL		10.00
	Cash Type: Bank Draft	Number: DFT0003053	Check Stock:	
<u>100-10101</u>	Cash	POSTAGE METER REFILL	Y	10.00
<u>999-20702</u>	Due to other funds	POSTAGE METER REFILL	Y	10.00
			Total JN06958:	20.00 20.00

Journal: JN06959	Controlling Fund: 999	Posting Date: 3/26/2026	Accrual Date:	Added Date: 3/30/2026
Description: POSTAGE METER REFILL			JE Type:	Adjusting Entry: N
<u>Account</u>	<u>Account Name</u> <u>Project Account Key</u>	<u>Description</u>	<u>IFT</u>	<u>Debits</u> <u>Credits</u>
<u>100-41701-2120</u>	Postage	POSTAGE METER REFILL		500.00
<u>999-10100</u>	Pooled Cash	POSTAGE METER REFILL		500.00
	Cash Type: Bank Draft	Number: DFT0003054	Check Stock:	
<u>100-10101</u>	Cash	POSTAGE METER REFILL	Y	500.00
<u>999-20702</u>	Due to other funds	POSTAGE METER REFILL	Y	500.00
			Total JN06959:	1,000.00 1,000.00



City of Ham Lake, MN

EFT Payroll Check Register Report Summary

Pay Period: 3/15/2026-3/28/2026

Packet: PYPKT01877 - PPE 03/28/26 PAID 04/03/26

Payroll Set: City of Ham Lake - 01

Type	Count	Amount
Regular Checks	0	0.00
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	35	40,682.86
Total	35	40,682.86

Meeting Date: April 6, 2026

CITY OF HAM LAKE
STAFF REPORT

To: Mayor and Councilmembers

From: Denise Webster, City Administrator

Subject: Twin Cities Gateway Grant Agreement

Introduction/Discussion: Twin Cities Gateway (TCG) has informed us that Ham Lake is eligible to receive \$5,000 for marketing and promotional expenses to increase participation or enhance an event happening within the City.

The necessary invoices for the expenditures and the reimbursement requests will be added to a future Council's bill list for approval once the grant is received.

Recommendation: I recommend approval of the 2026 Member City Grant Agreement with Twin Cities Gateway.



Ham Lake 2026 Twin Cities Gateway Member City Grant Agreement

This Agreement between the City of Ham Lake 15544 Central Avenue NE Ham Lake, MN 55304 herein after "the City," and Twin Cities Gateway, a Minnesota non-profit corporation, 7071 University Avenue NE Fridley, MN 55432, hereinafter "the Bureau," contains the terms and conditions for a grant to the City in the amount of \$5,000 from the Bureau to the City.

For 2026, the following changes have been made in the city grant program;

1. Grant payments will come as a reimbursement in 2026 instead of an upfront check. Once a city grant's reimbursement form is submitted successfully, a check will be cut to the city the following week. TCG reimbursement form/link will be sent out in the next few weeks.
2. City grant event spends must be pre-approved by Twin City Gateway staff prior to being available for reimbursement. Pre-approval document/form will be coming out in the next few weeks.
3. City grant money not used by the end of the year will go back into the Twin City Gateway City Grant pool for the following year. The TCG city grant program will now be a use it or lose it process
4. Twin Cities Gateway logo and/or link must accompany marketing pieces

Whereas the grant funding provided is based on local option lodging taxes collected by the City and the ten other member cities of the Bureau and

Whereas the City agrees to expend the grant funding in compliance with MN Statute 469.10 which states that "gross proceeds from any tax imposed shall be used for the purpose of marketing and promoting the City as a tourist or convention center" and

Whereas the Bureau has specified that grant funds must be used for advertising, marketing, and promotional efforts to increase participation, attendance, or visitation to an event, activity, or facility located within the City, and / or to add new activities to enhance existing events, and

Whereas the Bureau specifies that advertising, marketing, and promotional efforts for which said grant funding is used must extend beyond the borders, or boundaries of the City and

Whereas it is agreed that prior to December 31, 2026, the City will provide an overview of how the Bureau grant funding will be utilized prior to event(s), as well as provide copies of actual receipts or invoices to document the related expenses for the advertising, marketing or promotional efforts for reimbursement and

Now by execution of this Agreement, the City and the Bureau agree to and approve of the terms and conditions contained herein.

By: City of Ham Lake

By: Al Stauffacher -President/ TC Gateway

Signature

Signature

DATE:

DATE:

Denise Webster


From: Jeff Entsminger <Jeff@allseasonservices.com>
Sent: Thursday, March 12, 2026 11:26 AM
To: Denise Webster
Subject: Upper Rum River Watershed

Hi Denise

I would like to formally send you my resignation letter from Upper Rum River watershed Board do to time constraints I can no longer attend meetings.

Thank you,
Jeff

Memorandum

Date: April 1, 2026
To: Mayor and Councilmembers
From: David A. Krugler, City Engineer 
Subject: North Metro Regional Street Maintenance Joint Power Agreement

Introduction:

Five cities including Andover and Coon Rapids have participated in the North Metro Street Maintenance Joint Power Agreement since the inception in 2004. Ham Lake joined the JPA in 2006. Joint bids included chip seals, fog sealing, striping and crack sealing.

Discussion:

Both the cities of Andover and Coon Rapids have determined they are not receiving the benefit of the higher quantity cost savings to offset the additional incurred cost of operating the bids.

The City of Coon Rapids terminated their involvement in the North Metro Regional Street Maintenance JPA in October of 2025. The City of Andover terminated their involvement in December of 2025.

Recommendation:

It is recommended the City Council to approve the resolution to terminate participation in the North Metro Regional Street Maintenance Joint Powers Agreement.

RESOLUTION NO. 26-XX

RESOLUTION TERMINATING THE CITY OF HAM LAKE'S PARTICIPATION IN THE NORTH METRO REGIONAL STREET MAINTENANCE JOINT POWERS AGREEMENT (JPA)

WHEREAS, in 2004, the City of Coon Rapids initiated a Joint Powers Agreement (JPA) with neighboring cities for the purpose of combining certain street maintenance activities with the goal of obtaining a common contractor by public bid; and:

WHEREAS, in 2006, the City of Ham Lake joined the Joint Powers Agreement (JPA) with neighboring cities for the purpose of combining certain street maintenance activities with the goal of obtaining a common contractor by public bid; and:

WHEREAS, the City has been a participant in the JPA for 19 years; and

WHEREAS, The Cities of Coon Rapids and Andover has determined the original cost-savings intent of the JPA has diminished; and

WHEREAS, The Cities of Coon Rapids and Andover have incurred higher costs with relating to the joint bidding; and

WHEREAS, the JPA provides that any City may terminate its participation in the JPA by adopting a resolution to that effect and transmitting the resolution to the remaining cities; and

WHEREAS, the Cities of Coon Rapids and Andover have notified the City of their resolution; and

WHEREAS, the City of Ham Lake thanks JPA members for their ongoing partnership.

NOW, THEREFORE IT BE RESOLVED pursuant to Section 8 of the JPA, the City Council of Ham Lake, Minnesota hereby terminates the City of Ham Lake's participation in the North Metro Regional Street Maintenance Joint Powers Agreement (JPA).

Adopted by unanimous vote of the Ham Lake City Council this 6th day of April, 2025.

Brian Kirkham, Mayor

Denise Webster, City Clerk

Date: April 6, 2026

CITY OF HAM LAKE

To: Mayor and Councilmembers
From: Fire Chief, Mike Raczkowski
Item/Title/Subject: Fire Department Regulations

Introduction:

The REGULATIONS, POLICIES and SOG's (Suggested Operating Guidelines) OF THE HAM LAKE FIRE DEPARTMENT contain items regarding membership requirements, personnel policies, officer selection processes, firefighter duties, etc.

The last revision was approved by the City Council on April 7, 2025. There are currently two changes being proposed to the policies; first was clarification of pay for meetings and drills which were agreed upon by Fire Liaison Councilmember Al Parranto to change to an hourly format from a set amount. The last change is an additional SOG on how to handle Electric Vehicle fires and the use of the EV blanket and mister.

Recommendation:

I recommend approval of the two changes to the Ham Lake Fire Department Regulations to be put into effect May 1, 2026.

Policies of the Ham Lake Fire Department

POLICY 1: Compensation

- Rate of pay will be classified in one of three categories:
 - Chief & Captain call-out (rate per hour)
 - Firefighter call-out (rate per hour)
 - Meeting/drill (position rate per meeting hour)
 - Class/conferences (1x position rate for up to 4 hours, 2x rate 4-8 hours)
- Firefighters and Officers will be paid the call rate for attendance for call-outs and meetings as follows:

Time	Amount
Up to 60 minutes	One (1) hour pay
Over 60 minutes	Rounded to the nearest half-hour

- If a call is canceled within three minutes by dispatch or Fire personnel, no pay will be given. If a call is canceled after three minutes by dispatch responding firefighters who arrive at the station within ten minutes of the 'Alarm Time' will be compensated whether or not a truck leaves the station.
- Multiple calls at the same time or multiple calls from a single event will be paid at a single rate as per the above chart. The start and end time of an event will be determined by a chief officer.
- Firefighters and Officers will be paid an single hourly position rate for attendance at business meetings, fire training drills, maintenance/clean-up drills, and first-aid Inservice drills and, all other none call-outs.
- Officers will be paid a single position rate for attendance at an officer's meeting. ~~when held on a different night than a regular drill and/or meeting.~~
- Members of committees (truck maintenance, building maintenance, equipment, safety, SCBA, etc.) will be paid a single position rate for committee meetings called by the chairperson of that committee.
- Members of special committees will be paid a single position rate only if previously authorized by the Fire Chief.
- Firefighters/Officers/New recruits will be paid their position rate for attendance at seminars and schools at the following schedule, 0-4 hours one hour, 4-8 hours 2 hours. Payment to be made at the end of each month.
- Credit No Pay will be given to regular members for calls during class hours
- The Deputy Chief, or other Chief's designee will be compensated for burning permit inspections at their meeting rate.
- The Fire Prevention Officer, and those firefighters assisting, shall be compensated for classes and meetings conducted for various organizations or individual preschool classes, Scout Troop, 4-H groups, youth fire setters, etc.) at a single position rate.

- IC or the Operations Group will call for a PAR check to confirm the status of all firefighters at the scene and to determine the identity and number of personnel involved in the Mayday situation.
- The IC must restructure his or her strategy and incident action plan to include a firefighter rescue effort and call for an additional alarm.
- All fire ground crews shall continue with their assigned tasks unless directed otherwise by IC. IC may reassign crews or tasks based on the need to support the rescue operation. IC may call for additional resources as deemed necessary. This should include additional Advanced Life Support (ALS) units to the scene.
- At the conclusion of an incident involving a Mayday, IC shall notify all units operating at the scene and Dispatch to return to normal radio operations and eliminate the emergency communication restrictions.
- Post incident analysis will be conducted for any incident involving a Mayday call.
- Equipment involved in the Mayday, including all Personal Protective Equipment, shall be secured as part of any necessary investigation.

SOG 20: ELECTRIC VEHICLE FIRE

When arriving on scene, the first arriving company should perform a proper size up. This includes the extent of the fire and if it is a compartment fire or includes the electric components of the car. Similar to other vehicle fires, is the engine compartment or the passenger compartment on fire? The best method for managing or controlling a battery fire is with water. Battery fires will initially show from under the vehicle. Call right away for EV blanket and mister if needed from Station 1.

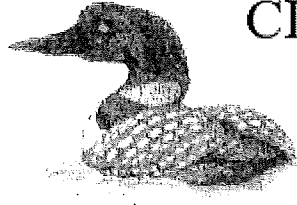
- Protect your work area through established department policy and establish tactical priorities (fire, extrication, victim care) and ensure the vehicle is in park and off, if possible.
- Wear full PPE with SCBA with face-piece and establish an appropriate command structure.
- Consideration and tactics may be categorized in offensive or defensive mode. This may be based on exposures and the extent of fire which may include actions to let the vehicle burn. Use thermal imaging camera to help with the size-up.
- Secure a large, continuous and sustainable water supply from one or more fire hydrants or multiple water tenders (3,000-8,000 gallons).
- Where safe, consider chocking the wheels. EVs move silently, so never assume it is powered off. Never assume that an EV will not move.
- Extinguish small fires that do not involve the high voltage battery using typical vehicle firefighting procedures.
- When attacking the vehicle fire, understanding that once the contents of the fire are extinguished, sustained suppression on the battery pack may be necessary. Use Mister placed under the vehicle connected to a 1 3/4-inch hand-line to suppress and cool the fire and the battery. Put water on the burning surfaces.
- Place EV blanket over vehicle and secure around bottom.
- Have sufficient fire personnel and apparatus on scene for an extended operation to monitor the battery's heat or possible secondary ignition. The heat from the fire may have damaged additional cells, which may require additional suppression activities.
- Batteries should always be treated as energized. During overhaul do not make contact with any high voltage components.

Brief the towing company and their personnel on the hazards, including providing 50' clear space around the vehicle once stored and never inside a building. An engine company may need to escort the vehicle to the recovery location.

Batteries should always be treated as energized and pose an ongoing risk to the investigator. Follow NFPA 921 protocol for vehicle safety during post-response investigation, arson investigation, and vehicle investigation.

Thermal events with the battery system could continue for some time after the initial incident.

Establish response protocol for secondary fires.



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, MARCH 23, 2026

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: February 23, 2026

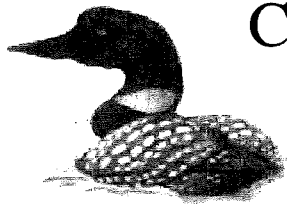
PUBLIC HEARING:

- 6:01 pm Jeffrey A. Stalberger of MN Developments LLC, requesting Preliminary and Final Plat approval and rezoning portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for South Shore Estates (3 lots) in Section 2
- 6:01 pm Jeffrey A. Stalberger of MN Developments LLC, requesting Preliminary Plat approval and rezoning portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for South Shore Estates Second Addition (40 residential lots and 2 outlots) in Section 2

NEW BUSINESS: None

COMMISSION BUSINESS:

1. City Council Update



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
info@ci.ham-lake.mn.us

CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, MARCH 23, 2026

The Ham Lake Planning Commission met for its regular meeting on Monday, March 23, 2026, in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Dave Ringler, Jeff Entsminger, Jonathan Fisher, and Erin Dixon

MEMBERS ABSENT: Commissioner Kyle Lejonvarn

OTHERS PRESENT: City Engineer, Dave Krugler; Deputy City Clerk, Dawnette Shimek; and Administrative Assistant, Nicole Wheeler

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:
The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:
Motion by Dixon, seconded by Fisher, to approve the minutes of the February 23, 2026 Planning Commission meeting as written. All present in favor, motion carried.

PUBLIC HEARING:
Jeffrey A. Stalberger of MN Developments LLC, requesting Preliminary and Final Plat approval and rezoning portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for South Shore Estates (3 lots) in Section 2

Mr. Stalberger stated he is requesting Preliminary and Final Plat approval and rezoning portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for South Shore Estates.

Chair Pogalz asked Engineer Krugler to comment on the plat. Engineer Krugler stated that this is a minor plat subdividing 94.28 acres into 3 lots and there are no new roads being constructed within this project. Engineer Krugler stated that there is an existing house and accessory building located on Lot 1, Block 2 that will remain and be retained by the current owner. Engineer Krugler stated that there is an existing accessory building located on Lot 1, Block 1, that is also proposed to remain, and the driveway will be paved prior to issuance of any building permits. Engineer Krugler stated that soil boring tests report confirms that there is adequate area for a primary and secondary septic system on all three lots. Engineer Krugler stated that the developer will have to pay a \$2,500.00 parkland dedication and a \$200.00 drainage fee for each of the three parcels. Engineer Krugler stated he recommends approval of the minor plat.

Chair Pogalz opened the public hearing at 6:06 p.m. and asked for public comment.

Chair Pogalz stated that there have been social media posts going around about things that are perceived to be happening in this plat. Misinformation mentioned on social media regarding the size of the lots. Chair Pogalz stated that the proposed lots within the developments conform with City Code and a one-acre minimum lot size has been in effect since 1999; and prior to that the minimum lot size requirement was 2.5 acres per lot. Chair Pogalz stated that increased traffic on Vickers Street NE has also been stated to be a concern and yes, there will be increased traffic, just as there was when other lots in the area were developed. Chair Pogalz stated there was concern brought up regarding how 40 new wells will affect the aquifer and other wells located in the area; the DNR manages wells and would not provide approval if they did not think the aquifers could provide water to these 40 homes. Chair Pogalz stated that another concern that typically comes up is the septic systems, especially as close to the lake as this plat is, although numerous septic systems that are very close to the lake currently on lake lots. Chair Pogalz stated that the proper authorities have received this information and are aware of the high-water marks and where septic locations need to be placed not to impact that. Chair Pogalz stated there have also been concerns regarding the property being rezoned from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) and new residential developments are always rezoned to R-1. Chair Pogalz asked the audience if they have comments and concerns to please come up, state their name and address and sign in as well.

Ali Stone, 4033 Interlachen Drive NE, Ham Lake, MN, asked if changing the zoning from R-A to R-1 would affect the number of trees that can be removed from the property.

Jessica Hoffman, 17208 Durant Street NE, Ham Lake, MN, questioned what the egress on Durant Street means as far as additional traffic in the neighborhood.

Ben Landwehr, 4121 Interlachen Drive NE, Ham Lake, MN, expressed concern about future well issues with 40 additional homes in the neighborhood. Mr. Landwehr asked what percentage of property was rural zoning vs single-family residential zoning in Ham Lake.

Chair Pogalz stated that the city does not require a tree preservation plan, however it is always advantageous for developers to save trees. Engineer Krugler stated that well studies would require the DNR to get involved and that is generally where larger wells are proposed. Chair Pogalz also stated that it is not up to the City whether the school district can handle additional attendance. Engineer Krugler stated according to the City's Comprehensive Plan, single family residential zoning is 54% of the City, agriculture and undeveloped property are 16% and the other 30% would be commercial, industrial, and government property.

Jessica Hoffman, 17208 Durant Street NE, Ham Lake, MN questioned what the difference is between R-A zoning and R-1 zoning.

When a residential development is approved, the property is rezoned to R-1 for single family homes, which is more restrictive than R-A zoning where uses could go beyond what is allowed in R-1 zoning.

Chair Pogalz asked for further public comment and with there being none, closed the public hearing at 6:22 p.m.

Chair Pogalz stated he completed the inspection, a copy of which is on file.

Motion by Pogalz, seconded by Fisher, to recommend approval of the Preliminary and Final Plat and rezoning of a portion of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for South Shore Estates, a 3-lot single family residential development in Section 2 as requested by Jeffrey A. Stalberger of MN Development LLC, subject to paying a \$200.00 drainage fee and \$2,500.00 parkland dedication fee on each of the three lots, meeting all of the requirements of the City Engineer and meeting all City, County and State requirements. All present in favor, motion carried. *This application will be placed on the City Council's Monday, April 6, 2026 agenda.*

Jeffrey A. Stalberger of MN Developments LLC, requesting Preliminary Plat approval and rezoning portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for South Shore Estates Second Addition (40 residential lots and 2 outlots) in Section 2

Mr. Stalberger stated that they are proposing to develop 40 Single Family Residential lots and 2 outlots on 105 acres of land in Section 2; the outlots are not buildable and will be combined with adjacent property. Mr. Stalberger stated that this development was more challenging because two watersheds are involved, CCWD (Coon Creek Watershed District) and SRWMO (Sunrise River Watershed Management Organization); the DNR (Department of Natural Resources) found endangered plants (Black Huckleberry) on the property that cannot be disturbed; and there are additional setback requirements being the property is located on Coon Lake. Mr. Stalberger stated that Lot 23, Block 1, will retain an existing 3,000 square foot accessory building following demolition of the residential structure, the property will temporarily be non-compliant until a new dwelling is constructed. Mr. Stalberger stated that an encroachment agreement will be required for Lot 21, Block 1, due to the septic lines crossing the drainage and utility easement. Mr. Stalberger stated that a separate encroachment agreement will be required for the proposed shared dock access on Lot 23, Block 1, which is located within a drainage and utility easement to allow Public Works access to the borrow pond outlet, the designated City maintenance access point. Mr. Stalberger stated that with the development, they are planning to construct a permanent built steel dock with 40 boat slips, one for each lot in the development. Mr. Stalberger stated that there will be a tar cart path with a parking area and a long boardwalk down the wetland to the dock. Mr. Stalberger stated there will be a Homeowners Association and they have agreed that the Homeowners Association will pay 60% of ongoing fees through the years to help maintain the lake weeds, etc. on the lake.

Councilmember Entsminger asked if the DNR has approved the dock and Mr. Stalberger said they did.

Chair Pogalz asked Engineer Krugler to comment on the plat. Engineer Krugler stated that there are shoreland ordinances that must be followed and they are respecting all of the setbacks required by the DNR. Engineer Krugler stated that there is lot with a house and pole building, and the house is going to be torn down, and the pole barn will be non-conforming until a house is constructed on the lot and this will be addressed in the development agreement. Engineer Krugler

stated there will be an encroachment agreement between the developer and the city allowing a path to be constructed by the developer. Engineer Krugler stated there are requirements that there be a three-year monitoring to make sure that the native grass is regrown in the buffers for SRWMO and this will also be addressed in the development agreement. Engineer Krugler stated that each lot will pay a \$2,500 parkland dedication fee and a \$200.00 drainage fee. Engineer Krugler stated he is recommending approval of the plat.

Commissioner Dixon asked if there had been any discussion about zoning the development to PUD (Planned Unit Development). Mr. Stalberger stated there would not be a common building, like a clubhouse in the development.

Commissioner Dixon asked about the length of the cul-de-sacs and if they are compliant with city requirements. Engineer Krugler stated that the cul-de-sacs do comply with city requirements.

Chair Pogalz opened the public hearing at 6:37 p.m. and asked for public comment.

Tom Gilbert, 4015 Interlachen Drive NE, Ham Lake, MN, expressed concern about 40 boat slips on the lake. Mr. Gilbert asked if this would be a marina and how far onto the lake the boat slips would be located.

Ben Landwehr, 4121 Interlachen Drive NE, Ham Lake, MN, questioned if the DNR has approved the plan for a marina on the lake and requested to see the email from the DNR. Mr. Landwehr asked if the HOA would affect any current owners in the area or if it would only be for the 40 new homes being built. Mr. Landwehr asked to see the road plan for the new development.

Chair Pogalz stated that they are not going to debate the DNR requirements or any other authority outside of the city jurisdiction.

Jessica Hoffman, 17208 Durant Street NE, Ham Lake, MN, questioned if Durant Street will ever be extended to connect to the new development.

Eric Sanft, 3905 172nd Lane NE, Ham Lake, MN, questioned what steps are being taken to ensure that Ham Lake remains high in natural resources. Mr. Sanft stated that a permit from the DNR is required for the work being done on the boat slips to ensure safety of the aquatic species.

Ali Stone, 4033 Interlachen Drive NE, Ham Lake, MN, expressed concern about adding 40 boat slips to the lake and how this would affect the cattails.

Paul Schultz, 4110 Interlachen Drive NE, Ham Lake, MN, stated that 40 new homes will create more traffic and requested that Ham Lake bring in a grocery store.

Jason Christensen, 17510 Durant Street NE, Ham Lake, MN, inquired about the process for an adjacent homeowner to purchase the outlot and connect it to their current property.

Chair Pogalz asked for further public comment and with there being none, closed the public hearing at 7:10 p.m.

Chair Pogalz stated he completed the inspection, a copy of which is on file.

Motion by Pogalz, seconded by Fisher, to recommend approval of the Preliminary Plat and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for South Shore Estates Second Addition, a 40 lot and 2 outlot, single family residential development in Section 2, as requested by Jeffrey A. Stalberger of MN Development LLC, subject to paying a \$200.00 drainage fee and \$2,500.00 parkland dedication fee on each lot, subject to an encroachment agreement on Lot 21, Block 1, due to the septic lines crossing the drainage and utility easement, subject to an encroachment agreement on Lot 23, Block 1, for shared dock access that is located within a drainage and utility easement, subject to meeting the requirements of the City Engineer and meeting all City, County and State requirements. All present in favor, motion carried. *This application will be placed on the City Council's Monday, April 6, 2026 agenda.*

NEW BUSINESS: None

COMMISSION BUSINESS:

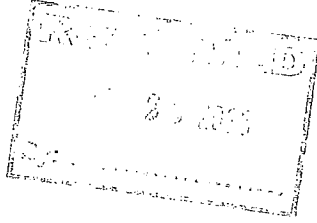
City Council Update

Deputy City Clerk Shimek stated that all items from the Planning Commissions previous meeting were approved by the City Council. A Planning Commissioner will not be attending the City Council's April 6, 2026 meeting.

ADJOURNMENT:

Motion by Dixon, seconded by Entsminger, to adjourn the Planning Commission meeting at 7:17 p.m. All present in favor, motion carried.

Dawnette Shimek, Deputy City Clerk



CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

PLANNING REQUEST

Date of Application 10/21/2025 Date of Receipt _____

Meeting Appearance Dates: Receipt # _____ Amount \$ _____

Planning Commission 3/23/2026 City Council 4/6/2026

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other _____

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: South Shores Estates

Address/Location of property: 3740 Interlachen Drive NE & 17529 Vickers St NE

Legal Description of property: LOTS 2, 3 & 13 AUD SUB NO 121; SUBJ TO EASE OF REC AND AUD SUB 121 HAM LAKE TWP AUD SUB 121 LOT 14

PIN # 02-32-23-43-0001 & 02-32-23-34-0018 Current Zoning R-A Proposed Zoning R-1

Notes: For residential development to separate north house at 3740 Interlachen for 3 total parcels

Applicant's Name: Jeffrey A Stalberger

Business Name: MN Developments LLC

Address 3399 185th Lane NE

City East Bethel State MN Zip Code 55092

Phone 612-799-1471 Cell Phone 612-799-1471 Fax _____

Email address S _____

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE DATE 10/23/25

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____ PROPERTY TAXES CURRENT YES NO
City Council _____ Any Active/Deferred Assessments YES NO

**NOTICE TO ALL APPLICANTS FOR MUNICIPAL
PERMITS, LICENSES,
OR OTHER MUNICIPAL ACTION**

- 1. If you are requesting municipal action on any request for any of the above, you will be required to furnish certain information about yourself, the project you are involved in, or other matters pertaining to the subject. Some of the information you are asked to provide is classified by state law as either private or confidential. Private data is information which generally cannot be given to the public but can be given to the subject of the data. Confidential data is information which generally cannot be given to either the public or the subject of the data.***
- 2. The purpose of this information is to enable the City Staff, Commissions, Council or other government agencies to evaluate relevant factors in considering your request. You are not legally required to provide this information. If you do not provide the requested information, the City may not act upon your request.***
- 3. The information you supply will be public and available to any entity requesting to inspect the information.***

**DATA PRACTICES ADVISORY
TENNESSEN WARNING
REQUIRED BY MINNESOTA STATUTES CHAPTER 13.04**

SIGNED BY  Jeffrey Stalberger

COMPANY/TITLE: Co-administrator MN Developments LLC

DATE: 10/23/25

CITY OF HAM LAKE ACKNOWLEDGMENT OF RESPONSIBILITY TO REIMBURSE EXPENSES

The undersigned, Jeffrey A Stalberger, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

Residential development to separate north house at 3740 Interlachen for 3 total parcels

Type of Application

acknowledges that the sum of \$ _____, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

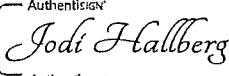


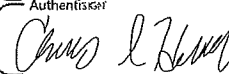
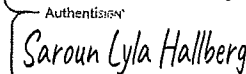
Applicant Signature  **Dated** 10/23/25

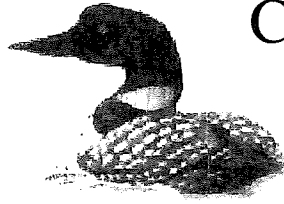
The following statement must be signed if the applicant is not the property owner:

Multiple Owners _____, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

I am aware of the application being submitted by the applicant and approve the request.  10/23/25  10/23/25  10/23/25

Property Owner Signature  **Dated** 10/22/25

 10/22/25  10/23/25  10/23/25
 10/23/25  10/23/25



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
info@ci.ham-lake.mn.us

NOTICE OF PUBLIC HEARING
CITY OF HAM LAKE
COUNTY OF ANOKA
STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, March 23, 2026 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Jeffrey A. Stalberger of MN Developments LLC, requesting preliminary plat and final plat approval and rezoning of the plat of South Shore Estates from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) in Section 2, a parcel of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

That part of Government Lot 2 and Government Lot 3, Section 2, Township 32, Range 23, Anoka County, Minnesota, also being Lots 2, 3, 13, and 14, AUDITOR'S SUBDIVISION NO. 121, according to the recorded plat thereof, described as follows:

Beginning at the South Quarter corner of said Section 2, also being the Southeast corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121; thence South 87 degrees 30 minutes 25 seconds West, assumed bearing, along the South line of said Government Lot 3, also being the South line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 748.60 feet to the Southwest corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121; thence North 03 degrees 26 minutes 35 seconds West, along the West line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 1423.64 feet to the Southwest corner of Lot 10, said AUDITOR'S SUBDIVISION NO. 121; thence North 89 degrees 44 minutes 41 seconds East, along the South line of Lots 10 and 11, said AUDITOR'S SUBDIVISION NO. 121, a distance of 180.00 feet; thence North 03 degrees 26 minutes 35 seconds West, along the East line of said Lot 11, AUDITOR'S SUBDIVISION NO. 121, a distance of 250.39 feet to the South line of Block 4, in the plat of COMFORT RESORT, Anoka County, Minnesota; thence North 89 degrees 44 minutes 41 seconds East, along said South line of Block 4, COMFORT RESORT, and its easterly extension, 111.15 feet to the Southeast corner of Lot 1, said AUDITOR'S SUBDIVISION NO. 121; thence North 03 degrees 26 minutes 35 seconds West, along the East line of said Lot 1, AUDITOR'S SUBDIVISION NO. 121, a distance of 125.19 feet to the Northeast corner of said Lot 1, AUDITOR'S SUBDIVISION NO. 121, also being the southerly right-of-way line of

Interlachen Drive, as created and dedicated in said COMFORT RESORT; thence North 89 degrees 44 minutes 41 seconds East, along said southerly right-of-way line of Interlachen Drive, 50.09 feet; thence North 78 degrees 25 minutes 29 seconds East, continuing along said southerly right-of-way line of Interlachen Drive, 314.53 feet; thence North 77 degrees 05 minutes 26 seconds East, continuing along said southerly right-of-way of Interlachen Drive, 220.83 feet to the Northwest corner of Lot 4, said AUDITOR'S SUBDIVISION NO 121; thence South 11 degrees 24 minutes 49 seconds East, along the westerly line of said Lot 4, AUDITOR'S SUBDIVISION NO. 121, a distance of 126.00 feet to the Southwest corner of said Lot 4, AUDITOR'S SUBDIVISION NO 121; thence North 77 degrees 22 minutes 12 seconds East, along the southerly line of said Lot 4, AUDITOR'S SUBDIVISION NO. 121, a distance of 233.00 feet; thence North 87 degrees 54 minutes 02 seconds East, along the South line of Lots 1, 2, 3, 4, 5, and 6, Block 3, said COMFORT RESORT, 300.00 feet to the Southwest corner of Lot 7, Block 3, said COMFORT RESORT; thence South 82 degrees 21 minutes 28 seconds East, along the southerly line of Lots 7, 8, and 9, Block 3, said COMFORT RESORT, 149.54 feet to the Southeast corner of said Lot 9, Block 3, COMFORT RESORT; thence North 17 degrees 06 minutes 42 seconds West, along the easterly line of said Lot 9, Block 3, COMFORT RESORT, a distance of 125.86 feet to the Northeast corner of said Lot 9, Block 3, COMFORT RESORT, also being said southerly right-of-way line of Interlachen Drive; thence South 82 degrees 25 minutes 58 seconds East, along said southerly right-of-way-line of Interlachen Drive, 90.11 feet to the most easterly right-of-way line of said Interlachen Drive, also being the easterly right-of-way-line of a 33.00 foot wide Road, as created and dedicated in said plat of COMFORT RESORT; thence North 10 degrees 33 minutes 04 seconds West, along said most easterly right-of-way line of said Interlachen Drive and said easterly right-of-way line of a 33.00 foot wide Road, 490 feet, more or less, to the shoreline of Coon Lake; thence easterly along said shoreline of Coon Lake to the East line of said Government Lot 2, also being the East line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, also being the West line of the plat of TRAILS END SHORES, Anoka County, Minnesota, as established by District Court File No. C3-99-2057; thence South 00 degrees 33 minutes 41 seconds East, along said East line of said Government Lot 2, also being said West line of TRAILS END SHORES, 2336.61 feet to the South line of said Government Lot 2, also being the South line of said Lot 14, said AUDITOR'S SUBDIVISION NO. 121; thence South 87 degrees 15 minutes 06 seconds West, along said South line of Government Lot 2, also being the South line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, a distance of 1343.65 feet to the point of beginning.

At such hearing both written and oral comments will be heard.

DATED: March 12, 2026

Dawnette Shimek
Deputy City Clerk
City of Ham Lake

ORDINANCE NO. 26-XX

AN ORDINANCE AMENDING A PORTION OF CHAPTER 9 OF THE CITY OF HAM LAKE, COUNTY OF ANOKA, STATE OF MINNESOTA.

The City Council of the City of Ham Lake does hereby ordain as follows, pursuant to Article 9 of the Ham Lake City Code.

That the zoning classification for the following described property situated in the City of Ham Lake, Anoka County, Minnesota is hereby designated from R-A (Rural Family Single Family) to R-1 (Single Family Residential) for the South Shore Estates in Section 2.

That part of Government Lot 2 and Government Lot 3, Section 2, Township 32, Range 23, Anoka County, Minnesota, also being Lots 2, 3, 13, and 14, AUDITOR'S SUBDIVISION NO. 121, according to the recorded plat thereof, described as follows:

Beginning at the South Quarter corner of said Section 2, also being the Southeast corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121; thence South 87 degrees 30 minutes 25 seconds West, assumed bearing, along the South line of said Government Lot 3, also being the South line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 748.60 feet to the Southwest corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121; thence North 03 degrees 26 minutes 35 seconds West, along the West line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 1423.64 feet to the Southwest corner of Lot 10, said AUDITOR'S SUBDIVISION NO. 121; thence North 89 degrees 44 minutes 41 seconds East, along the South line of Lots 10 and 11, said AUDITOR'S SUBDIVISION NO. 121, a distance of 180.00 feet; thence North 03 degrees 26 minutes 35 seconds West, along the East line of said Lot 11, AUDITOR'S SUBDIVISION NO. 121, a distance of 250.39 feet to the South line of Block 4, in the plat of COMFORT RESORT, Anoka County, Minnesota; thence North 89 degrees 44 minutes 41 seconds East, along said South line of Block 4, COMFORT RESORT, and its easterly extension, 111.15 feet to the Southeast corner of Lot 1, said AUDITOR'S SUBDIVISION NO. 121; thence North 03 degrees 26 minutes 35 seconds West, along the East line of said Lot 1, AUDITOR'S SUBDIVISION NO. 121, a distance of 125.19 feet to the Northeast corner of said Lot 1, AUDITOR'S SUBDIVISION NO. 121, also being the southerly right-of-way line of Interlachen Drive, as created and dedicated in said COMFORT RESORT; thence North 89 degrees 44 minutes 41 seconds East, along said southerly right-of-way line of Interlachen Drive, 50.09 feet; thence North 78 degrees 25 minutes 29 seconds East, continuing along said southerly right-of-way line of Interlachen Drive, 314.53 feet; thence North 77 degrees 05 minutes 26 seconds East, continuing along said southerly right-of-way line of Interlachen Drive, 220.83 feet to the Northwest corner of Lot 4, said AUDITOR'S SUBDIVISION NO. 121; thence South 11 degrees 24 minutes 49 seconds East, along the westerly line of said Lot 4, AUDITOR'S SUBDIVISION NO. 121, a distance of 126.00 feet to the Southwest corner of said Lot 4, AUDITOR'S SUBDIVISION NO. 121; thence North 77 degrees 22 minutes 12 seconds East, along the southerly line of said Lot 4, AUDITOR'S SUBDIVISION NO. 121, a distance of 233.00 feet; thence North 87 degrees 54 minutes 02 seconds East, along the South line of Lots 1, 2, 3, 4, 5, and 6, Block 3, said COMFORT RESORT, 300.00 feet to the Southwest corner of Lot 7, Block 3, said COMFORT RESORT; thence South 82 degrees 21 minutes 28 seconds East, along the southerly line of Lots 7, 8, and 9, Block 3, said COMFORT RESORT, 149.54 feet to the Southeast corner of said Lot 9, Block 3, COMFORT RESORT; thence North 17 degrees 06 minutes 42 seconds West, along the easterly

line of said Lot 9, Block 3, COMFORT RESORT, a distance of 125.86 feet to the Northeast corner of said Lot 9, Block 3, COMFORT RESORT, also being said southerly right-of-way line of Interlachen Drive; thence South 82 degrees 25 minutes 58 seconds East, along said southerly right-of-way-line of Interlachen Drive, 90.11 feet to the most easterly right-of-way line of said Interlachen Drive, also being the easterly right-of-way-line of a 33.00 foot wide Road, as created and dedicated in said plat of COMFORT RESORT; thence North 10 degrees 33 minutes 04 seconds West, along said most easterly right-of-way line of said Interlachen Drive and said easterly right-of-way line of a 33.00 foot wide Road, 490 feet, more or less, to the shoreline of Coon Lake; thence easterly along said shoreline of Coon Lake to the East line of said Government Lot 2, also being the East line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, also being the West line of the plat of TRAILS END SHORES, Anoka County, Minnesota, as established by District Court File No. C3-99-2057; thence South 00 degrees 33 minutes 41 seconds East, along said East line of said Government Lot 2, also being said West line of TRAILS END SHORES, 2336.61 feet to the South line of said Government Lot 2, also being the South line of said Lot 14, said AUDITOR'S SUBDIVISION NO. 121; thence South 87 degrees 15 minutes 06 seconds West, along said South line of Government Lot 2, also being the South line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, a distance of 1343.65 feet to the point of beginning.

Presented to the Ham Lake City Council on April 6, 2026 and adopted by a unanimous vote this ____ day of _____, 2026.

Brian Kirkham, Mayor

Denise Webster, City Clerk

VICINITY MAP

PART OF SEC. 2, TWP. 32, RNG. 23



↑ North

South Shore Estates – 3 Single Family Residential Lots

ALBRIGHT, BRIAN
PIN: 02-32-23-44-0004
17380 DURANT ST NE
HAM LAKE, MN 55304

BERG STEVEN L & BONNIE M
PIN: 11-32-23-12-0024
3841 CROSSTOWN BLVD NE
HAM LAKE, MN 55304

CULLEN DAVID C
PIN: 02-32-23-42-0012
3873 INTERLACHEN DR NE
HAM LAKE, MN 55304

ERICKSON, ANDREA
PIN: 11-32-23-12-0007
3855 172ND LN NE
HAM LAKE, MN 55304

GRAVES, NICHOLAS GARRET
PIN: 02-32-23-42-0004
3833 INTERLACHEN DR NE
HAM LAKE, MN 55304

HENDERSON SANDRA N
PIN: 02-32-23-42-0027
3854 INTERLACHEN DR NE
HAM LAKE, MN 55304

HUEBSCHER, JAMI
PIN: 02-32-23-42-0028
3866 INTERLACHEN DR NE
HAM LAKE, MN 55304

JOHANNES, RICHARD
PIN: 02-32-23-42-0009
3847 INTERLACHEN DR NE
HAM LAKE, MN 55304

KOEHLER MICHAEL NEIL
PIN: 11-32-23-12-0005
17229 VICKERS ST NE
HAM LAKE, MN 55304

KUNSHIER WARREN E & CHERYL
PIN: 11-32-23-12-0023
3945 172ND LN NE
HAM LAKE, MN 55304

ARONSON, BRIAN
PIN: 02-32-23-31-0061
3703 INTERLACHEN DR NE
HAM LAKE, MN 55304

BRUHN-DING, BARBARA J
PIN: 02-32-23-41-0017
4055 INTERLACHEN DR NE
HAM LAKE, MN 55304

DAWSON, THOMAS J
PIN: 11-32-23-12-0030
17241 VICKERS ST NE
HAM LAKE, MN 55304

FIRST FIDUCIARY CORPORATION,
TRUSTEE
PIN: 02-32-23-44-0005
4120 LEXINGTON WAY
EAGAN, MN 55123

GREENER, TERRY N
PIN: 11-32-23-12-0002
17259 VICKERS ST NE
HAM LAKE, MN 55304

HOFFMAN TRUSTEE, WARREN A
PIN: 01-32-23-33-0007
15740 LEXINGTON AVE NE
HAM LAKE, MN 55304

HYLLE MARK A & CARLA J
PIN: 02-32-23-42-0006
3827 INTERLACHEN DR NE
HAM LAKE, MN 55304

JOHNSON, GAYLE M
PIN: 02-32-23-42-0023
3815 INTERLACHEN DR NE
HAM LAKE, MN 55304

KRATZKE KARL
PIN: 11-32-23-21-0020
3719 172ND LN NE
HAM LAKE, MN 55304

LEEBENS ROBERT J & LORALEE A
PIN: 02-32-23-42-0022
3823 INTERLACHEN DR NE
HAM LAKE, MN 55304

ARONSON, CAITLIN
PIN: 02-32-23-42-0010
3859 INTERLACHEN DR NE
HAM LAKE, MN 55304

COLBURN RICHARD H
PIN: 02-32-23-42-0024
3838 INTERLACHEN DR NE
HAM LAKE, MN 55304

DREWS DANIEL
PIN: 02-32-23-31-0056
3648 INTERLACHEN DR NE
HAM LAKE, MN 55304

GILBERT, JENNIFER
PIN: 02-32-23-41-0023
4015 INTERLACHEN DR NE
HAM LAKE, MN 55304

HALLBERG, DANIEL D
PIN: 02-32-23-42-0025
3753 INTERLACHEN DR NE
HAM LAKE, MN 55304

HOFFMANN COREY
PIN: 11-32-23-11-0011
17208 DURANT ST NE
HAM LAKE, MN 55304

JANET J DAUN LIVING TRUST
PIN: 02-32-23-34-0020
3631 WOODLAND DR NE
HAM LAKE, MN 55304

KAROL RENAE
PIN: 02-32-23-31-0048
PO BOX 32025
MINNEAPOLIS, MN 55432

KUNCHIER, JONATHAN MICHAEL
PIN: 11-32-23-12-0025
3929 CROSSTOWN BLVD NE
HAM LAKE, MN 55304

LUSTHOFF WAYNE W & SANDRA L
PIN: 02-32-23-31-0013
3643 INTERLACHEN DR NE
ANOKA, MN 55304

MILLER, TARA H
PIN: 02-32-23-42-0011
3863 INTERLACHEN DR NE
HAM LAKE, MN 55304

NEUBERGER, JENNA K
PIN: 11-32-23-21-0021
3729 172ND LN NE
HAM LAKE, MN 55304

OLESEN, TIMOTHY S
PIN: 02-32-23-44-0003
17440 DURANT ST NE
HAM LAKE, MN 55304

OLSEN, TERRI L
PIN: 11-32-23-21-0022
3641 172ND LN NE
HAM LAKE, MN 55304

PECK, LEIGHTON L
PIN: 11-32-23-11-0010
17242 DURANT ST NE
HAM LAKE, MN 55304

PETERSON RANDY & KATHLEEN
PIN: 02-32-23-31-0010
3623 INTERLACHEN DR
HAM LAKE, MN 55304

PETRY, STEVEN J
PIN: 02-32-23-31-0012
3633 INTERLACHEN DR NE
HAM LAKE, MN 55304

RABE, BRIAN
PIN: 02-32-23-31-0014
3653 INTERLACHEN DR NE
HAM LAKE, MN 55304

RHEA CO
PIN: 02-32-23-31-0053
12590 SCHARBER ST
ROGERS, MN 55374

ROONEY JAMES H & LINDA
PIN: 11-32-23-21-0002
17246 VICKERS ST NE
HAM LAKE, MN 55304

ROSENCRANTZ, SHERI L & TODD
PIN: 02-32-23-31-0054
3612 INTERLACHEN DR NE
HAM LAKE, MN 55304

RUUD, SHERRIE
PIN: 02-32-23-31-0050
3805 INTERLACHEN DR NE
HAM LAKE, MN 55304

SANFT CARLY
PIN: 11-32-23-12-0010
3905 172ND LN NE
HAM LAKE, MN 55304

SCHARBER TRUSTEE JENNIFER SUE
PIN: 02-32-23-31-0051
8585 YELLOWSTONE LN N
MAPLE GROVE, MN 55311

SCHMIDTZ, ALLEN J
PIN: 02-32-23-42-0001
3820 INTERLACHEN DR NE
HAM LAKE, MN 55304

SCHULTZ, PAUL
PIN: 02-32-23-41-0001
4110 INTERLACHEN DR NE
ANDOVER, MN 55304

SCHWARTZ, JUDY J
PIN: 11-32-23-21-0006
17220 VICKERS ST NE
HAM LAKE, MN 55304

SMITH DAVID L
PIN: 11-32-23-12-0029
3850 172ND LN NE
HAM LAKE, MN 55304

SMITH, JONAH S
PIN: 02-32-23-34-0021
3621 WOODLAND DR NE
HAM LAKE, MN 55304

SPINLER, PAUL W
PIN: 11-32-23-21-0024
3621 172ND LN NE
ANDOVER, MN 55304

STADLER SEAN
PIN: 02-32-23-31-0058
3637 INTERLACHEN DR NE
HAM LAKE, MN 55304

STEUCK, RICHARD G
PIN: 02-32-23-34-0019
3636 WOODLAND DR NE
HAM LAKE, MN 55304

STONE BRADLEY D & JENNIFER A
PIN: 02-32-23-41-0016
4033 INTERLACHEN DR NE
HAM LAKE, MN 55304

TAIT, LAURA
PIN: 11-32-23-21-0023
3631 172ND LN NE
HAM LAKE, MN 55304

THOMPSON, JERRY GENE
PIN: 11-32-23-11-0003
21229 TOLLHOUSE ROAD
CLOVIS, CA 93619

TJB LAND LLC
PIN: 02-32-23-42-0008
9100 BALTIMORE ST NE STE 102
BLAINE, MN 55449

WAWERS, CAROL
PIN: 11-32-23-21-0003
17256 VICKERS ST NE
HAM LAKE, MN 55304

ZWEIG, ZACHARY D
PIN: 02-32-23-31-0059
3658 INTERLACHEN DR NE
HAM LAKE, MN 55304

ALBRIGHT, BRIAN	PIN: 02-32-23-44-0004	17380 DURANT ST NE	HAM LAKE, MN 55304
ARONSON, BRIAN	PIN: 02-32-23-31-0061	3703 INTERLACHEN DR NE	HAM LAKE, MN 55304
ARONSON, CAITLIN	PIN: 02-32-23-42-0010	3859 INTERLACHEN DR NE	HAM LAKE, MN 55304
BERG STEVEN L & BONNIE M	PIN: 11-32-23-12-0024	3841 CROSSTOWN BLVD NE	HAM LAKE, MN 55304
BRUHN-DING, BARBARA J	PIN: 02-32-23-41-0017	4055 INTERLACHEN DR NE	HAM LAKE, MN 55304
COLBURN RICHARD H	PIN: 02-32-23-42-0024	3838 INTERLACHEN DR NE	HAM LAKE, MN 55304
CULLEN DAVID C	PIN: 02-32-23-42-0012	3873 INTERLACHEN DR NE	HAM LAKE, MN 55304
DAWSON, THOMAS J	PIN: 11-32-23-12-0030	17241 VICKERS ST NE	HAM LAKE, MN 55304
DREWS DANIEL	PIN: 02-32-23-31-0056	3648 INTERLACHEN DR NE	HAM LAKE, MN 55304
ERICKSON, ANDREA	PIN: 11-32-23-12-0007	3855 172ND LN NE	HAM LAKE, MN 55304
FIRST FIDUCIARY CORPORATION, TRUSTEE	PIN: 02-32-23-44-0005	4120 LEXINGTON WAY	EAGAN, MN 55123
GILBERT, JENNIFER	PIN: 02-32-23-41-0023	4015 INTERLACHEN DR NE	HAM LAKE, MN 55304
GRAVES, NICHOLAS GARRET	PIN: 02-32-23-42-0004	3833 INTERLACHEN DR NE	HAM LAKE, MN 55304
GREENER, TERRY N	PIN: 11-32-23-12-0002	17259 VICKERS ST NE	HAM LAKE, MN 55304
HALLBERG, DANIEL D	PIN: 02-32-23-42-0025	3753 INTERLACHEN DR NE	HAM LAKE, MN 55304
HENDERSON SANDRA N	PIN: 02-32-23-42-0027	3854 INTERLACHEN DR NE	HAM LAKE, MN 55304
HOFFMAN TRUSTEE, WARREN A	PIN: 01-32-23-33-0007	15740 LEXINGTON AVE NE	HAM LAKE, MN 55304
HOFFMANN COREY	PIN: 11-32-23-11-0011	17208 DURANT ST NE	HAM LAKE, MN 55304
HUEBSCHER, JAMI	PIN: 02-32-23-42-0028	3866 INTERLACHEN DR NE	HAM LAKE, MN 55304
HYLLE MARK A & CARLA J	PIN: 02-32-23-42-0006	3827 INTERLACHEN DR NE	HAM LAKE, MN 55304
JANET J DAUN LIVING TRUST	PIN: 02-32-23-34-0020	3631 WOODLAND DR NE	HAM LAKE, MN 55304
JOHANNES, RICHARD	PIN: 02-32-23-42-0009	3847 INTERLACHEN DR NE	HAM LAKE, MN 55304
JOHNSON, GAYLE M	PIN: 02-32-23-42-0023	3815 INTERLACHEN DR NE	HAM LAKE, MN 55304
KAROL RENAE	PIN: 02-32-23-31-0048	PO BOX 32025	MINNEAPOLIS, MN 55432
KOEHLER MICHAEL NEIL	PIN: 11-32-23-12-0005	17229 VICKERS ST NE	HAM LAKE, MN 55304
KRATZKE KARL	PIN: 11-32-23-21-0020	3719 172ND LN NE	HAM LAKE, MN 55304
KUNCHIER, JONATHAN MICHAEL	PIN: 11-32-23-12-0025	3929 CROSSTOWN BLVD NE	HAM LAKE, MN 55304
KUNSHIER WARREN E & CHERYL	PIN: 11-32-23-12-0023	3945 172ND LN NE	HAM LAKE, MN 55304
LEEBENS ROBERT J & LORALEE A	PIN: 02-32-23-42-0022	3823 INTERLACHEN DR NE	HAM LAKE, MN 55304
LUSTHOFF WAYNE W & SANDRA L	PIN: 02-32-23-31-0013	3643 INTERLACHEN DR NE	ANOKA, MN 55304
MILLER, TARA H	PIN: 02-32-23-42-0011	3863 INTERLACHEN DR NE	HAM LAKE, MN 55304
NEUBERGER, JENNA K	PIN: 11-32-23-21-0021	3729 172ND LN NE	HAM LAKE, MN 55304
OLESEN, TIMOTHY S	PIN: 02-32-23-44-0003	17440 DURANT ST NE	HAM LAKE, MN 55304
OLSEN, TERRI L	PIN: 11-32-23-21-0022	3641 172ND LN NE	HAM LAKE, MN 55304
PECK, LEIGHTON L	PIN: 11-32-23-11-0010	17242 DURANT ST NE	HAM LAKE, MN 55304
PETERSON RANDY & KATHLEEN	PIN: 02-32-23-31-0010	3623 INTERLACHEN DR	HAM LAKE, MN 55304
PETRY, STEVEN J	PIN: 02-32-23-31-0012	3633 INTERLACHEN DR NE	HAM LAKE, MN 55304
RABE, BRIAN	PIN: 02-32-23-31-0014	3653 INTERLACHEN DR NE	HAM LAKE, MN 55304
RHEA CO	PIN: 02-32-23-31-0053	12590 SCHARBER ST	ROGERS, MN 55374

ROONEY JAMES H & LINDA	PIN: 11-32-23-21-0002	17246 VICKERS ST NE	HAM LAKE, MN 55304
ROSENCRANTZ, SHERI L & TODD	PIN: 02-32-23-31-0054	3612 INTERLACHEN DR NE	HAM LAKE, MN 55304
RUUD, SHERRIE	PIN: 02-32-23-31-0050	3805 INTERLACHEN DR NE	HAM LAKE, MN 55304
SANFT CARLY	PIN: 11-32-23-12-0010	3905 172ND LN NE	HAM LAKE, MN 55304
SCHARBER TRUSTEE JENNIFER SUE	PIN: 02-32-23-31-0051	8585 YELLOWSTONE LN N	MAPLE GROVE, MN 55311
SCHMIDTZ, ALLEN J	PIN: 02-32-23-42-0001	3820 INTERLACHEN DR NE	HAM LAKE, MN 55304
SCHULTZ, PAUL	PIN: 02-32-23-41-0001	4110 INTERLACHEN DR NE	ANDOVER, MN 55304
SCHWARTZ, JUDY J	PIN: 11-32-23-21-0006	17220 VICKERS ST NE	HAM LAKE, MN 55304
SMITH DAVID L	PIN: 11-32-23-12-0029	3850 172ND LN NE	HAM LAKE, MN 55304
SMITH, JONAH S	PIN: 02-32-23-34-0021	3621 WOODLAND DR NE	HAM LAKE, MN 55304
SPINLER, PAUL W	PIN: 11-32-23-21-0024	3621 172ND LN NE	ANDOVER, MN 55304
STADLER SEAN	PIN: 02-32-23-31-0058	3637 INTERLACHEN DR NE	HAM LAKE, MN 55304
STEUCK, RICHARD G	PIN: 02-32-23-34-0019	3636 WOODLAND DR NE	HAM LAKE, MN 55304
STONE BRADLEY D & JENNIFER A	PIN: 02-32-23-41-0016	4033 INTERLACHEN DR NE	HAM LAKE, MN 55304
TAIT, LAURA	PIN: 11-32-23-21-0023	3631 172ND LN NE	HAM LAKE, MN 55304
THOMPSON, JERRY GENE	PIN: 11-32-23-11-0003	21229 TOLLHOUSE ROAD	CLOVIS, CA 93619
TJB LAND LLC	PIN: 02-32-23-42-0008	9100 BALTIMORE ST NE STE 102	BLAINE, MN 55449
WAWERS, CAROL	PIN: 11-32-23-21-0003	17256 VICKERS ST NE	HAM LAKE, MN 55304
ZWEIG, ZACHARY D	PIN: 02-32-23-31-0059	3658 INTERLACHEN DR NE	HAM LAKE, MN 55304

17671

16TH AVT

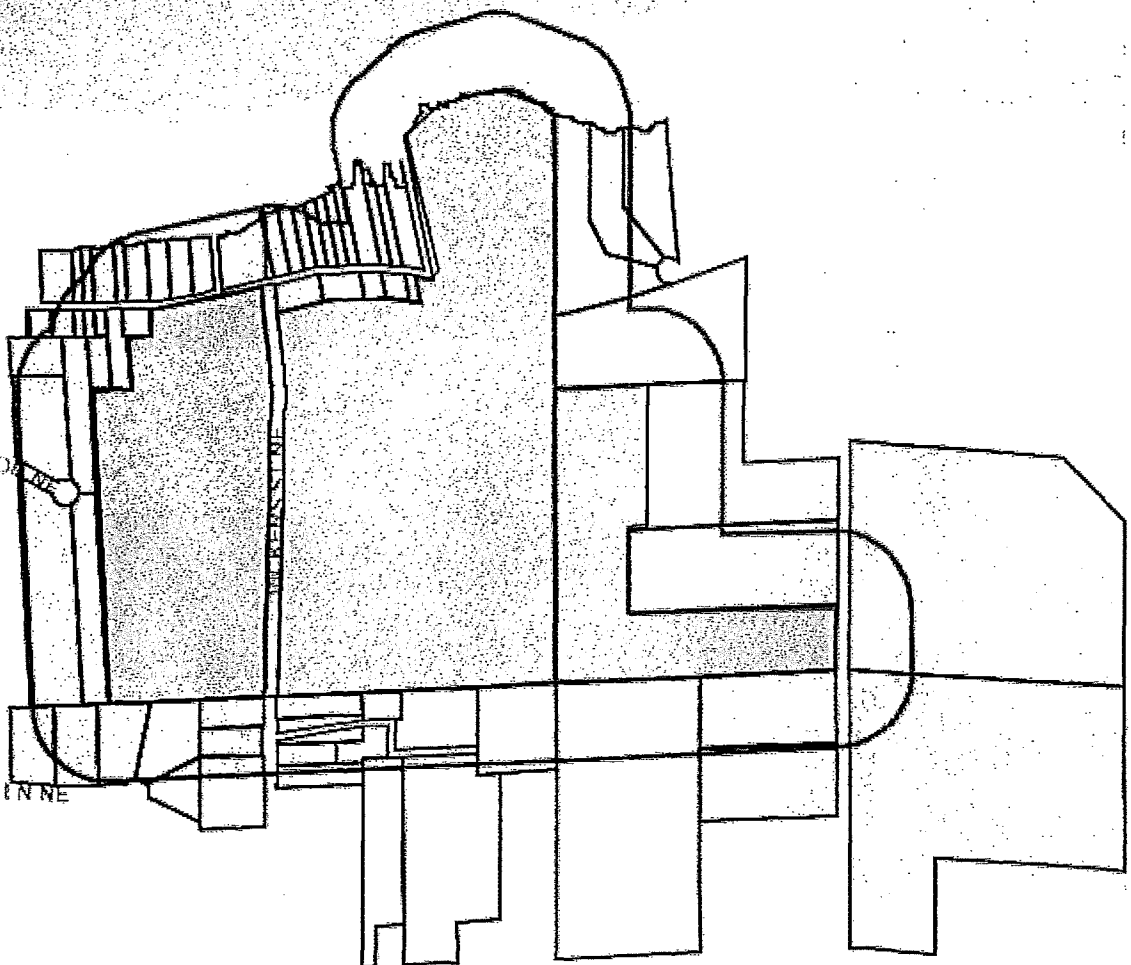
OUTH DR NE

WOODLAND DR

172ND LN NE

CROSSTOWN BLVD NE

70TH LN NE



Memorandum

Date: March 17, 2026
To: Planning Commissioners
From: David A. Krugler, City Engineer
Subject: South Shore Estates



Introduction:

The Preliminary and Final Plat for South Shore Estates subdivides the 94.28-acre 17529 Vickers Street and 3740 Interlachen Drive parcel into three lots. The existing houses and accessory buildings are located on proposed Lot 1 of Block 1 and Lots 1 and 2 of Block 2. The parcels are currently zoned Rural Single Family Residential (R-A) and will be rezoned Single Family Residential (R-1) following final plat approval. A 500-scale zoning map, 400-scale half-section map and a 500-scale aerial photo are attached.

Discussion:

The Final Plat, Preliminary Plat and Livability Plan received March 5th address the prior review comments. The proposed subdivision qualifies as a Minor Plat under Section 10-101 of City Code and therefore does not require that the existing driveway access a paved road.

The existing house and accessory building located on Lot 1 of Block 2 will remain. The existing 1,450 square foot accessory building complies with Section 9-370.1 of City Code, which permits up to 5,000 square feet on lots of five (5) acres or greater. Prior to final plat signatures by the City, a Certificate of Compliance inspection of the existing septic system shall be completed in accordance with Section 11-450.4(c) of City Code.

The existing accessory building located on Lot 1 of Block 1 is proposed to remain. In accordance with Section 10-430(E)(2) of City Code, the existing gravel driveway serving Lot 1 shall be paved prior to issuance of any future building permits.

As the Minor Plat utilizes existing infrastructure and does not require new public improvements beyond individual lot development, a Development Agreement is not required. The developer shall pay a \$200 drainage fund contribution along with a \$2,500 parkland dedication fee for each of the three lots. It is anticipated that there will be a future subdivision to create up to 40 additional lots and will also need to pay a \$200 drainage fund contribution along with \$2,500 parkland dedication fee for each future lot.

The Soil Boring Test Report confirms that there is adequate area for a primary and secondary septic system for all three lots. The attached April 10th Tradewell septic certification certifies that the lots will support two standard septic systems in accordance with Minnesota Rules 7080.

Recommendations:

It is recommended that the Preliminary Plat and Final Plat for South Shore Estates be recommended for approval.

PRELIMINARY PLAT

~of~ SOUTH SHORE ESTATES
 ~for~ MN DEVELOPMENTS, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

VICINITY MAP

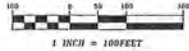
PART OF SEC. 2, TWP. 32, RANG. 23



ANOKA COUNTY, MINNESOTA
 (NO SCALE)

NORTH

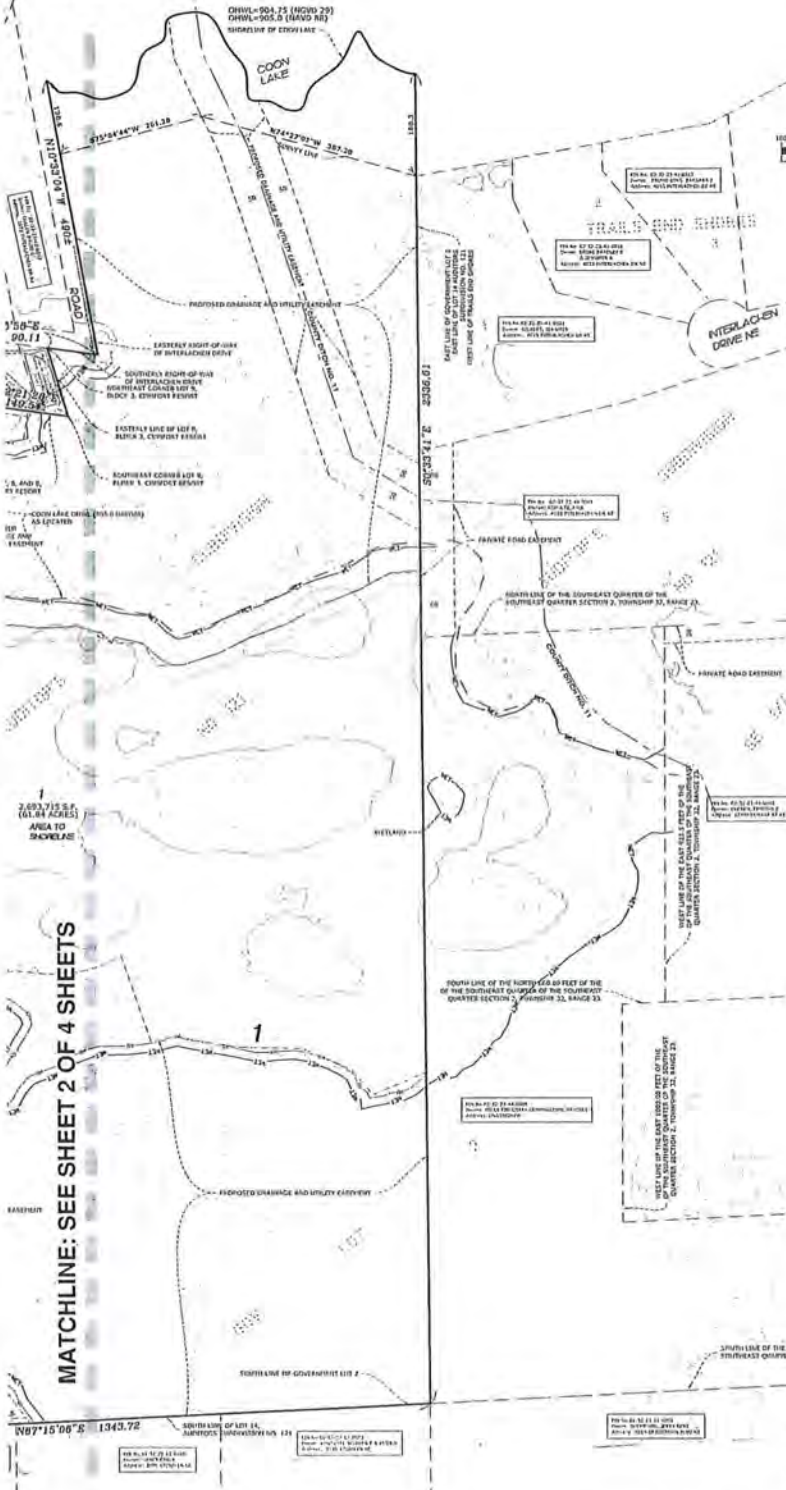
GRAPHIC SCALE



PROPERTY DESCRIPTION

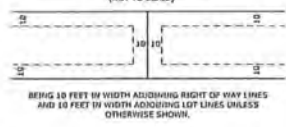
This part of Government Lot 2 and Government Lot 3, Section 2, Township 32, Range 23, Anoka County, Minnesota, also being Lots 2, 3, 13, and 14, AUDITOR'S SUBDIVISION NO. 121, according to the recorded plat thereof, described as follows:

Beginning at the South Quarter corner of said Section 2, also being the Southeast corner of said Lot 12, AUDITOR'S SUBDIVISION NO. 121; thence South 87 degrees 30 minutes 25 seconds West, assumed bearing, along the South line of said Government Lot 2, also being the South line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 748.68 feet to the Southeast corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121; thence North 03 degrees 26 minutes 35 seconds West, along the West line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 1423.84 feet to the Southeast corner of Lot 10, said AUDITOR'S SUBDIVISION NO. 121; thence North 89 degrees 41 minutes 41 seconds East, along the South line of Lots 10 and 11, said AUDITOR'S SUBDIVISION NO. 121, a distance of 180.00 feet; thence North 03 degrees 26 minutes 35 seconds West, along the East line of said Lot 11, AUDITOR'S SUBDIVISION NO. 121, a distance of 250.28 feet to the South line of Block 4, on the plat of COHFORT RESORT, Anoka County, Minnesota; thence North 89 degrees 44 minutes 41 seconds East, along said South line of Block 4, COHFORT RESORT, and its easterly extension, 111.15 feet to the Southeast corner of Lot 1, said AUDITOR'S SUBDIVISION NO. 121; thence North 03 degrees 26 minutes 25 seconds West, along the East line of said Lot 1, AUDITOR'S SUBDIVISION NO. 121, a distance of 125.19 feet to the Northeast corner of said Lot 1, AUDITOR'S SUBDIVISION NO. 121, also being the southerly right-of-way line of Interlachen Drive, as created and dedicated in said COHFORT RESORT; thence North 89 degrees 44 minutes 41 seconds East, along said southerly right-of-way line of Interlachen Drive, 50.00 feet; thence North 78 degrees 25 minutes 28 seconds East, continuing along said southerly right-of-way line of Interlachen Drive, 214.53 feet; thence North 77 degrees 05 minutes 26 seconds East, continuing along said southerly right-of-way line of Interlachen Drive, 220.83 feet to the Northeast corner of Lot 4, said AUDITOR'S SUBDIVISION NO. 121; thence South 11 degrees 34 minutes 49 seconds East, along the westerly line of said Lot 4, AUDITOR'S SUBDIVISION NO. 121, a distance of 126.00 feet to the Southwest corner of said Lot 4, AUDITOR'S SUBDIVISION NO. 121; thence North 77 degrees 22 minutes 12 seconds East, along the southerly line of said Lot 4, AUDITOR'S SUBDIVISION NO. 121, a distance of 233.00 feet; thence North 87 degrees 34 minutes 02 seconds East, along the South line of Lots 1, 2, 3, 4, 5, and 6, Block 3, said COHFORT RESORT, 310.80 feet to the Southwest corner of Lot 7, Block 3, said COHFORT RESORT; thence South 82 degrees 21 minutes 38 seconds East, along the southerly line of Lots 7, 8, and 9, Block 3, said COHFORT RESORT, 24.24 feet to the Southeast corner of said Lot 9, Block 3, COHFORT RESORT; thence North 17 degrees 06 minutes 42 seconds West, along the easterly line of said Lot 9, Block 3, COHFORT RESORT, a distance of 125.86 feet to the Northeast corner of said Lot 8, Block 3, COHFORT RESORT; thence North 17 degrees 06 minutes 42 seconds West, along the easterly line of said Lot 8, Block 3, COHFORT RESORT, a distance of 125.86 feet to the Northeast corner of said Lot 8, Block 3, COHFORT RESORT; also being said southerly right-of-way line of Interlachen Drive; thence South 82 degrees 25 minutes 58 seconds East, along said southerly right-of-way line of Interlachen Drive, 90.11 feet to the most easterly right-of-way line of said Interlachen Drive, also being the easterly right-of-way line of a 33.00 foot wide Road, as created and dedicated in said plat of COHFORT RESORT; thence North 10 degrees 33 minutes 18 seconds West, along said most easterly right-of-way line of said Interlachen Drive and said easterly right-of-way line of a 33.00 foot wide Road, 490 feet, more or less, to the shoreline of Coon Lake; thence easterly along said shoreline of Coon Lake to the East line of said Government Lot 2, also being the East line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, also being the West line of the plat of TRAILS END SHORES, Anoka County, Minnesota, as established by District Court File No. C3-99-2057; thence South 09 degrees 33 minutes 48 seconds East, along said East line of said Government Lot 2, also being said West line of TRAILS END SHORES, 2318.81 feet to the South line of said Government Lot 2, also being the South line of said Lot 14, said AUDITOR'S SUBDIVISION NO. 121; thence South 87 degrees 15 minutes 15 seconds West, along said South line of Government Lot 2, also being the South line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, a distance of 1342.65 feet to the point of beginning.



MATCHLINE: SEE SHEET 2 OF 4 SHEETS

TYPICAL EASEMENTS



NOTES

- Bearings shown are on Anoka County datum.
- Parcel ID Number: 02-32-23-34-0038 (If it is anticipated that these two parcels may become one PID in the registration process.)
- Site Address: 3740 INTERLACHEN DR NE 17529 WICKES ST NE
- OWNERS: First Federal Corporation
 Daniel O. Hultberg
 Robert Hallberg
 Christopher Hultberg
 Jessica Cook
 Good Old Memories, LLC

DEVELOPMENT DATA

TOTAL SITE AREA = 94.38 ACRES
 3 PROPOSED SINGLE FAMILY LOTS
 AVERAGE LOT SIZE = 31.43 ACRES
 MINIMUM STREET FRONTAGE = 200 FEET
 MINIMUM LOT SIZE = 1.00 ACRES (INCLUDING HALF OF STREET ROW)
 PROPOSED ZONING = R-3
 BUILDING SETBACKS: FRONT = 30 FEET
 SIDE = 10 FEET
 REAR = 50 FEET
 COUNTY ROAD = 50 FEET

LEGEND

- DOTTED LINE = LIDAR CONTOURS (2' INTERVAL)
- DASHED LINE = RAILING SETBACK LINE
- DOTTED LINE WITH DASHES = WETLAND LINE DELINEATED BY KOLMUS ENVIRONMENTAL SERVICES INC.
- DOTTED LINE WITH DASHES = WETLAND BUFFER LINE
- DOTTED LINE WITH DASHES = ADJACENT PARCELS, OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

BENCHMARK

ANOKA COUNTY BM: 2003
 ELEVATION: 908.792
 DATUM: NAVD 83

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

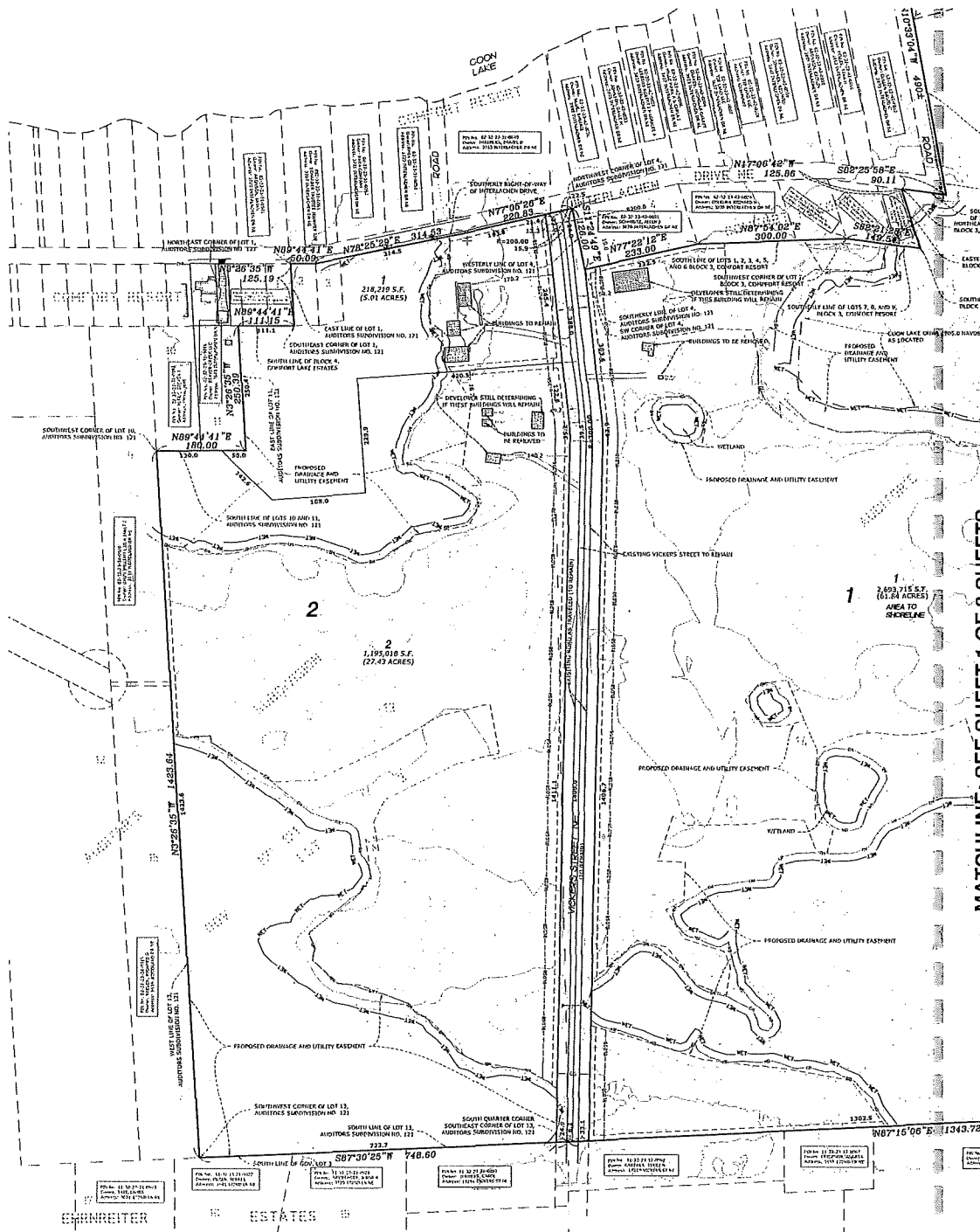
JASON R. BROWN
 Date: 03/01/2024 License No. 41378

VERSION	DATE	DESCRIPTION
1	03/01/2024	FINAL PLAT APPLICATION
2	03/01/2024	FINAL PLAT APPLICATION
3	03/01/2024	FINAL PLAT APPLICATION

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

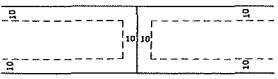
PRELIMINARY PLAT

-of- SOUTH SHORE ESTATES
 -for- MN DEVELOPMENTS, LLC,
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

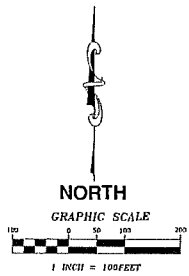


MATCHLINE: SEE SHEET 1 OF 3 SHEETS

TYPICAL EASEMENTS (NOT TO SCALE)



BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES
 AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS
 OTHERWISE SHOWN.



LEGEND

- DENOTES LIDAR CONTOURS (2' INTERVAL)
- DENOTES BUILDING SETBACK LINE
- DENOTES WETLAND LINE DELINEATED BY KOKALUCE ENVIRONMENTAL SERVICES, INC.
- DENOTES WETLAND BUFFER LINE
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
 Date: 02/05/2026 License No. 41578

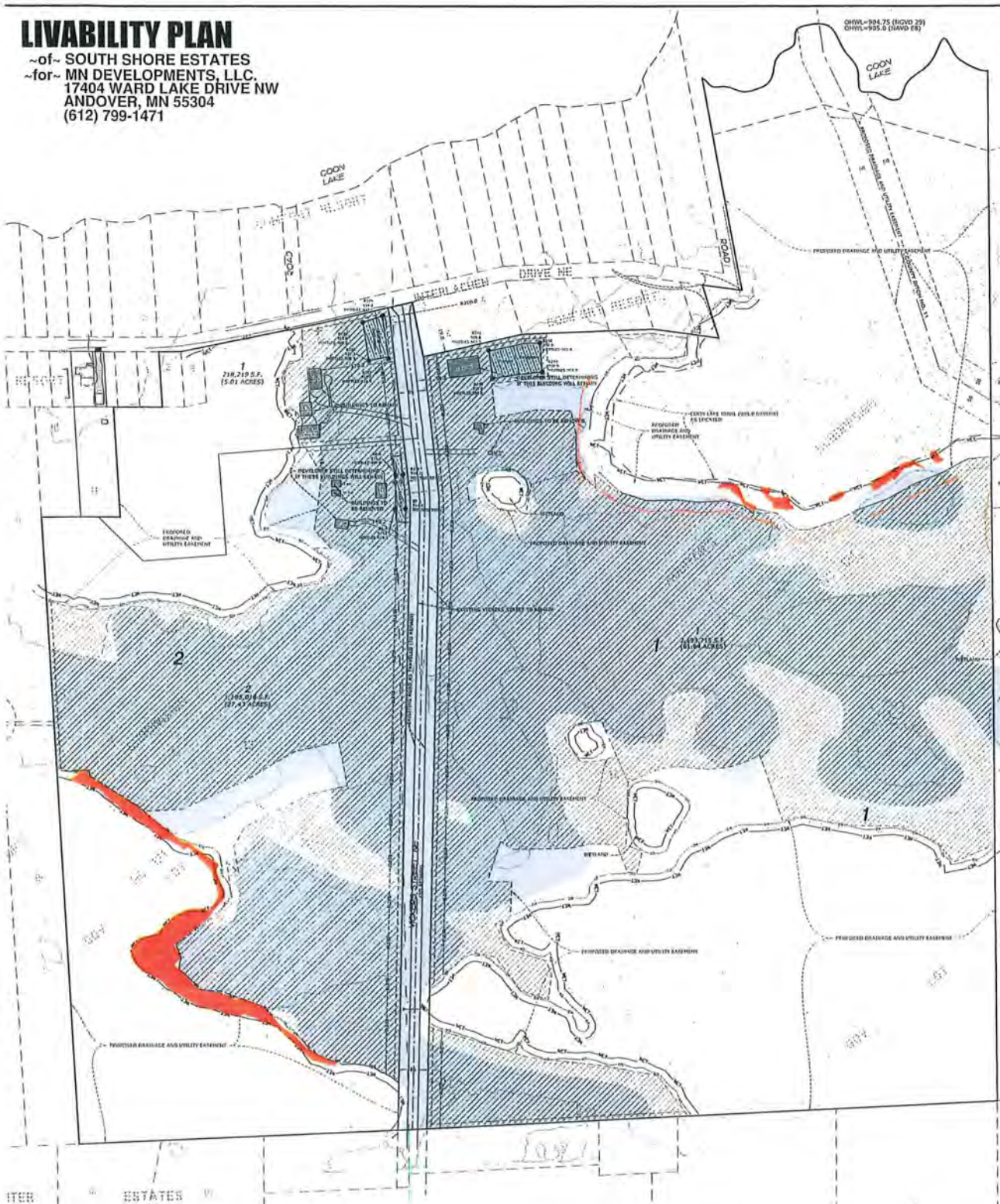
BENCHMARK
 ANOKA COUNTY BN: 2003
 ELEVATION 808.792
 DATUM: NAVD 88

NO.	DATE	DESCRIPTION	BY
1	1/22/24	CITY WATERBURY COMMITTEE	FRB
2	1/23/24	TOWN PLAT APPLICATION	JER
3			

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-0200 Fax (651) 361-6701

LIVABILITY PLAN

~of~ SOUTH SHORE ESTATES
 ~for~ MN DEVELOPMENTS, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471



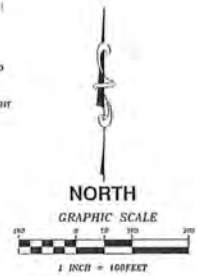
LIVABILITY DATA

Lot	Block	Soil Lot Area (Acres)	Field Area (Acres)	Soil Area (Acres)	Soil #	Moisture	Texture
1	1	2.681735	1.138263	7.787	210	810.0	800.8
					242	800.8	701.8
					243	800.8	800.8
1	2	218.210	58.725	4.210	210	811.3	800.8
				(Secondary)	227	812.7	810.0
					228	812.0	800.8
					229	814.1	811.1
2	2	1.181818	0.24233	3.105	81-A	815.5	810.3
				(Secondary)	82-A	814.0	810.3
					83-A	814.7	800.7
					85-1	813.1	800.9

NOTE: SEE SOUTH SHORE ESTATES SECOND FOR ADDITIONAL SOIL BORING DATA.

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED ELS# 41578
- ⊙ DENOTES ANOKA COUNTY CAST IRON MONUMENT
- ⊕ DENOTES EXISTING SPOT ELEVATION
- ⊙ DENOTES SOIL BORING (BY TRADEWALL SOIL TESTING)
- ⊙ DENOTES LIDAR CONTOURS
- ▨ DENOTES GRAVEL SURFACE
- ▨ DENOTES PROPOSED YARD AREA
- ▨ DENOTES PROPOSED SEPTIC AREA
- ▨ DENOTES AREA 1' AND/OR MORE



BENCHMARK
 ANOKA COUNTY 891: 3003
 ELEVATION 909.792
 DATUM: NAVD 88

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
 Date: 03/05/2026 License No. 41578

DESIGNER: JRM	DRAWN: JRM	DATE: 03/05/26
CHECK BY: JRM	FILED BY: JRM	
1 2/22/25	2 2/22/25	3 2/22/25
4 2/22/25	5 2/22/25	6 2/22/25
7 2/22/25	8 2/22/25	9 2/22/25
10 2/22/25	11 2/22/25	12 2/22/25

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

**PRELIMINARY COPY
UNRECORDED AS OF 3-05-26**

KNOW ALL PERSONS BY THESE PRESENTS: That MN Developments LLC, a Minnesota limited liability company, owner of the following described property:

That part of Government Lot 2 and Government Lot 3, Section 2, Township 32, Range 23, Anoka County, Minnesota, also being Lots 2, 3, 13, and 14, AUDITOR'S SUBDIVISION NO. 121, according to the recorded plat thereof, described as follows:

Beginning at the South Quarter corner of said Section 2, also being the Southeast corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121; thence South 87 degrees 30 minutes 25 seconds West, assumed bearing, along the South line of said Government Lot 3, also being the South line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 748.60 feet to the Southwest corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121; thence North 03 degrees 26 minutes 35 seconds West, along the West line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 180.00 feet; thence North 03 degrees 26 minutes 35 seconds West, along the East line of said Lot 11, AUDITOR'S SUBDIVISION NO. 121, a distance of 1423.64 feet to the Southwest corner of Lot 10, said AUDITOR'S SUBDIVISION NO. 121; thence North 89 degrees 44 minutes 41 seconds East, along the South line of Lots 10 and 11, said AUDITOR'S SUBDIVISION NO. 121, a distance of 180.00 feet; thence North 03 degrees 26 minutes 35 seconds West, along the East line of said Lot 11, AUDITOR'S SUBDIVISION NO. 121, a distance of 250.39 feet to the South line of Block 4, in the plat of COMFORT RESORT, Anoka County, Minnesota; thence North 89 degrees 44 minutes 41 seconds East, along said South line of Block 4, COMFORT RESORT, and its easterly extension, 111.15 feet to the Southeast corner of Lot 1, said AUDITOR'S SUBDIVISION NO. 121; thence North 03 degrees 26 minutes 35 seconds West, along the East line of said Lot 1, AUDITOR'S SUBDIVISION NO. 121, a distance of 125.19 feet to the Northeast corner of said Lot 1, AUDITOR'S SUBDIVISION NO. 121, also being the southerly right-of-way line of Interlachen Drive, as created and dedicated in said COMFORT RESORT; thence North 89 degrees 44 minutes 41 seconds East, along said southerly right-of-way line of Interlachen Drive, 50.09 feet; thence North 70 degrees 25 minutes 29 seconds East, continuing along said southerly right-of-way line of Interlachen Drive, 314.53 feet; thence North 77 degrees 05 minutes 26 seconds East, continuing along said southerly right-of-way line of Interlachen Drive, 220.83 feet to the Northwest corner of Lot 4, said AUDITOR'S SUBDIVISION NO. 121; thence South 11 degrees 24 minutes 49 seconds East, along the westerly line of said Lot 4, AUDITOR'S SUBDIVISION NO. 121, a distance of 126.00 feet to the Southwest corner of said Lot 4, AUDITOR'S SUBDIVISION NO. 121; thence North 77 degrees 22 minutes 12 seconds East, along the southerly line of said Lot 4, AUDITOR'S SUBDIVISION NO. 121, a distance of 233.00 feet; thence North 87 degrees 54 minutes 02 seconds East, along the South line of Lots 1, 2, 3, 4, 5, and 6, Block 3, said COMFORT RESORT, 300.00 feet to the Southwest corner of Lot 7, Block 3, said COMFORT RESORT; thence South 82 degrees 21 minutes 28 seconds East, along the southerly line of Lots 7, 8, and 9, Block 3, said COMFORT RESORT, 149.54 feet to the Southeast corner of said Lot 9, Block 3, COMFORT RESORT; thence North 17 degrees 06 minutes 42 seconds West, along the easterly line of said Lot 9, Block 3, COMFORT RESORT, a distance of 125.86 feet to the Northeast corner of said Lot 9, Block 3, COMFORT RESORT, also being said southerly right-of-way line of Interlachen Drive; thence South 82 degrees 25 minutes 58 seconds East, along said southerly right-of-way line of Interlachen Drive, 90.11 feet to the most easterly right-of-way line of said Interlachen Drive, also being the easterly right-of-way line of a 33.00 foot wide Road, as created and dedicated in said plat of COMFORT RESORT; thence North 10 degrees 33 minutes 04 seconds West, along said most easterly right-of-way line of said Interlachen Drive and said easterly right-of-way line of a 33.00 foot wide Road, 400 feet, more or less, to the shoreline of Coon Lake; thence easterly along said shoreline of Coon Lake to the East line of said Government Lot 2, also being the East line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, also being the West line of the plat of TRAILS END SHORES, Anoka County, Minnesota, as established by District Court File No. C3-99-2057; thence South 00 degrees 33 minutes 41 seconds East, along said East line of said Government Lot 2, also being said West line of TRAILS END SHORES, 2336.61 feet to the South line of said Government Lot 2, also being the South line of said Lot 14, said AUDITOR'S SUBDIVISION NO. 121; thence South 87 degrees 15 minutes 06 seconds West, along said South line of Government Lot 2, also being the South line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, a distance of 1343.65 feet to the point of beginning.

Has caused the same to be surveyed and platted as SOUTH SHORE ESTATES and does hereby dedicate to the public for public use the public way and the drainage and utility easements as shown on this plat.

In witness whereof said MN Developments LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this ____ day of _____, 20__.

MN DEVELOPMENTS LLC

Jeffrey A. Stalberger, Co-Administrator

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20__ by Jeffrey A. Stalberger, Co-Administrator of MN Developments LLC, a Minnesota limited liability company.

(Signature)

(Print Name)

Notary Public, _____ County, Minnesota
My Commission Expires _____

I, Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20__.

Jason E. Rud, Licensed Land Surveyor
Minnesota License No. 41578

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20__ by Jason E. Rud.

(Signature)

(Print Name)

Notary Public, _____ County, Minnesota
My Commission Expires _____

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA

This plat of SOUTH SHORE ESTATES was approved and accepted by the City Council of the City of Ham Lake, Minnesota as a regular meeting thereof held this ____ day of _____, 20__ and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

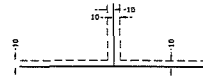
City Council, City of Ham Lake, Minnesota

By _____ Mayor By _____ Clerk

SOUTH SHORE ESTATES

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 2, T32N, R23W

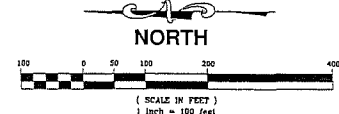
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, SIDE AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

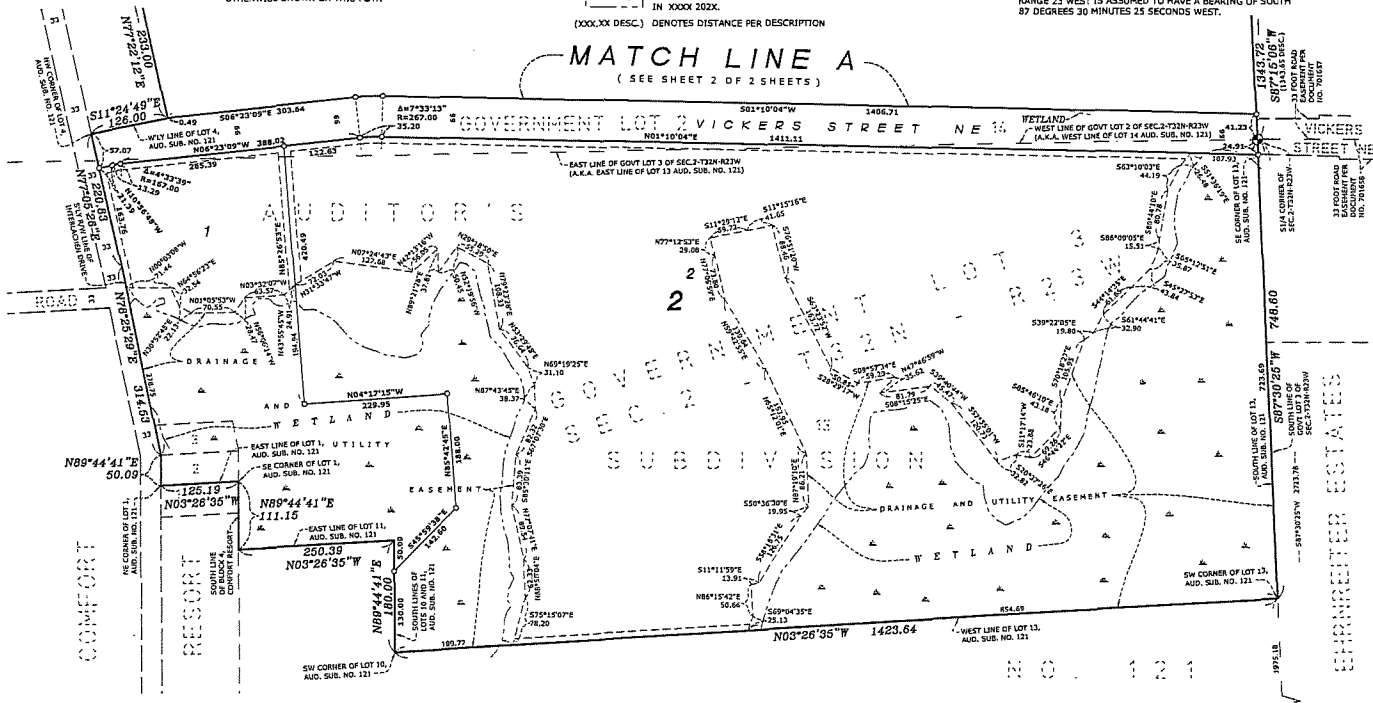
LEGEND

- DENOTES 1/2 INCH OPEN IRON PIPE MONUMENT FOUND, UNLESS OTHERWISE SHOWN
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578
- ◆ DENOTES ANOKA COUNTY CAST IRON MONUMENT, UNLESS OTHERWISE SHOWN
- ▬ DENOTES WETLAND EDGE AS DELINEATED BY KOLMAG ENVIRONMENTAL SERVICE COMPANY IN XXXX 20XX.
- (XXX.XX DESC.) DENOTES DISTANCE PER DESCRIPTION



FOR THE PURPOSES OF THIS PLAT, THE SOUTH LINE OF THE GOVERNMENT LOT 3 OF SECTION 02, TOWNSHIP 32 NORTH, RANGE 23 WEST IS ASSUMED TO HAVE A BEARING OF SOUTH 87 DEGREES 30 MINUTES 25 SECONDS WEST.

MATCH LINE A
(SEE SHEET 2 OF 2 SHEETS)



COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of _____, 20__.

David M. Ziegler
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20__ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ____ day of _____, 20__.

Property Tax Administrator

By _____ Deputy

COUNTY RECORDER/REGISTRAR OF TITLES
COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this plat of SOUTH SHORE ESTATES was filed in the office of the County Recorder/Registrar of Titles for public record on this ____ day of _____, 20__ at ____ o'clock ____ M., and was duly recorded as Document Number ____.

County Recorder/Registrar of Titles

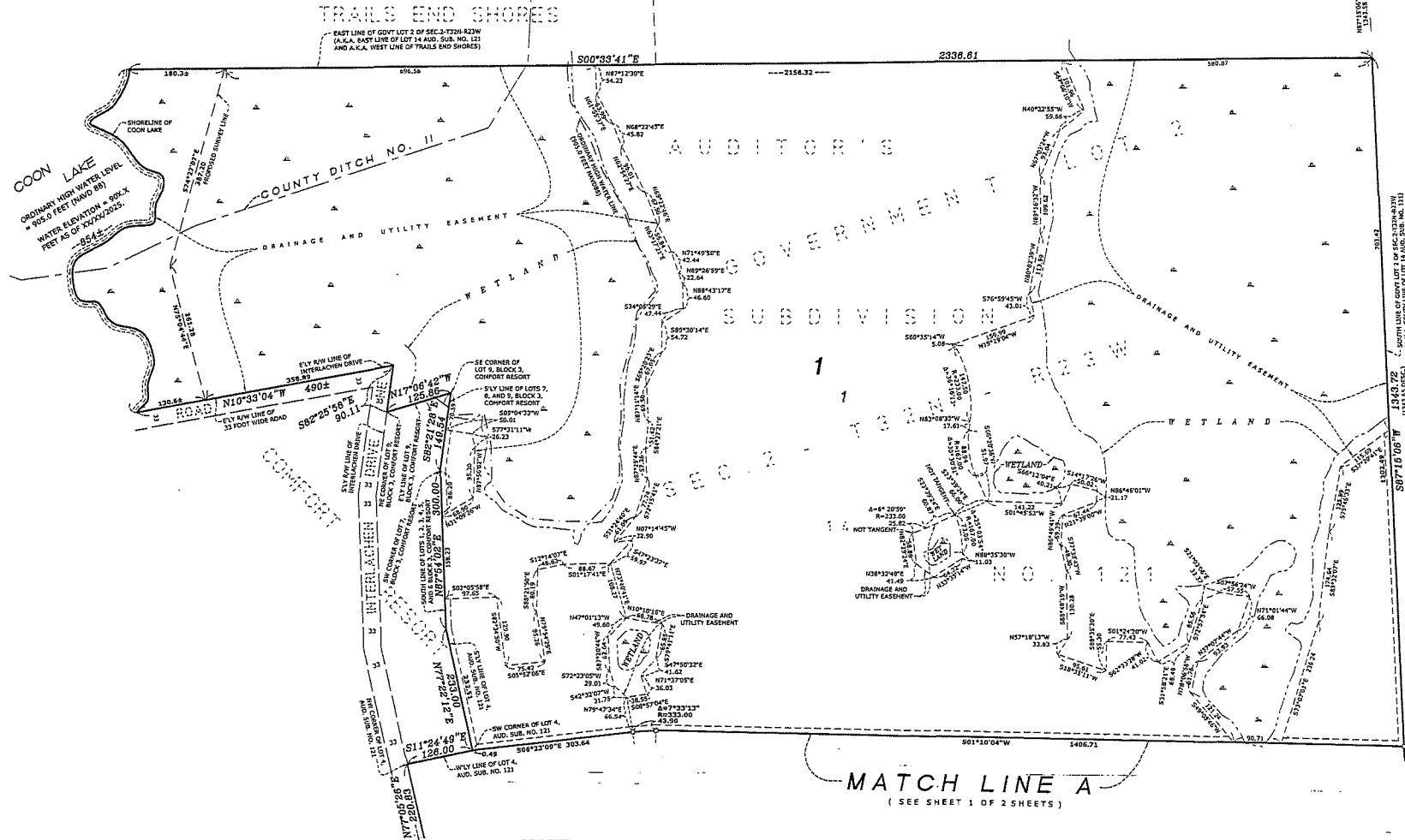
By _____ Deputy



PRELIMINARY COPY
UNRECORDED AS OF 03-05-26

SOUTH SHORE ESTATES

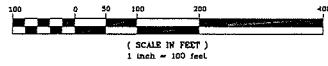
CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 2, T32N, R23W



LEGEND

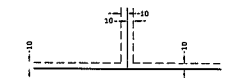
- DENOTES 1/2 INCH OPEN IRON PIPE MONUMENT FOUND, UNLESS OTHERWISE SHOWN
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578
- ◆ DENOTES ANOKA COUNTY CAST IRON MONUMENT, UNLESS OTHERWISE SHOWN
- DENOTES WETLAND EDGE AS DELINEATED BY KOLHAUG ENVIRONMENTAL SERVICE COMPANY IN XXXX 20XX

(XXX.XX DESC.) DENOTES DISTANCE PER DESCRIPTION



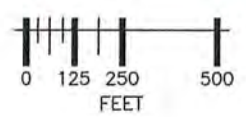
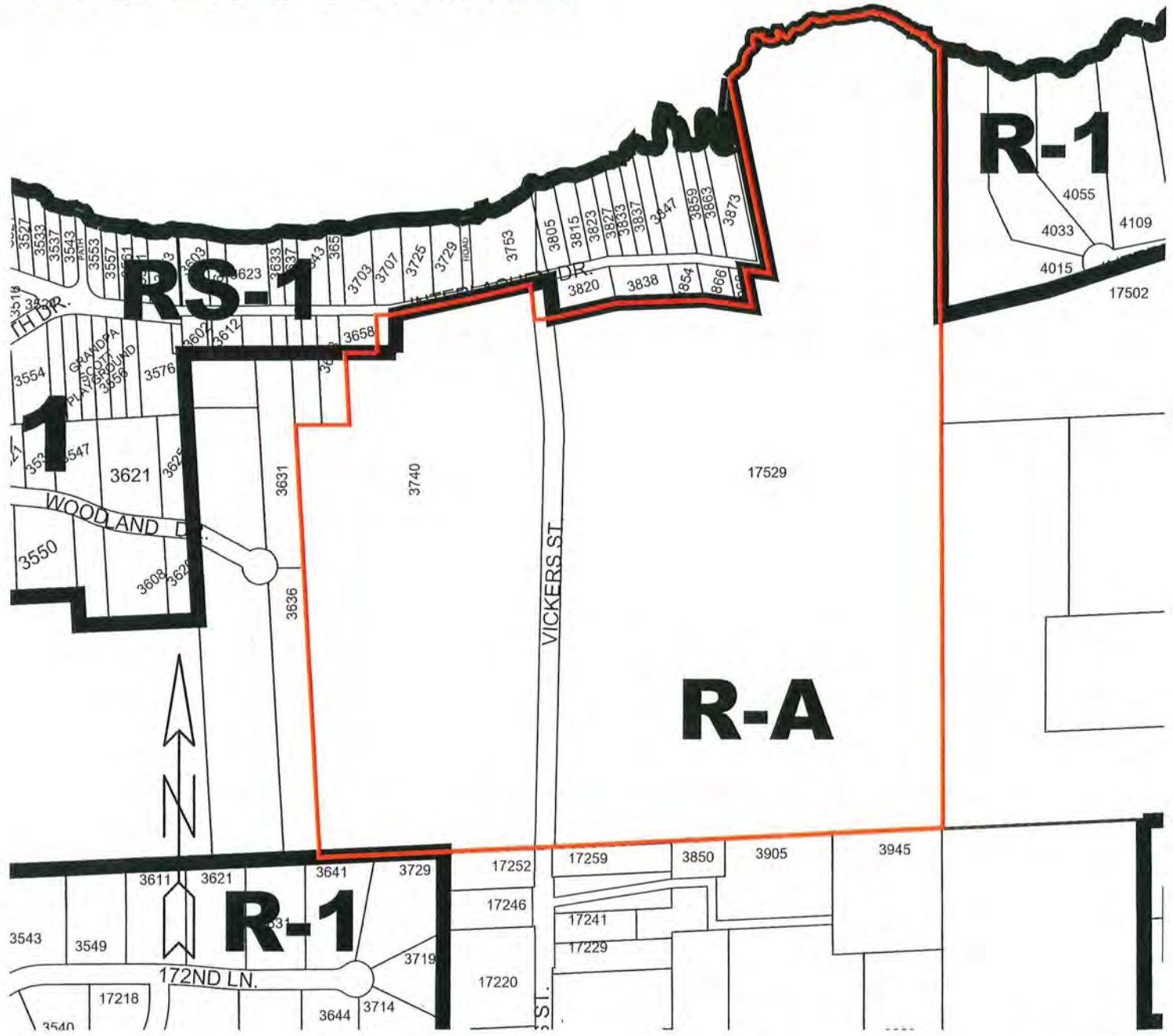
FOR THE PURPOSES OF THIS PLAY, THE SOUTH LINE OF THE GOVERNMENT LOT 3 OF SECTION 02, TOWNSHIP 32 NORTH, RANGE 23 WEST IS ASSUMED TO HAVE A BEARING OF SOUTH 87 DEGREES 30 MINUTES 25 SECONDS WEST.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, SIDE AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAY.

(1,259 ACRES) RURAL DEVELOPMENT) **COON LAKE**



SECTION 2, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11
NORTH HALF OF SECTION			
23	34	13	14
SOUTH HALF OF SECTION			
22	31	42	41

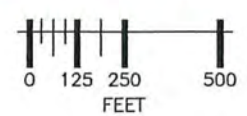
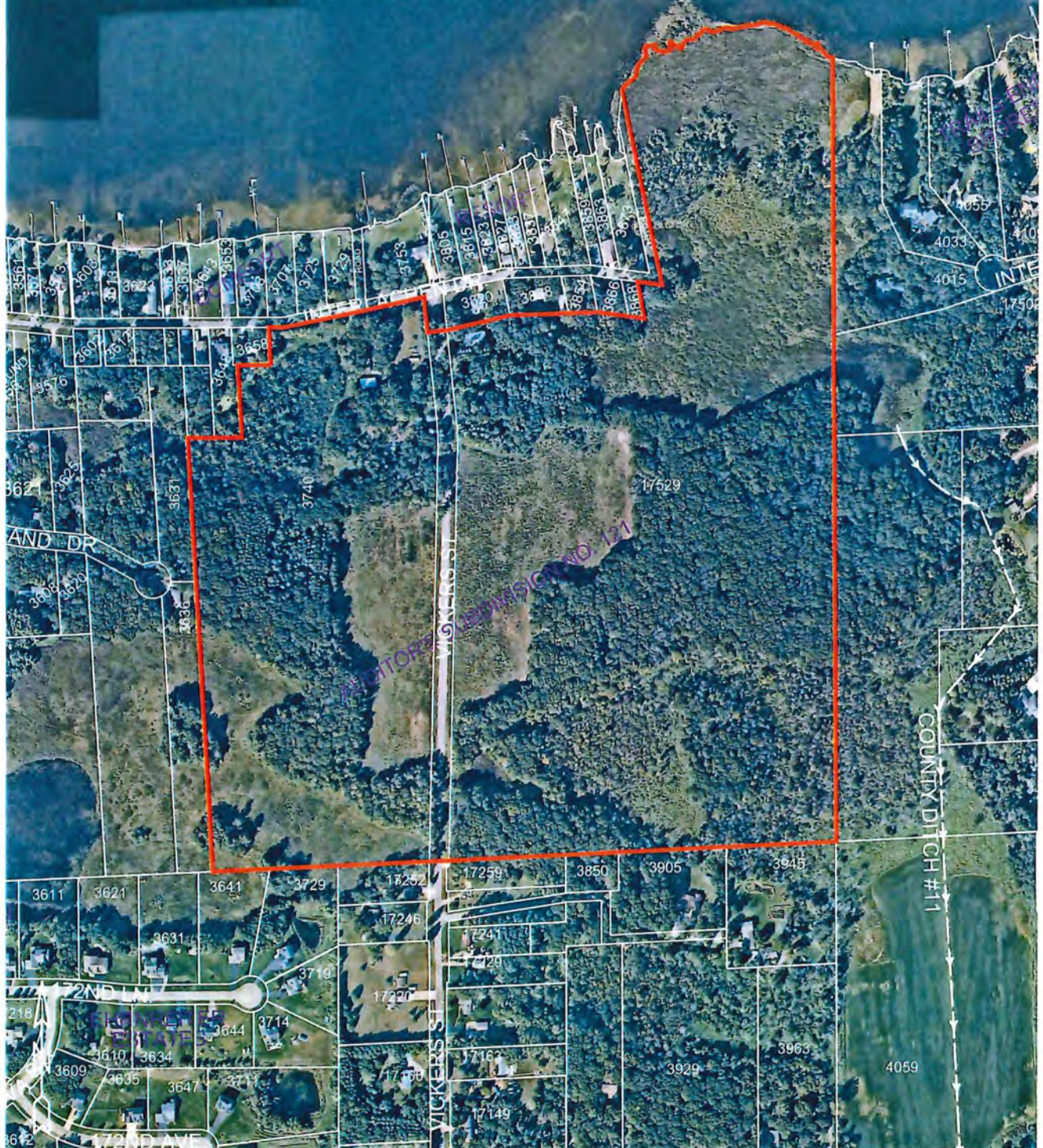
PROPERTY IDENTIFICATION NUMBER

Section	Township	Range	Quarter	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS (1)

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

259 ACRES) (L DEVELOPMENT) COON LAKE



**Tradewell Soil Testing
18330 Dahlia Street NW
Cedar, MN 55011
(763) 286-9095**

March 12th, 2026

RFC Engineering
13635 Johnson Street NE
Ham Lake, MN 55304

To whom it may concern:

As a licensed site evaluator who conducted the soil borings in South Shore Estates 1st Addition for Minnesota Developments, LLC, I found the following: Each boring has at least 12" of natural, undisturbed soil with no redox features (mottled soil). In order to design and install a standard soil treatment system according to MN Chapter 7080 Code, at least 12" of natural soil with no signs of redox (mottling) is required. Therefore, each of the proposed lots will support 2 "standard" septic systems within the 7,500 square feet septic area as shown on the Grading Plan.

Sincerely,



Mark Tradewell
MPCA #307



PLANNING REQUEST

CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 10/21/2025 Date of Receipt _____

Receipt # _____ Amount \$ _____

Meeting Appearance Dates:
Planning Commission 3/23/2026 City Council 4/6/2026

Please check request(s):

- | | |
|--|---|
| <input type="checkbox"/> Metes & Bounds Conveyance | <input type="checkbox"/> Commercial Building Permit |
| <input type="checkbox"/> Sketch Plan | <input type="checkbox"/> Certificate of Occupancy |
| <input checked="" type="checkbox"/> Preliminary Plat Approval* | <input type="checkbox"/> Home Occupation Permit |
| <input type="checkbox"/> Final Plat Approval | <input type="checkbox"/> Conditional Use Permit (New)* |
| <input checked="" type="checkbox"/> Rezoning* | <input type="checkbox"/> Conditional Use Permit (Renewal) |
| <input type="checkbox"/> Multiple Dog License* | <input type="checkbox"/> Other _____ |

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: South Shores Estates Second Addition

Address/Location of property: 3740 Interlachen Drive NE & 17529 Vickers St NE

Legal Description of property: Lot 1 of Block 1 and Lot 2 of Block 2 South Shores Estates minor plat & 02-32-23-44-0005

PIN # 02-32-23-43-0001 & 02-32-23-34-0018 Current Zoning R-A Proposed Zoning R-1

Notes: Rezoning via minor plat. Application for 41 lot residential development

Applicant's Name: Jeffrey A Stalberger

Business Name: MN Developments LLC

Address 3399 185th Lane NE

City East Bethel State MN Zip Code 55092

Phone 612-799-1471 Cell Phone 612-799-1471 Fax _____

Email address: _____

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE Jeffrey Stalberger DATE 10/23/25

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____ PROPERTY TAXES CURRENT YES NO
City Council _____ Any Active/Deferred Assessments YES NO

**NOTICE TO ALL APPLICANTS FOR MUNICIPAL
PERMITS, LICENSES,
OR OTHER MUNICIPAL ACTION**

- 1. If you are requesting municipal action on any request for any of the above, you will be required to furnish certain information about yourself, the project you are involved in, or other matters pertaining to the subject. Some of the information you are asked to provide is classified by state law as either private or confidential. Private data is information which generally cannot be given to the public but can be given to the subject of the data. Confidential data is information which generally cannot be given to either the public or the subject of the data.***
- 2. The purpose of this information is to enable the City Staff, Commissions, Council or other government agencies to evaluate relevant factors in considering your request. You are not legally required to provide this information. If you do not provide the requested information, the City may not act upon your request.***
- 3. The information you supply will be public and available to any entity requesting to inspect the information.***

**DATA PRACTICES ADVISORY
TENNESSEN WARNING
REQUIRED BY MINNESOTA STATUTES CHAPTER 13.04**

SIGNED BY _____

Authentisign
Jeffrey Stalberger

COMPANY/TITLE: _____

Co-administrator MN Developments LLC

DATE: _____


10/23/25

CITY OF HAM LAKE ACKNOWLEDGMENT OF RESPONSIBILITY TO REIMBURSE EXPENSES

The undersigned, Jeffrey A Stalberger, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:
Residential 41 lot development

Type of Application

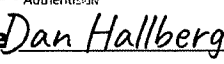
acknowledges that the sum of \$ _____, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

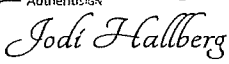
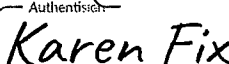

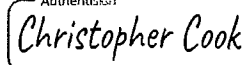

Applicant Signature  Dated 10/23/25

The following statement must be signed if the applicant is not the property owner:

multiple owners, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

I am aware of the application being submitted by the applicant and approve the request.  10/23/25  10/23/25  10/23/25

Property Owner Signature  10/23/25 Dated _____

 10/22/25  10/22/25  10/23/25
 10/23/25  10/23/25

ORDINANCE NO. 26-XX

AN ORDINANCE AMENDING A PORTION OF CHAPTER 9 OF THE CITY OF HAM LAKE, COUNTY OF ANOKA, STATE OF MINNESOTA.

The City Council of the City of Ham Lake does hereby ordain as follows, pursuant to Article 9 of the Ham Lake City Code.

That the zoning classification for the following described property situated in the City of Ham Lake, Anoka County, Minnesota is hereby designated from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) for the South Shore Estates Second Addition in Section 2.

That part of Government Lot 2, Section 2, Township 32, Range 23, Anoka County, Minnesota, also being Lot 14, AUDITOR'S SUBDIVISION NO. 121, according to the recorded plat thereof, described as follows:

Commencing at the South Quarter corner of said Section 2, also being the Southwest corner of said Lot 14, AUDITOR'S SUBDIVISION NO. 121; thence North 87 degrees 15 minutes 06 seconds East, assumed bearing, along the South line of said Government Lot 2, also being the South line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, a distance of 41.23 feet to the point of beginning of the parcel to be described; thence North 01 degree 10 minutes 04 seconds East a distance of 1406.71 feet; thence northerly a distance of 43.90 feet along a tangential curve concave to the west having a radius of 333.00 feet and a central angle of 7 degrees 33 minutes 13 seconds; thence North 06 degrees 23 minutes 09 seconds West, tangent to said curve, a distance of 303.64 feet to the southerly line of Lot 4, said AUDITOR'S SUBDIVISION NO. 121; thence North 77 degrees 22 minutes 12 seconds East, along said southerly line of Lot 4, AUDITOR'S SUBDIVISION NO. 121, a distance of 232.51 feet; thence North 87 degrees 54 minutes 02 seconds East, along the South line of Lots 1, 2, 3, 4, 5, and 6, Block 3, COMFORT RESORT, Anoka County, Minnesota, 300.00 feet to the Southwest corner of Lot 7, Block 3, said COMFORT RESORT; thence South 82 degrees 21 minutes 28 seconds East, along the southerly line of Lots 7, 8, and 9, Block 3, said COMFORT RESORT, 149.54 feet to the Southeast corner of said Lot 9, Block 3, COMFORT RESORT; thence North 17 degrees 06 minutes 42 seconds West, along the easterly line of said Lot 9, Block 3, COMFORT RESORT, a distance of 125.86 feet to the Northeast corner of said Lot 9, Block 3, COMFORT RESORT, also being the southerly right-of-way line of Interlachen Drive as created and dedicated in said COMFORT RESORT; thence South 82 degrees 25 minutes 58 seconds East, along said southerly right-of-way-line of Interlachen Drive, 90.11 feet to the most easterly right-of-way line of said Interlachen Drive, also being the easterly right-of-way-line of a 33.00 foot wide Road, as created and dedicated in said plat of COMFORT RESORT; thence North 10 degrees 33 minutes 04 seconds West, along said most easterly right-of-way line of said Interlachen Drive and said easterly right-of-way line of a 33.00 foot wide Road, 490 feet, more or less, to the shoreline of Coon Lake; thence easterly along said shoreline of Coon Lake to the East line of said Government Lot 2, also being the East line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, also being the West line of the plat of TRAILS END SHORES, Anoka County, Minnesota, as established by District Court File No. C3-99-2057; thence South 00 degrees 33 minutes 41 seconds East, along said East line of said Government Lot 2, also being said West line of TRAILS END SHORES, 2336.61 feet to the South line of said Government Lot 2, also being the South line of said Lot 14, said AUDITOR'S

SUBDIVISION NO. 121: thence South 87 degrees 15 minutes 06 seconds West, along said South line of Government Lot 2, also being the South line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, a distance of 1302.49 feet to the point of beginning.

AND

That part of Government Lot 2 and Government Lot 3, Section 2, Township 32, Range 23, Anoka County, Minnesota, also being Lots 13, and 14, AUDITOR'S SUBDIVISION NO. 121, according to the recorded plat thereof, described as follows:

Commencing at the South Quarter corner of said Section 2, also being the Southeast corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121; thence South 87 degrees 30 minutes 25 seconds West, assumed bearing, along the South line of said Government Lot 3, also being the South line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 24.91 feet to the point of beginning of the parcel to be described; thence continuing South 87 degrees 30 minutes 25 seconds West, along said south line, a distance of 723.69 feet to the Southwest corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121; thence North 03 degrees 26 minutes 35 seconds West, along the West line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 1423.64 feet to the Southwest corner of Lot 10, said AUDITOR'S SUBDIVISION NO. 121; thence North 89 degrees 44 minutes 41 seconds East, along the South line of Lots 10 and 11, said AUDITOR'S SUBDIVISION NO. 121, a distance of 130.00 feet; thence South 45 degrees 59 minutes 38 seconds East a distance of 142.60 feet; thence North 85 degrees 42 minutes 45 seconds East a distance of 188.00 feet; thence North 4 degrees 17 minutes 15 seconds West a distance of 229.95 feet; thence North 85 degrees 26 minutes 53 seconds East a distance of 420.49 feet; thence South 06 degrees 23 minutes 09 seconds East a distance of 122.63 feet; thence southerly a distance of 35.20 feet along a tangential curve concave to the west having a radius of 267.00 feet and a central angle of 7 degrees 33 minutes 13 seconds; thence South 01 degree 10 minutes 04 seconds West, tangent to said curve, a distance of 1411.11 feet to said point of beginning.

AND

The SE 1/4 of SE 1/4 less the North 660 feet of the East 923.5 feet thereof as measured along the North and East lines of the SE 1/4 of the SE 1/4 Section 2, Township 32, Range 23

AND

A private road easement over the North 30 feet of the East 923.5 feet as measured along the North line of the SE 1/4 of SE 1/4 Section 2, Township 32, Range 23.

AND

A private road easement over the West 60 feet of Westerly 890 feet of Government Lot 1, lying South of that part of said Government Lot in plat of Oakleaf Shores, Township 32, Range 23.

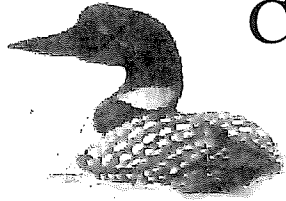
EXCEPT

That part of the East 1000.00 feet of the Southeast Quarter of the Southeast Quarter of Section 2, Township 32, Range 23, Anoka County, Minnesota as measured along the North line thereof, lying South of the North 660.00 feet thereof, as measure along the East line thereof, and lying North of the South 300.00 feet thereof, as measured along the East line thereof, Anoka County, Minnesota.

Presented to the Ham Lake City Council on April 6, 2026 and adopted by a unanimous vote this ____ day of _____, 2026.

Brian Kirkham, Mayor

Denise Webster, City Clerk



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
info@ci.ham-lake.mn.us

NOTICE OF PUBLIC HEARING
CITY OF HAM LAKE
COUNTY OF ANOKA
STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, March 23, 2026 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Jeffrey A. Stalberger of MN Developments LLC, requesting preliminary plat approval and rezoning of the plat of South Shore Estates Second Addition from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) in Section 2, a parcel of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

That part of Government Lot 2, Section 2, Township 32, Range 23, Anoka County, Minnesota, also being Lot 14, AUDITOR'S SUBDIVISION NO. 121, according to the recorded plat thereof, described as follows:

Commencing at the South Quarter corner of said Section 2, also being the Southwest corner of said Lot 14, AUDITOR'S SUBDIVISION NO. 121; thence North 87 degrees 15 minutes 06 seconds East, assumed bearing, along the South line of said Government Lot 2, also being the South line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, a distance of 41.23 feet to the point of beginning of the parcel to be described; thence North 01 degree 10 minutes 04 seconds East a distance of 1406.71 feet; thence northerly a distance of 43.90 feet along a tangential curve concave to the west having a radius of 333.00 feet and a central angle of 7 degrees 33 minutes 13 seconds; thence North 06 degrees 23 minutes 09 seconds West, tangent to said curve, a distance of 303.64 feet to the southerly line of Lot 4, said AUDITOR'S SUBDIVISION NO. 121; thence North 77 degrees 22 minutes 12 seconds East, along said southerly line of Lot 4, AUDITOR'S SUBDIVISION NO. 121, a distance of 232.51 feet; thence North 87 degrees 54 minutes 02 seconds East, along the South line of Lots 1, 2, 3, 4, 5, and 6, Block 3, COMFORT RESORT, Anoka County, Minnesota, 300.00 feet to the Southwest corner of Lot 7, Block 3, said COMFORT RESORT; thence South 82 degrees 21 minutes 28 seconds East, along the southerly line of Lots 7, 8, and 9, Block 3, said COMFORT RESORT, 149.54 feet to the Southeast corner of said Lot 9, Block 3, COMFORT RESORT; thence North 17 degrees 06 minutes 42 seconds West, along the easterly line of said Lot 9, Block 3, COMFORT RESORT, a distance of 125.86 feet to the Northeast corner of said Lot 9, Block 3, COMFORT RESORT, also being the southerly

right-of-way line of Interlachen Drive as created and dedicated in said COMFORT RESORT; thence South 82 degrees 25 minutes 58 seconds East, along said southerly right-of-way-line of Interlachen Drive, 90.11 feet to the most easterly right-of-way line of said Interlachen Drive, also being the easterly right-of-way-line of a 33.00 foot wide Road, as created and dedicated in said plat of COMFORT RESORT; thence North 10 degrees 33 minutes 04 seconds West, along said most easterly right-of-way line of said Interlachen Drive and said easterly right-of-way line of a 33.00 foot wide Road, 490 feet, more or less, to the shoreline of Coon Lake; thence easterly along said shoreline of Coon Lake to the East line of said Government Lot 2, also being the East line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, also being the West line of the plat of TRAILS END SHORES, Anoka County, Minnesota, as established by District Court File No. C3-99-2057; thence South 00 degrees 33 minutes 41 seconds East, along said East line of said Government Lot 2, also being said West line of TRAILS END SHORES, 2336.61 feet to the South line of said Government Lot 2, also being the South line of said Lot 14, said AUDITOR'S SUBDIVISION NO. 121: thence South 87 degrees 15 minutes 06 seconds West, along said South line of Government Lot 2, also being the South line of said Lot 14, AUDITOR'S SUBDIVISION NO. 121, a distance of 1302.49 feet to the point of beginning.

AND

That part of Government Lot 2 and Government Lot 3, Section 2, Township 32, Range 23, Anoka County, Minnesota, also being Lots 13, and 14, AUDITOR'S SUBDIVISION NO. 121, according to the recorded plat thereof, described as follows:

Commencing at the South Quarter corner of said Section 2, also being the Southeast corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121; thence South 87 degrees 30 minutes 25 seconds West, assumed bearing, along the South line of said Government Lot 3, also being the South line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 24.91 feet to the point of beginning of the parcel to be described; thence continuing South 87 degrees 30 minutes 25 seconds West, along said south line, a distance of 723.69 feet to the Southwest corner of said Lot 13, AUDITOR'S SUBDIVISION NO. 121; thence North 03 degrees 26 minutes 35 seconds West, along the West line of said Lot 13, AUDITOR'S SUBDIVISION NO. 121, a distance of 1423.64 feet to the Southwest corner of Lot 10, said AUDITOR'S SUBDIVISION NO. 121; thence North 89 degrees 44 minutes 41 seconds East, along the South line of Lots 10 and 11, said AUDITOR'S SUBDIVISION NO. 121, a distance of 130.00 feet; thence South 45 degrees 59 minutes 38 seconds East a distance of 142.60 feet; thence North 85 degrees 42 minutes 45 seconds East a distance of 188.00 feet; thence North 4 degrees 17 minutes 15 seconds West a distance of 229.95 feet; thence North 85 degrees 26 minutes 53 seconds East a distance of 420.49 feet; thence South 06 degrees 23 minutes 09 seconds East a distance of 122.63 feet; thence southerly a distance of 35.20 feet along a tangential curve concave to the west having a radius of 267.00 feet and a central angle of 7 degrees 33 minutes 13 seconds; thence South 01 degree 10 minutes 04 seconds West, tangent to said curve, a distance of 1411.11 feet to said point of beginning.

AND

The SE 1/4 of SE 1/4 less the North 660 feet of the East 923.5 feet thereof as measured along the North and East lines of the SE 1/4 of the SE 1/4 Section 2, Township 32, Range 23

AND

A private road easement over the North 30 feet of the East 923.5 feet as measured along the North line of the SE 1/4 of SE 1/4 Section 2, Township 32, Range 23.

AND

A private road easement over the West 60 feet of Westerly 890 feet of Government Lot 1, lying South of that part of said Government Lot in plat of Oakleaf Shores, Township 32, Range 23.

EXCEPT

That part of the East 1000.00 feet of the Southeast Quarter of the Southeast Quarter of Section 2, Township 32, Range 23, Anoka County, Minnesota as measured along the North line thereof, lying South of the North 660.00 feet thereof, as measure along the East line thereof, and lying North of the South 300.00 feet thereof, as measured along the East line thereof, Anoka County, Minnesota.

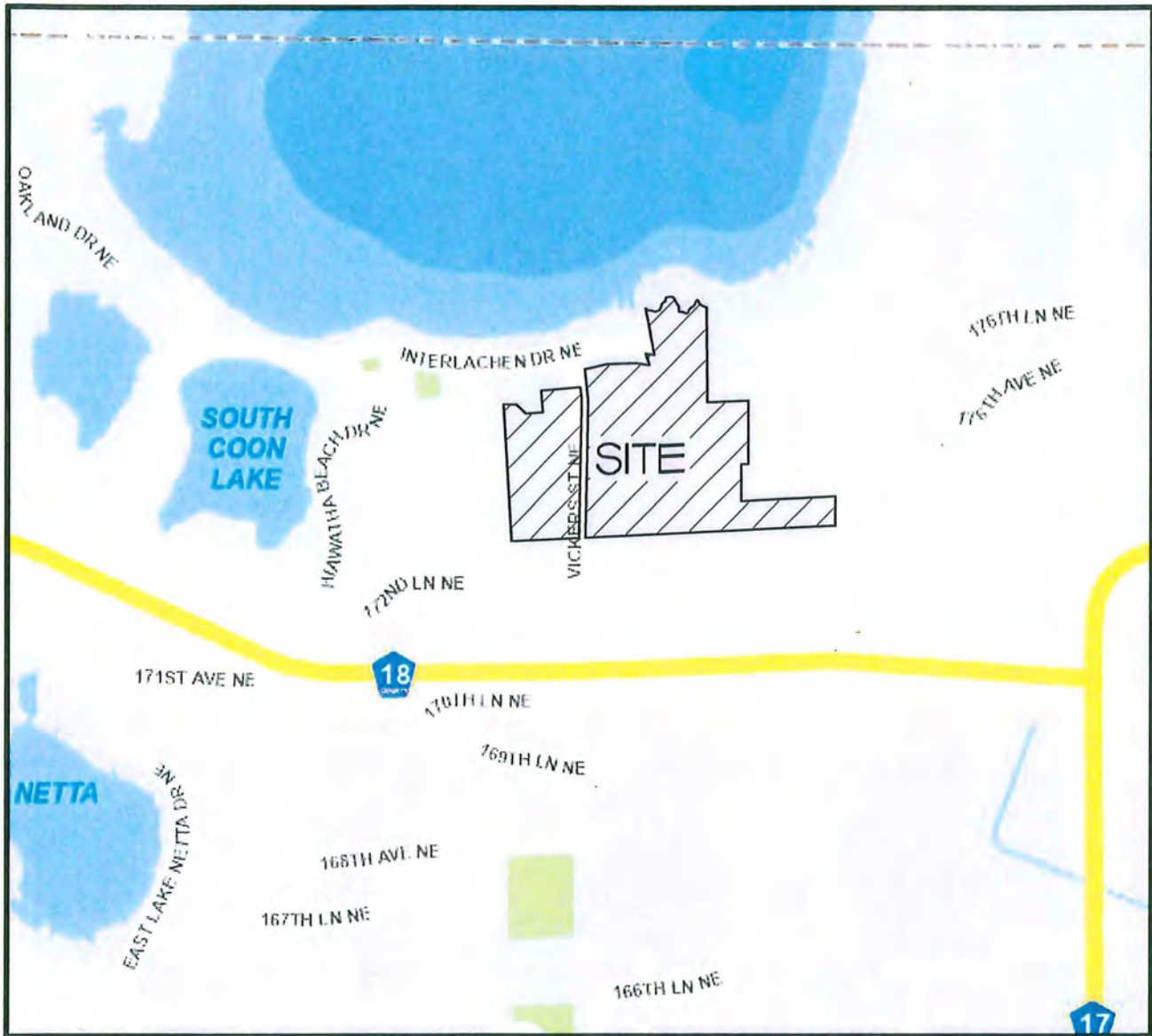
At such hearing both written and oral comments will be heard.

DATED: March 12, 2026

Dawnette Shimek
Deputy City Clerk
City of Ham Lake

VICINITY MAP

PART OF SEC. 2, TWP. 32, RNG. 23



South Shore Estates Second Addition
40 Single Family Residential Lots and ~~3~~ 2 Outlots

↑ North

2

ALBRIGHT, BRIAN
PIN: 02-32-23-44-0004
17380 DURANT ST NE
HAM LAKE, MN 55304

ARONSON, BRIAN
PIN: 02-32-23-31-0061
3703 INTERLACHEN DR NE
HAM LAKE, MN 55304

ARONSON, CAITLIN
PIN: 02-32-23-42-0010
3859 INTERLACHEN DR NE
HAM LAKE, MN 55304

BERG STEVEN L & BONNIE M
PIN: 11-32-23-12-0024
3841 CROSSTOWN BLVD NE
HAM LAKE, MN 55304

BRUHN-DING, BARBARA J
PIN: 02-32-23-41-0017
4055 INTERLACHEN DR NE
HAM LAKE, MN 55304

COLBURN RICHARD H
PIN: 02-32-23-42-0024
3838 INTERLACHEN DR NE
HAM LAKE, MN 55304

CULLEN DAVID C
PIN: 02-32-23-42-0012
3873 INTERLACHEN DR NE
HAM LAKE, MN 55304

DAWSON, THOMAS J
PIN: 11-32-23-12-0030
17241 VICKERS ST NE
HAM LAKE, MN 55304

DREWS DANIEL
PIN: 02-32-23-31-0056
3648 INTERLACHEN DR NE
HAM LAKE, MN 55304

ERICKSON, ANDREA
PIN: 11-32-23-12-0007
3855 172ND LN NE
HAM LAKE, MN 55304

FIRST FIDUCIARY CORPORATION,
TRUSTEE
PIN: 02-32-23-44-0005
4120 LEXINGTON WAY
EAGAN, MN 55123

GILBERT, JENNIFER
PIN: 02-32-23-41-0023
4015 INTERLACHEN DR NE
HAM LAKE, MN 55304

GRAVES, NICHOLAS GARRET
PIN: 02-32-23-42-0004
3833 INTERLACHEN DR NE
HAM LAKE, MN 55304

GREENER, TERRY N
PIN: 11-32-23-12-0002
17259 VICKERS ST NE
HAM LAKE, MN 55304

HALLBERG, DANIEL D
PIN: 02-32-23-42-0025
3753 INTERLACHEN DR NE
HAM LAKE, MN 55304

HENDERSON SANDRA N
PIN: 02-32-23-42-0027
3854 INTERLACHEN DR NE
HAM LAKE, MN 55304

HOFFMAN TRUSTEE, WARREN A
PIN: 01-32-23-33-0007
15740 LEXINGTON AVE NE
HAM LAKE, MN 55304

HOFFMANN COREY
PIN: 11-32-23-11-0011
17208 DURANT ST NE
HAM LAKE, MN 55304

HUEBSCHER, JAMI
PIN: 02-32-23-42-0028
3866 INTERLACHEN DR NE
HAM LAKE, MN 55304

HYLLE MARK A & CARLA J
PIN: 02-32-23-42-0006
3827 INTERLACHEN DR NE
HAM LAKE, MN 55304

JANET J DAUN LIVING TRUST
PIN: 02-32-23-34-0020
3631 WOODLAND DR NE
HAM LAKE, MN 55304

JOHANNES, RICHARD
PIN: 02-32-23-42-0009
3847 INTERLACHEN DR NE
HAM LAKE, MN 55304

JOHNSON, GAYLE M
PIN: 02-32-23-42-0023
3815 INTERLACHEN DR NE
HAM LAKE, MN 55304

KAROL RENAE
PIN: 02-32-23-31-0048
PO BOX 32025
MINNEAPOLIS, MN 55432

KOEHLER MICHAEL NEIL
PIN: 11-32-23-12-0005
17229 VICKERS ST NE
HAM LAKE, MN 55304

KRATZKE KARL
PIN: 11-32-23-21-0020
3719 172ND LN NE
HAM LAKE, MN 55304

KUNCHIER, JONATHAN MICHAEL
PIN: 11-32-23-12-0025
3929 CROSSTOWN BLVD NE
HAM LAKE, MN 55304

KUNSHIER WARREN E & CHERYL
PIN: 11-32-23-12-0023
3945 172ND LN NE
HAM LAKE, MN 55304

LEEBENS ROBERT J & LORALEE A
PIN: 02-32-23-42-0022
3823 INTERLACHEN DR NE
HAM LAKE, MN 55304

LUSTHOFF WAYNE W & SANDRA L
PIN: 02-32-23-31-0013
3643 INTERLACHEN DR NE
ANOKA, MN 55304

MILLER, TARA H
PIN: 02-32-23-42-0011
3863 INTERLACHEN DR NE
HAM LAKE, MN 55304

NEUBERGER, JENNA K
PIN: 11-32-23-21-0021
3729 172ND LN NE
HAM LAKE, MN 55304

OLESEN, TIMOTHY S
PIN: 02-32-23-44-0003
17440 DURANT ST NE
HAM LAKE, MN 55304

OLSEN, TERRI L
PIN: 11-32-23-21-0022
3641 172ND LN NE
HAM LAKE, MN 55304

PECK, LEIGHTON L
PIN: 11-32-23-11-0010
17242 DURANT ST NE
HAM LAKE, MN 55304

PETERSON RANDY & KATHLEEN
PIN: 02-32-23-31-0010
3623 INTERLACHEN DR
HAM LAKE, MN 55304

PETRY, STEVEN J
PIN: 02-32-23-31-0012
3633 INTERLACHEN DR NE
HAM LAKE, MN 55304

RABE, BRIAN
PIN: 02-32-23-31-0014
3653 INTERLACHEN DR NE
HAM LAKE, MN 55304

RHEA CO
PIN: 02-32-23-31-0053
12590 SCHARBER ST
ROGERS, MN 55374

ROONEY JAMES H & LINDA
PIN: 11-32-23-21-0002
17246 VICKERS ST NE
HAM LAKE, MN 55304

ROSENCRANTZ, SHERI L & TODD
PIN: 02-32-23-31-0054
3612 INTERLACHEN DR NE
HAM LAKE, MN 55304

RUUD, SHERRIE
PIN: 02-32-23-31-0050
3805 INTERLACHEN DR NE
HAM LAKE, MN 55304

SANFT CARLY
PIN: 11-32-23-12-0010
3905 172ND LN NE
HAM LAKE, MN 55304

SCHARBER TRUSTEE JENNIFER SUE
PIN: 02-32-23-31-0051
8585 YELLOWSTONE LN N
MAPLE GROVE, MN 55311

SCHMIDTZ, ALLEN J
PIN: 02-32-23-42-0001
3820 INTERLACHEN DR NE
HAM LAKE, MN 55304

SCHULTZ, PAUL
PIN: 02-32-23-41-0001
4110 INTERLACHEN DR NE
ANDOVER, MN 55304

SCHWARTZ, JUDY J
PIN: 11-32-23-21-0006
17220 VICKERS ST NE
HAM LAKE, MN 55304

SMITH DAVID L
PIN: 11-32-23-12-0029
3850 172ND LN NE
HAM LAKE, MN 55304

SMITH, JONAH S
PIN: 02-32-23-34-0021
3621 WOODLAND DR NE
HAM LAKE, MN 55304

SPINLER, PAUL W
PIN: 11-32-23-21-0024
3621 172ND LN NE
ANDOVER, MN 55304

STADLER SEAN
PIN: 02-32-23-31-0058
3637 INTERLACHEN DR NE
HAM LAKE, MN 55304

STEUCK, RICHARD G
PIN: 02-32-23-34-0019
3636 WOODLAND DR NE
HAM LAKE, MN 55304

STONE BRADLEY D & JENNIFER A
PIN: 02-32-23-41-0016
4033 INTERLACHEN DR NE
HAM LAKE, MN 55304

TAIT, LAURA
PIN: 11-32-23-21-0023
3631 172ND LN NE
HAM LAKE, MN 55304

THOMPSON, JERRY GENE
PIN: 11-32-23-11-0003
21229 TOLLHOUSE ROAD
CLOVIS, CA 93619

TJB LAND LLC
PIN: 02-32-23-42-0008
9100 BALTIMORE ST NE STE 102
BLAINE, MN 55449

WAWERS, CAROL
PIN: 11-32-23-21-0003
17256 VICKERS ST NE
HAM LAKE, MN 55304

ZWEIG, ZACHARY D
PIN: 02-32-23-31-0059
3658 INTERLACHEN DR NE
HAM LAKE, MN 55304

ALBRIGHT, BRIAN	PIN: 02-32-23-44-0004	17380 DURANT ST NE	HAM LAKE, MN 55304
ARONSON, BRIAN	PIN: 02-32-23-31-0061	3703 INTERLACHEN DR NE	HAM LAKE, MN 55304
ARONSON, CAITLIN	PIN: 02-32-23-42-0010	3859 INTERLACHEN DR NE	HAM LAKE, MN 55304
BERG STEVEN L & BONNIE M	PIN: 11-32-23-12-0024	3841 CROSSTOWN BLVD NE	HAM LAKE, MN 55304
BRUHN-DING, BARBARA J	PIN: 02-32-23-41-0017	4055 INTERLACHEN DR NE	HAM LAKE, MN 55304
COLBURN RICHARD H	PIN: 02-32-23-42-0024	3838 INTERLACHEN DR NE	HAM LAKE, MN 55304
CULLEN DAVID C	PIN: 02-32-23-42-0012	3873 INTERLACHEN DR NE	HAM LAKE, MN 55304
DAWSON, THOMAS J	PIN: 11-32-23-12-0030	17241 VICKERS ST NE	HAM LAKE, MN 55304
DREWS DANIEL	PIN: 02-32-23-31-0056	3648 INTERLACHEN DR NE	HAM LAKE, MN 55304
ERICKSON, ANDREA	PIN: 11-32-23-12-0007	3855 172ND LN NE	HAM LAKE, MN 55304
FIRST FIDUCIARY CORPORATION, TRUSTEE	PIN: 02-32-23-44-0005	4120 LEXINGTON WAY	EAGAN, MN 55123
GILBERT, JENNIFER	PIN: 02-32-23-41-0023	4015 INTERLACHEN DR NE	HAM LAKE, MN 55304
GRAVES, NICHOLAS GARRET	PIN: 02-32-23-42-0004	3833 INTERLACHEN DR NE	HAM LAKE, MN 55304
GREENER, TERRY N	PIN: 11-32-23-12-0002	17259 VICKERS ST NE	HAM LAKE, MN 55304
HALLBERG, DANIEL D	PIN: 02-32-23-42-0025	3753 INTERLACHEN DR NE	HAM LAKE, MN 55304
HENDERSON SANDRA N	PIN: 02-32-23-42-0027	3854 INTERLACHEN DR NE	HAM LAKE, MN 55304
HOFFMAN TRUSTEE, WARREN A	PIN: 01-32-23-33-0007	15740 LEXINGTON AVE NE	HAM LAKE, MN 55304
HOFFMANN COREY	PIN: 11-32-23-11-0011	17208 DURANT ST NE	HAM LAKE, MN 55304
HUEBSCHER, JAMI	PIN: 02-32-23-42-0028	3866 INTERLACHEN DR NE	HAM LAKE, MN 55304
HYLLE MARK A & CARLA J	PIN: 02-32-23-42-0006	3827 INTERLACHEN DR NE	HAM LAKE, MN 55304
JANET J DAUN LIVING TRUST	PIN: 02-32-23-34-0020	3631 WOODLAND DR NE	HAM LAKE, MN 55304
JOHANNES, RICHARD	PIN: 02-32-23-42-0009	3847 INTERLACHEN DR NE	HAM LAKE, MN 55304
JOHNSON, GAYLE M	PIN: 02-32-23-42-0023	3815 INTERLACHEN DR NE	HAM LAKE, MN 55304
KAROL RENAE	PIN: 02-32-23-31-0048	PO BOX 32025	MINNEAPOLIS, MN 55432
KOEHLER MICHAEL NEIL	PIN: 11-32-23-12-0005	17229 VICKERS ST NE	HAM LAKE, MN 55304
KRATZKE KARL	PIN: 11-32-23-21-0020	3719 172ND LN NE	HAM LAKE, MN 55304
KUNCHIER, JONATHAN MICHAEL	PIN: 11-32-23-12-0025	3929 CROSSTOWN BLVD NE	HAM LAKE, MN 55304
KUNSHIER WARREN E & CHERYL	PIN: 11-32-23-12-0023	3945 172ND LN NE	HAM LAKE, MN 55304
LEEBENS ROBERT J & LORALEE A	PIN: 02-32-23-42-0022	3823 INTERLACHEN DR NE	HAM LAKE, MN 55304
LUSTHOFF WAYNE W & SANDRA L	PIN: 02-32-23-31-0013	3643 INTERLACHEN DR NE	ANOKA, MN 55304
MILLER, TARA H	PIN: 02-32-23-42-0011	3863 INTERLACHEN DR NE	HAM LAKE, MN 55304
NEUBERGER, JENNA K	PIN: 11-32-23-21-0021	3729 172ND LN NE	HAM LAKE, MN 55304
OLESEN, TIMOTHY S	PIN: 02-32-23-44-0003	17440 DURANT ST NE	HAM LAKE, MN 55304
OLSEN, TERRI L	PIN: 11-32-23-21-0022	3641 172ND LN NE	HAM LAKE, MN 55304
PECK, LEIGHTON L	PIN: 11-32-23-11-0010	17242 DURANT ST NE	HAM LAKE, MN 55304
PETERSON RANDY & KATHLEEN	PIN: 02-32-23-31-0010	3623 INTERLACHEN DR	HAM LAKE, MN 55304
PETRY, STEVEN J	PIN: 02-32-23-31-0012	3633 INTERLACHEN DR NE	HAM LAKE, MN 55304
RABE, BRIAN	PIN: 02-32-23-31-0014	3653 INTERLACHEN DR NE	HAM LAKE, MN 55304
RHEA CO	PIN: 02-32-23-31-0053	12590 SCHARBER ST	ROGERS, MN 55374

ROONEY JAMES H & LINDA	PIN: 11-32-23-21-0002	17246 VICKERS ST NE	HAM LAKE, MN 55304
ROSENCRANTZ, SHERI L & TODD	PIN: 02-32-23-31-0054	3612 INTERLACHEN DR NE	HAM LAKE, MN 55304
RUUD, SHERRIE	PIN: 02-32-23-31-0050	3805 INTERLACHEN DR NE	HAM LAKE, MN 55304
SANFT CARLY	PIN: 11-32-23-12-0010	3905 172ND LN NE	HAM LAKE, MN 55304
SCHARBER TRUSTEE JENNIFER SUE	PIN: 02-32-23-31-0051	8585 YELLOWSTONE LN N	MAPLE GROVE, MN 55311
SCHMIDTZ, ALLEN J	PIN: 02-32-23-42-0001	3820 INTERLACHEN DR NE	HAM LAKE, MN 55304
SCHULTZ, PAUL	PIN: 02-32-23-41-0001	4110 INTERLACHEN DR NE	ANDOVER, MN 55304
SCHWARTZ, JUDY J	PIN: 11-32-23-21-0006	17220 VICKERS ST NE	HAM LAKE, MN 55304
SMITH DAVID L	PIN: 11-32-23-12-0029	3850 172ND LN NE	HAM LAKE, MN 55304
SMITH, JONAH S	PIN: 02-32-23-34-0021	3621 WOODLAND DR NE	HAM LAKE, MN 55304
SPINLER, PAUL W	PIN: 11-32-23-21-0024	3621 172ND LN NE	ANDOVER, MN 55304
STADLER SEAN	PIN: 02-32-23-31-0058	3637 INTERLACHEN DR NE	HAM LAKE, MN 55304
STEUCK, RICHARD G	PIN: 02-32-23-34-0019	3636 WOODLAND DR NE	HAM LAKE, MN 55304
STONE BRADLEY D & JENNIFER A	PIN: 02-32-23-41-0016	4033 INTERLACHEN DR NE	HAM LAKE, MN 55304
TAIT, LAURA	PIN: 11-32-23-21-0023	3631 172ND LN NE	HAM LAKE, MN 55304
THOMPSON, JERRY GENE	PIN: 11-32-23-11-0003	21229 TOLLHOUSE ROAD	CLOVIS, CA 93619
TJB LAND LLC	PIN: 02-32-23-42-0008	9100 BALTIMORE ST NE STE 102	BLAINE, MN 55449
WAWERS, CAROL	PIN: 11-32-23-21-0003	17256 VICKERS ST NE	HAM LAKE, MN 55304
ZWEIG, ZACHARY D	PIN: 02-32-23-31-0059	3658 INTERLACHEN DR NE	HAM LAKE, MN 55304

1/871

1/614 AVT

OUTHER NL

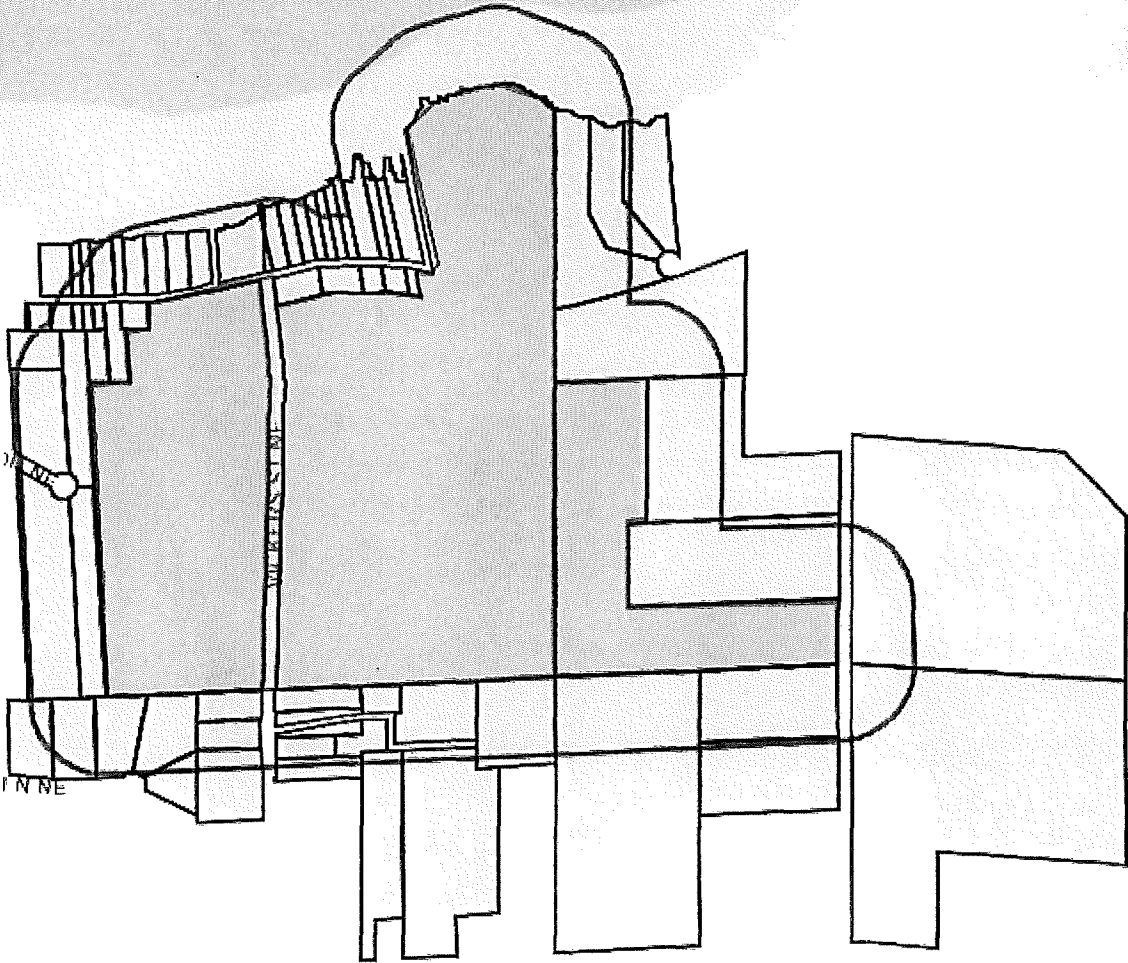
WOOD AND DE

172ND LN NE


CROSTOWN BLVD NL



70TH LN NE



Memorandum

Date: March 17, 2026
To: Planning Commissioners
From: David A. Krugler, City Engineer 
Subject: South Shore Estates Second Addition

Introduction:

The Preliminary Plat, Grading, Erosion Control and Tree Protection Plan, Livability Plan, Livability Chart, Boardwalk and Dock Exhibit, Plan/Profile, Intersection Details, SWPPP, Soil Amendment Plan, Details, Stormwater Drainage Plan, and storm sewer sizing calculations were received on March 3rd for the proposed 40 lot residential development located on 105.51 acres of parcels South Shores Estates Lot 1 of Block 1, Lot 2 of Block 2, and 02-32-23-44-0005.

The Second Addition is a portion of the overall South Shore Estates plan that received Sketch Plan approval at the May 5, 2025 City Council meeting. The parcels are currently zoned Rural Single Family Residential (R-A) and are proposed to be rezoned to R-1. All of the prior review comments have been addressed. A 600-scale aerial photo, 400-scale half-section maps and a 600-scale zoning map are attached.

Discussion:

The northerly portion of the development fronts on Coon Lake, which is classified as a General Development Lake under the City's Shoreland Ordinance 92-35. The proposed structures and septic system areas meet the minimum setback requirements from the Ordinary High Water Level (OHWL).

The submitted Site Landscape Plan does not indicate any clearing of vegetation within the shore impact zone that would reduce vegetative screening from the lake. Based on the information provided, the existing vegetation along the shoreline will remain intact. Therefore, no additional shoreline screening or tree planting requirements are recommended, as the proposal complies with the vegetation preservation standards of Shoreland Ordinance 92-35.

Two outlots are shown in the eastern portion of the proposed development. The 6.83-acre Outlot A is to be combined with the adjacent 02-32-23-44-0004 or 11-32-23-11-0010 to the south. The 22,495 square foot Outlot B is to be combined with the adjacent 02-32-23-41-0001 or 02-32-23-44-0003 parcels. The Development Agreement will include the conveyance of the outlots to the adjacent properties prior to any building permits being issued.

The developer proposes to retain the existing 3,000 square foot accessory building on Lot 23 of Block 1 following demolition of the existing dwelling. Under Section 9-370.6 of City Code, accessory buildings are permitted only as an accessory to a principal residential use within R-1 zoning. Upon demolition of the existing dwelling, the structure will temporarily become non-

compliant until a new principal dwelling is constructed. The Development Agreement shall include provisions addressing this condition as follows:

1. The existing 3,000 square foot accessory building may remain on the lot following demolition of the existing dwelling for the limited purpose of accessory residential storage.
2. A building permit for a new principal dwelling shall be obtained after the demolition of the existing dwelling, and construction of the dwelling shall proceed consistent with City permitting requirements within a reasonable amount of time as determined by City staff but no longer than 36 months.
3. If a building permit for a new principal dwelling is not obtained within the specified timeframe, the accessory building shall be removed.
4. To guarantee compliance with this requirement, the developer shall provide a financial security (letter of credit, cash escrow, or other form acceptable to the City) in an amount sufficient to cover the cost of demolition and removal of the accessory building and site restoration, as determined by the City Engineer.
5. The financial security shall remain in place until a certificate of occupancy is issued for the new principal dwelling, at which time the accessory building will again be considered compliant as an accessory structure.

An Encroachment Agreement will be required for Lot 21 of Block 1 due to the septic lines crossing the drainage and utility easement. Additionally, a separate Encroachment Agreement will be required for the proposed shared dock access on Lot 23 of Block 1, which is located within a drainage and utility easement to allow Public Works access to the borrow pond outlet, the designated City maintenance access point. Parkland dedication of \$2,500 per lot is required per the original sketch plan approval for the site.

The Braun Intertec Revised Summary of Water Level Readings and Lowest Floor Slab Recommendations that was received February 13th adequately addressed prior review comments. The March 2nd Tradewell letter certifies that each of the proposed lots will support two standard septic systems in accordance with Minnesota Rules 7080.

The north portion of the development is located within the Sunrise River Watershed Management Organization (SRWMO). The wetland buffers and easements provided meet the requirements of the SRWMO and Coon Creek Watershed District (CCWD) of the wetlands. The Plans show grading within wetland buffers. The SRWMO requires that any areas where vegetation is removed in the buffer area during construction must be reseeded with a native seed mix, and the applicant is responsible for maintenance or reseeding for 3 years through a legally enforceable agreement with the City. Enforcement will be incorporated in the Development Agreement for the grading proposed by the Developer and in the Short Form Development Agreement. The CCWD conditionally approved the development at the March 9th Board of Managers meeting.

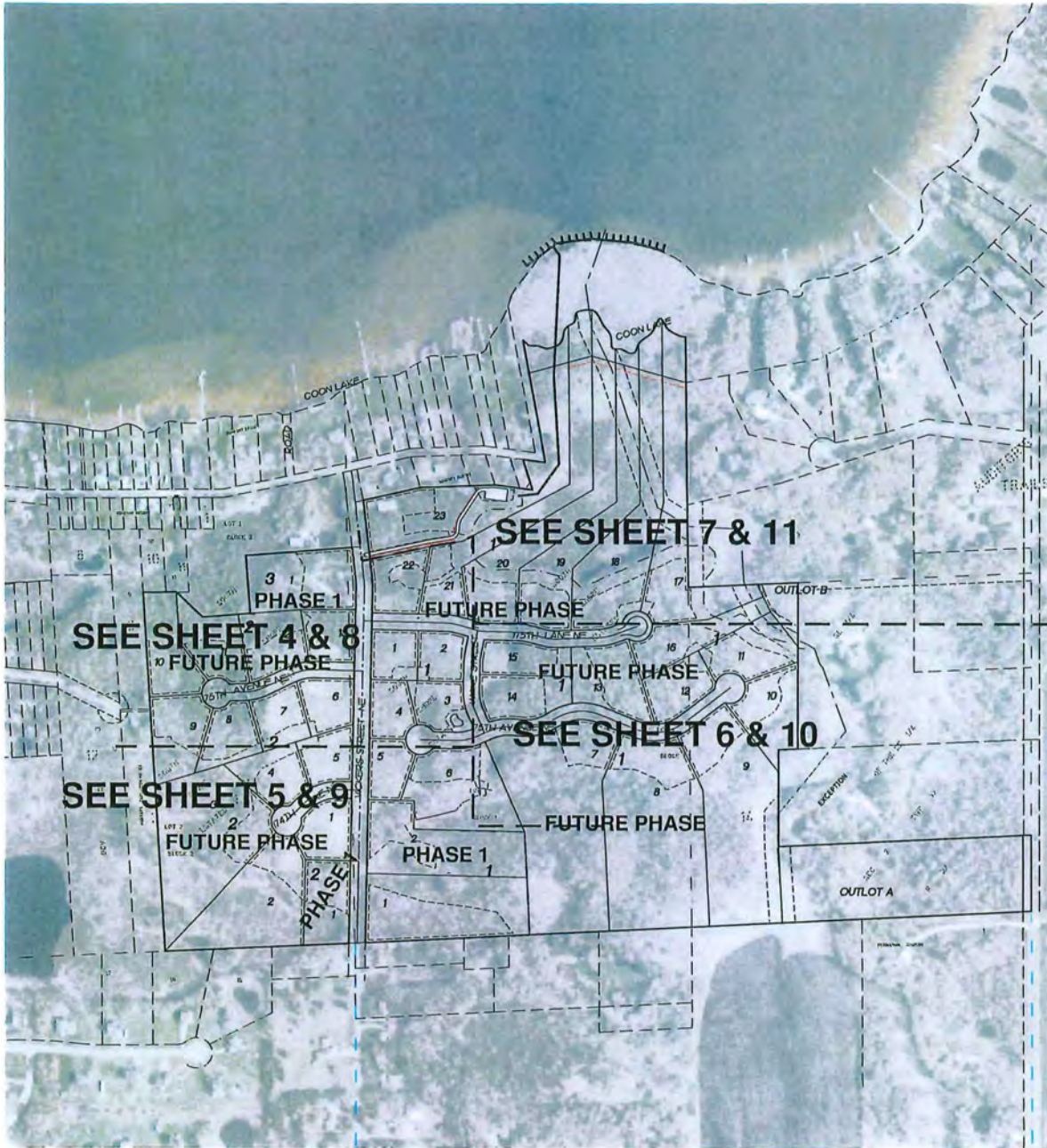
Recommendations:

It is recommended that the Preliminary Plat of South Shore Estates Second Addition be recommended for approval to the City Council.

TITLE SHEET

~of~ SOUTH SHORE ESTATES SECOND ADDITION
 ~for~ MN DEVELOPMENTS, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

NORTH



SHEET INDEX

T1	TITLE SHEET
2-3	PRELIMINARY PLAT
4-7	GRADING PLAN
8-11	LIVABILITY PLAN
12-14	LIVABILITY CHART
15	BOARDWALK AND DOCK EXHIBIT

ROBING CALCULATION AND STORM SEWER DESIGN BY PLOWE ENGINEERING, INC.

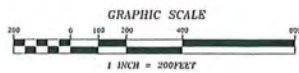
PLOWE
ENGINEERING, INC.
8778 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (612) 361-8210
FAX: (612) 361-8781

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam Ormel
ADAM ORMEL
DATE: 03.03.2026 LIC. NO. 43963

E. G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (612) 361-8200 Fax (612) 361-8701



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

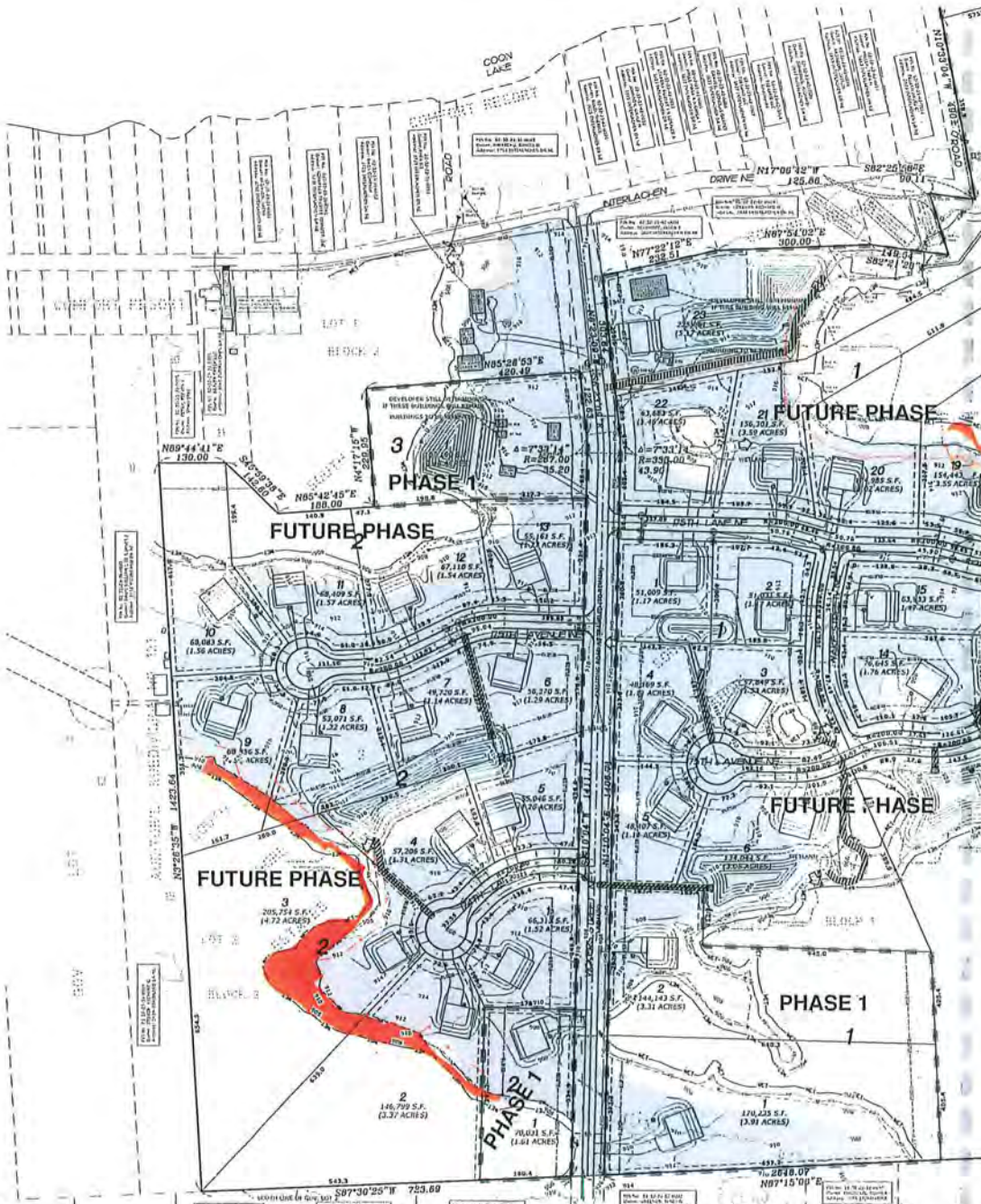
Jason E. Rud
JASON E. RUD
Date: 03/03/2026 License No. 41578

NO.	DATE	DESCRIPTION	BY
1	10/20/25	OFFER GRADING	RUD
2	11/24/25	CITY WATERSHED COMMENTS	RUD
3	01/20/26	CITY WATERSHED COMMENTS	RUD
4	02/12/26	CITY COMMENTS/REVISIONS	RUD
5	03/03/26	CITY COMMENTS	RUD
NO.	DATE	DESCRIPTION	BY

PRELIMINARY PLAT

~of~ SOUTH SHORE ESTATES SECOND ADDITION
 ~for~ MN DEVELOPMENTS, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

NORTH



MATCHLINE: SEE SHEET 2

SITE PHASING NOTES

THE DEVELOPER INTENDS TO APPLY FOR PRELIMINARY PLAT APPROVAL ON THE ENTIRE SITE, AND THEN APPLY FOR FINAL PLAT APPROVAL IN PHASES FOLLOWING PRELIMINARY PLAT APPROVAL. THE PRELIMINARY PLAT WILL CONCORD WITH THE FINAL PLAT APPROVAL OF SOUTH SHORE ESTATES. THE PLAT OF SOUTH SHORE ESTATES IS A NECESSARY PLAT TO SUBDIVIDE THE PARCEL, SO THE DEVELOPER CAN PURCHASE THE UNDERLYING PARCELS.

NOTES

- Developer is requesting a variance for a 50' building setback from Coon Lake DOWL on Lot 11, and Lots 18-21, Block 1.
- Beacons shown are an Anoka County datum.
- Parcel ID Numbers: 02-32-23-34-0018
02-32-23-43-0003
02-32-23-44-0025
- Site Address: 3348 INTERLACHEN DR NE
17523 VICERS ST NE
UNASSIGNED
- OWNER: First Fiduciary Corporation
David D. Halberg
Robert Halberg
Christopher Halberg
Jessica Gunk
Good Only Homecare, LLC

DEVELOPMENT DATA

TOTAL SITE AREA = 105.514 ACRES
 OUTLOT AREA = 7.354 ACRES
 40 PROPOSED SINGLE FAMILY LOTS
 AVERAGE LOT SIZE = 2.45 ACRES
 MINIMUM STREET FRONTAGE = 300 FEET
 MINIMUM LOT SIZE = 1.05 ACRES (INCLUDING HALF OF STREET NOW)
 PROPOSED ZONING = R-1
 BUILDING SETBACKS
 FRONT = 30 FEET
 SIDE = 10 FEET
 REAR = 55 FEET
 COUNTY ROAD = 30 FEET

LEGEND

- DENOTES LIDAR CONTOURS (2' INTERVAL)
- DENOTES BUILDING SETBACK LINE
- DENOTES BUILDING SETBACK LINE TO COON LAKE
- DENOTES WETLAND LINE DELINEATED BY KORNHUBER ENVIRONMENTAL SERVICES INC.
- DENOTES WETLAND BUFFER LINE
- DENOTES RARE SPECIES VEGETATIVE BUFFER
- DENOTES PHASE LINE
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)
- DENOTES AREA 17' ABOVE HOTBED SOILS

GRAPHIC SCALE

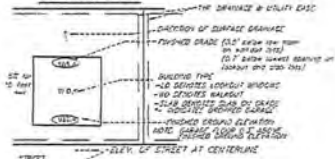


BRUNNEN	NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10	NO. 11	NO. 12	NO. 13	NO. 14	NO. 15	NO. 16	NO. 17	NO. 18	NO. 19	NO. 20	NO. 21	NO. 22	
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17							

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

-of- SOUTH SHORE ESTATES SECOND ADDITION
 -for- MN DEVELOPMENTS, LLC
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

TYPICAL LOT



LEGEND

- DENOTES SOIL BORING BY TRAVENELL SOIL TESTING
- DENOTES MEASUREMENT BY INSTRUMENT BORING BY MANLY UTILITIES, INC.
- DENOTES EMERGENCY OVERFLOW ELEVATION
- DENOTES EXISTING SPOT ELEVATION
- DENOTES LOT LAND
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOUR
- DENOTES WETLANDS DELINEATED BY COASTAL ENVIRONMENTAL SERVICES COMPANY
- DENOTES BASEMENT LINE
- DENOTES BUILDING SETBACK LINE
- DENOTES BUILDING SETBACK LINE TO COON LAKE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES PROPOSED CENTRALISE ELEVATION
- DENOTES PROPOSED WELL LOCATION
- DENOTES AREA 1' ABOVE HOUSTLES
- DENOTES WETLAND VEGETATIVE BUFFER
- DENOTES WETLAND VEGETATIVE BUFFER AND PROTECTED SPECIES BUFFER
- DENOTES WETLAND VEGETATIVE BUFFER SIGN
- DENOTES STORM SEWER TO BE RELOCATED IN WETLAND BUFFER
- DENOTES PROPOSED STORM SEWER INLET PROTECTION
- DENOTES TREE PRESERVATION AREA
- DENOTES 1/2" HOOD ACCESS
- AFFIRMATIVE BARE SPECIES LOCATION

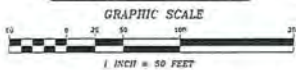
PONDING CALCULATIONS AND STORM SEWER DESIGN BY PLOWE ENGINEERING, INC.

PLOWE ENGINEERING, INC.
 17404 WARD LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014

PHONE: (612) 384-8216
 FAX: (612) 384-8185

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND EROSION CONTROL PLAN FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam G. Plowe
 ADAM G. PLOWE
 DATE: 03/03/2025 LIC. NO. 42983



NORTH

EROSION CONTROL / REVEGETATION SPECS.

1. ALL EROSION CONTROL SHALL BE INSTALLED AT CONSTRUCTION START DATE.
2. ALL EROSION CONTROL SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
3. ALL EROSION CONTROL SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
4. ALL EROSION CONTROL SHALL BE REVEGETATED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
5. ALL EROSION CONTROL SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

LOT GRADING NOTES

- FINISHED GRADE SHALL BE FINISHED TO STREET CENTERLINE FOR DRIVEWAYS.
- FINISHED GRADE SHALL BE FINISHED TO STREET CENTERLINE FOR DRIVEWAYS.
- FINISHED GRADE SHALL BE FINISHED TO STREET CENTERLINE FOR DRIVEWAYS.

TREE PROTECTION NOTES

- TREE PROTECTION SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- TREE PROTECTION SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- TREE PROTECTION SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

NOTES

- FINISHED GRADE SHALL BE FINISHED TO STREET CENTERLINE FOR DRIVEWAYS.
- FINISHED GRADE SHALL BE FINISHED TO STREET CENTERLINE FOR DRIVEWAYS.
- FINISHED GRADE SHALL BE FINISHED TO STREET CENTERLINE FOR DRIVEWAYS.

BUFFER NOTES

- PROTECTED SPECIES AND WETLAND BUFFER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- PROTECTED SPECIES AND WETLAND BUFFER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason E. Rud
 JASON E. RUD
 DATE: 03/03/2025 LICENSE NO. 41578

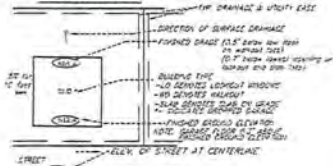
DATE	BY	FOR	DATE
03/03/2025	JEREMY J. JENSEN	FOR	03/03/2025
03/03/2025	JEREMY J. JENSEN	FOR	03/03/2025
03/03/2025	JEREMY J. JENSEN	FOR	03/03/2025
03/03/2025	JEREMY J. JENSEN	FOR	03/03/2025
03/03/2025	JEREMY J. JENSEN	FOR	03/03/2025

F. G. RUD & SONS, INC.
 151.187
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel: (651) 551-8200 Fax: (651) 551-8701

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

~of~ SOUTH SHORE ESTATES SECOND ADDITION
 ~for~ MN DEVELOPMENTS, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

TYPICAL LOT



LEGEND

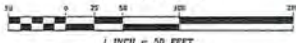
- DENOTES SOIL SAMPLE BY TRADITIONAL SOIL TESTING
- DENOTES PRESENCE OF VEGETATION SURVIVING BY VISUAL INSPECTION
- DENOTES EMERGENCY DIVERSION ELEVATION
- DENOTES EXISTING SPOT ELEVATION
- DENOTES WETLAND
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOUR
- DENOTES WETLAND DELINEATED BY AGRICULTURAL ENVIRONMENTAL SERVICES COMPANY
- DENOTES EASEMENT LINE
- DENOTES BUILDING SETBACK LINE
- DENOTES BUILDING SETBACK LINE TO ROOF LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SALT TREE PROTECTION FENCE
- DENOTES SALT FENCE ADJACENT TO WETLAND
- DENOTES PROTECTED SPECIES VEGETATION BUFFER
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES PROPOSED CENTERLINE ELEVATION
- DENOTES PROPOSED WELL LOCATION
- DENOTES AREA 1' ABOVE NOXIOUS
- DENOTES WETLAND VEGETATIVE BUFFER
- DENOTES WETLAND VEGETATIVE BUFFER AND PROTECTED SPECIES BUFFER
- DENOTES WETLAND VEGETATIVE BUFFER SIGN
- DENOTES SIGN (SIGNAL) TO BE VEGETATED IN WETLAND BUFFER
- DENOTES PROPOSED STORM SEWER INLET PROTECTION
- DENOTES TREE PRESERVATION AREA
- DENOTES 12' ROAD ACCESS
- AFFORESTATION BARE SPECIES LOCATION

POUND CALCULATIONS AND STORM SEWER DESIGN BY
PLOWE ENGINEERING, INC.
 8778 LAKE DRIVE
 SUITE 110
 ANDOVER, MN 55304
 PHONE: (612) 241-8219
 FAX: (612) 241-8701

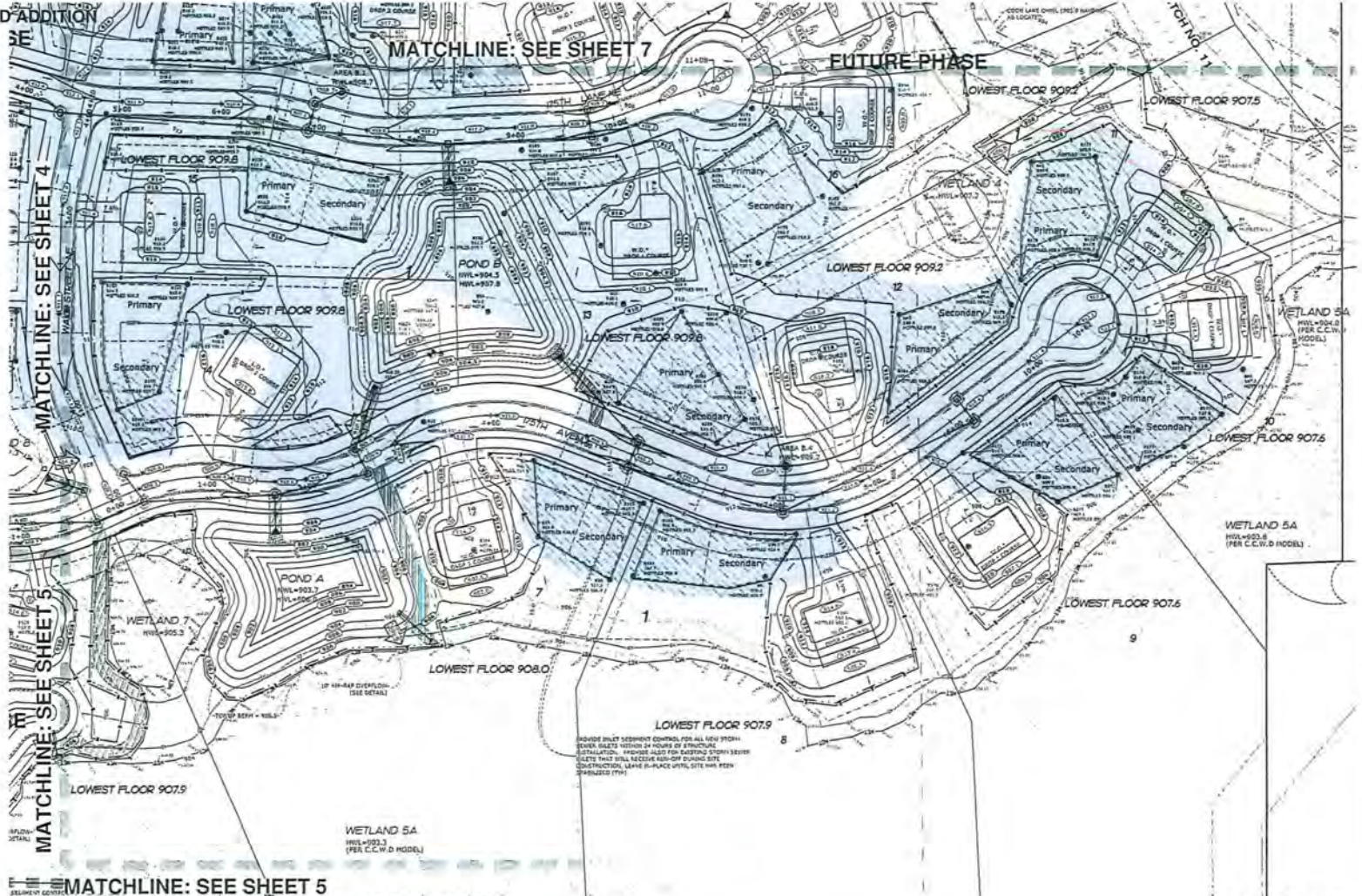
I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam Plowe
 ADAM PLOWE
 DATE: 03/03/2026 LIC. NO. 43383

GRAPHIC SCALE



NORTH



EROSION CONTROL / REVEGETATION SPECS.

1. 14" OR 16" RADIUS GRADING, INSTALL 24" STORM FENCE OR 12" STORM FENCE. ADDITIONAL 24" STORM FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS BEING NECESSARY BY THE CITY ENGINEER PRIOR TO ANY GRADING.
2. ANY GRADING SHALL PROCEED ON 20' WIDE BY AREA HADS TO MINIMIZE DISRUPTED AREAS.
3. ALL EXISTING AND NEW GRADING SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS FOR TREE PROTECTION. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS FOR TREE PROTECTION.
4. MAINTAIN AND REPAIR 24" STORM FENCES INCLUDING REPAIRS OF ACCUMULATED SOILS, ACCORDING TO ESTABLISHED PRACTICES.
5. USE 24" STORM WATER POLLUTION PREVENTION PLAN FOR ADDITIONAL INFORMATION.

LOT GRADING NOTES

- PAD CONTOURS SHOWN ARE FOR INFORMATION PURPOSES.
- FINISH GRADE AND GRADING SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS FOR TREE PROTECTION.
- FINISH GRADE SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS FOR TREE PROTECTION.
- SALT FENCE TO BE INSTALLED BY BUILDING PRIOR TO FINISH CONSTRUCTION.

TREE PROTECTION NOTES

- TREE PROTECTION LIMITS TO BE MAINTAINED IN FIELD PRIOR TO ANY TREE CLEARING ACTIVITY.
- SALT TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.
- CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE BUFFER LINE OF TREES IN THE TREE PROTECTION ZONE.
- FIELD SIGNAGE SHALL BE MAINTAINED ON LOCATION OF TREE PROTECTION LIMITS TO PREVENT DISRUPTIVE TRAFFIC.
- SOME TREES AND DEAD BARK ARE TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SALT TREE PROTECTION FENCE. SIGNAGE OF STORMS WILL OCCUR AFTER POSITIVE CONTROL MEASURES ARE INSTALLED.

NOTES

- FINISHED GRADES ARE BY MINNESOTA COUNTY DATA.
- TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER GRADING.
- 2 FOOT CONTOUR SHOWN.
- CONTOUR SHOWN ARE FOR INFO ONLY. DISTRIBUTION AND FIELD VEGETATION.
- ALL TOP SURFACES AND FINISH GRADES TO BE SLOPED AT FALL GRADE.
- TAMP AREA TO BE SLOPED WITHIN 7 DAYS AFTER COMPLETION OF FINISH GRADING OR SURVEY.
- SEE PRELIMINARY PLAN, PROPOSED SHEETS FOR OTHER NOTES AND DETAILS AND DATA.
- THE CIRCULAR SOIL VARIATION COMPLETES SEPTIC SOIL VARIATION.
- SOIL VARIATION HIGHLIGHTS ARE CIRCLED TO BE ELIMINATED WITH PROTECTIVES, AND DETERMINED SITE HIGHLIGHTS.
- ALL FINE SANDS UNDER ARE PROVIDED WITH TRASH GUARDS.
- PROVIDE CLASS B RIMPACT WITH FINE SANDS FOR ALL FINE SANDS. INSTALL BY 07/08/2024 ON RIMPACT IN WETLAND BUFFERS AND BEING USED TO PROTECT 12" SALT.
- IF BIDDING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A NEW DRAINAGE PERMIT AND WILL PROVIDE US WITH FIELD QUALIFICATION, LATER, SIGNATURE LOCATION, ADDRESS AND CONTACTS TO COME 1 YEAR PRIOR TO ANY BIDDING OPERATIONS.
- CONTRACTORS MUST BE PROVIDED WITH SUPPLY AND FUEL SHEETS ON BIDDING'S TURN.
- DISTURBED SOILS AND STOCKPILES WILL BE TREATED ON CONTAMINATED STOCKPILES WITHIN 24 HOURS AFTER CONSTRUCTION ACTIVITY IN THAT AREA AND RESPONSIBILITY OF PERMANENTLY TREATING.

BUFFER NOTES

- PROTECTED SPECIES AND WETLAND BUFFER SIGNS TO BE PLACED ON 4" X 4" PICTURES AT LOCATIONS INDICATED ON PLAN TO ENSURE THE BUFFER LIMIT LINE IS VISIBLE.
- NO SIGNAGE IS ALLOWED IN THE PROTECTED SPECIES BUFFER AREA.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason E. Zook
 JASON E. ZOOK
 DATE: 03/03/2026 License No. 41578

NO.	DATE	DESCRIPTION	BY
1	03/03/2026	SUPPLY DRAWINGS	MMB
2	03/03/2026	CONTRACT COMMENTS	MMB
3	03/03/2026	BUFFER SIGN / NOTES	MMB
4	03/03/2026	CONTRACT COMMENTS	MMB
5	03/03/2026	CONTRACT COMMENTS	MMB
6	03/03/2026	CONTRACT COMMENTS	MMB

E. C. RUD & SONS, INC.
 131,137 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55144
 Tel: (612) 944-8000 Fax: (612) 944-8744

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

~of~ SOUTH SHORE ESTATES SECOND ADDITION
 ~for~ MN DEVELOPMENTS, LLC
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

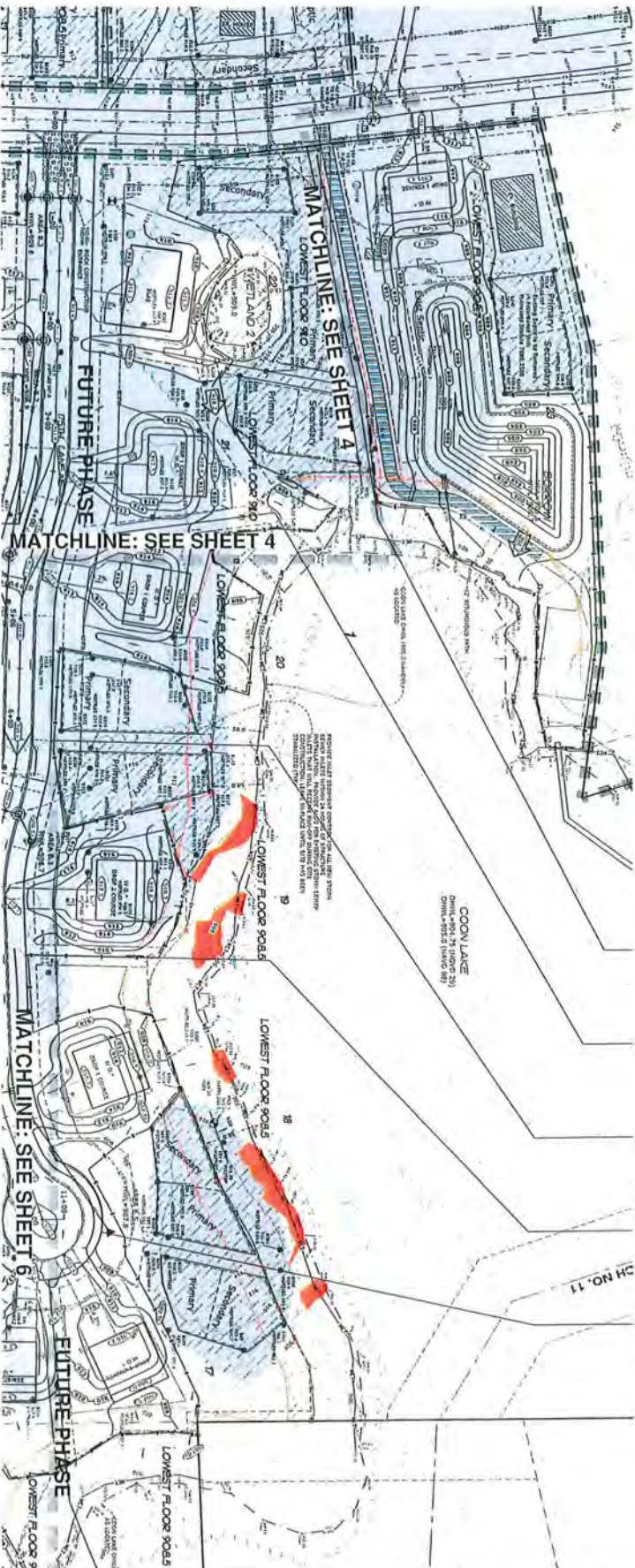
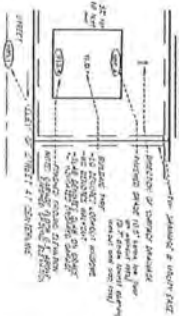
NOTES

1. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. SLOPES SHALL BE GRADUATED TO THE NEAREST 1% TO PREVENT EROSION.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
6. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
7. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
8. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
9. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
10. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

EROSION CONTROL / REVEGETATION SPECS.

1. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. SLOPES SHALL BE GRADUATED TO THE NEAREST 1% TO PREVENT EROSION.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
6. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
7. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
8. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
9. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
10. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

TYPICAL LOT



LEGEND

- 1. SLOPES SHALL BE GRADUATED TO THE NEAREST 1% TO PREVENT EROSION.
- 2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 3. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 4. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 5. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 6. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 7. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 8. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 9. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 10. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

LOT GRADING NOTES

1. LOT GRADING SHALL BE TO THE NEAREST 1% TO PREVENT EROSION.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
6. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
7. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
8. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
9. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
10. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

TREE PROTECTION NOTES

1. TREE PROTECTION MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
6. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
7. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
8. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
9. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
10. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

BUFFER NOTES

1. BUFFER NOTES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
6. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
7. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
8. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
9. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
10. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.



F. Q. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 www.fqrud.com

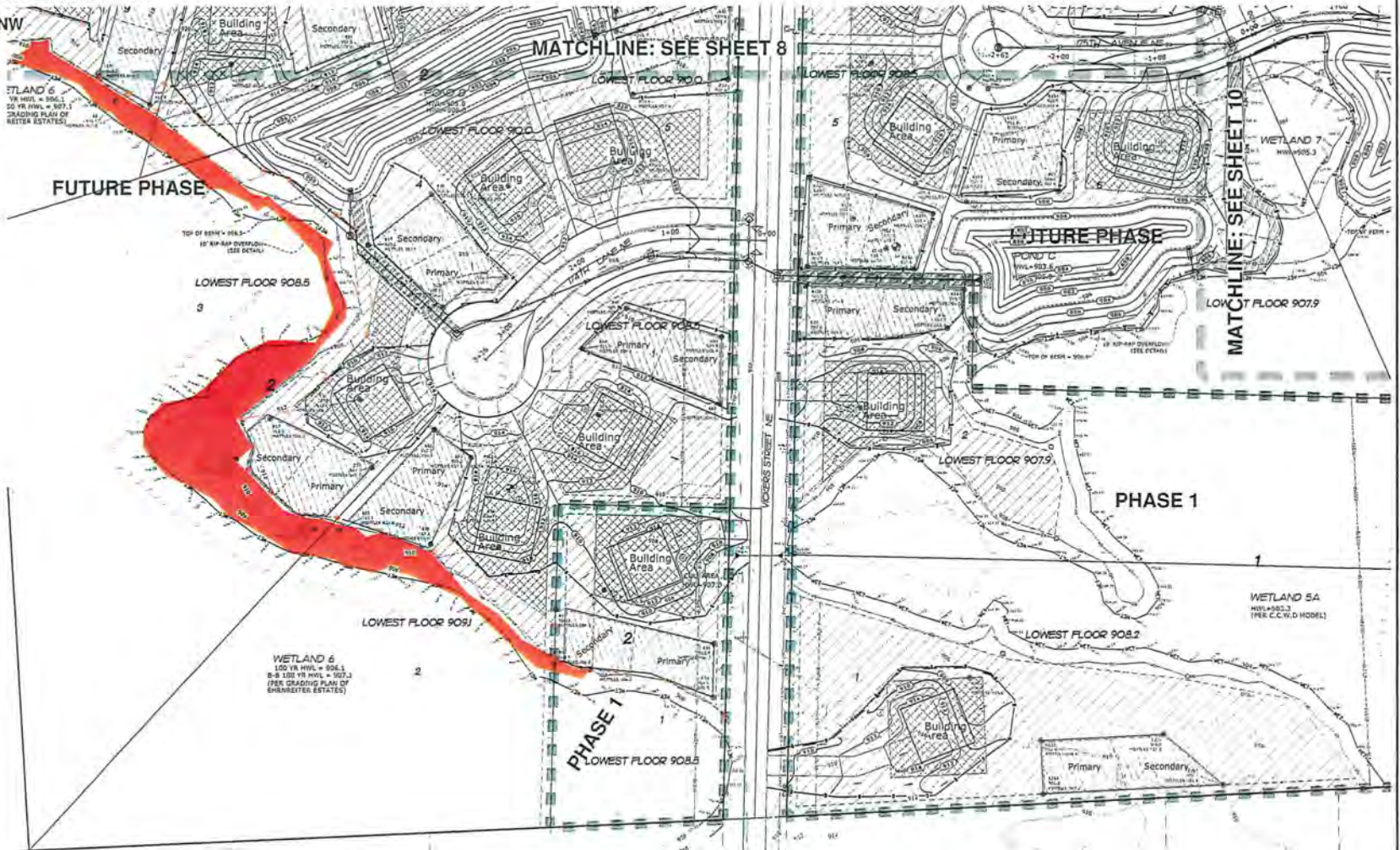
PLOWE
 ENGINEERING, INC.
 11000 Hennepin Avenue, Suite 110
 Minneapolis, MN 55414
 (612) 921-1100
 www.plowe.com

DATE: 02.03.2025
 L.C. NO. 45283

NO.	DATE	DESCRIPTION	BY
1	02/03/25	ISSUED FOR PERMIT	JLR
2	02/03/25	ISSUED FOR PERMIT	JLR
3	02/03/25	ISSUED FOR PERMIT	JLR
4	02/03/25	ISSUED FOR PERMIT	JLR
5	02/03/25	ISSUED FOR PERMIT	JLR
6	02/03/25	ISSUED FOR PERMIT	JLR
7	02/03/25	ISSUED FOR PERMIT	JLR
8	02/03/25	ISSUED FOR PERMIT	JLR
9	02/03/25	ISSUED FOR PERMIT	JLR
10	02/03/25	ISSUED FOR PERMIT	JLR

LIVABILITY PLAN

~of~ SOUTH SHORE ESTATES SECOND ADDITION
 ~for~ MN DEVELOPMENTS, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471



LEGEND

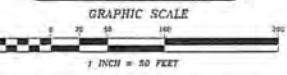
- ☐ DENOTES SOIL BORING BY TRANSDUCERIAL SOIL TESTING
- ☐ DENOTES HEADQUARTERS OR PENETRATION POINTS BY STANLEY HYDRA-TEC, INC.
- ☐ DENOTES EXISTING SPOT ELEVATION
- ☐ DENOTES FUTURE LANE
- ☐ DENOTES EXISTING 3 FOOT CONTOUR
- ☐ DENOTES PROPOSED 3 FOOT CONTOUR
- ☐ DENOTES WETLAND DELINEATED BY COLLEGE ENVIRONMENTAL SERVICES COMPANY
- ☐ DENOTES EASEMENT LINE
- ☐ DENOTES BUILDING SETBACK LINE
- ☐ DENOTES BUILDING SETBACK LINE TO 100% LAKE
- ☐ DENOTES PROPOSED STORM SEWER
- ☐ DENOTES PROPOSED DIRT TRAIL W/RESTRICTION FENCE
- ☐ DENOTES DIRECTION OF ORIGIN
- ☐ DENOTES PROPOSED WELL LOCATION
- ☐ DENOTES WETLAND VEGETATIVE BUFFER
- ☐ DENOTES LAKE SPECIES VEGETATIVE BUFFER
- ☐ DENOTES WETLAND VEGETATIVE BUFFER (S1)
- ☐ DENOTES PROPOSED BUILDING FOOT AREA
- ☐ DENOTES PROPOSED ROAD AREA
- ☐ DENOTES PROPOSED DRIVE AREA
- ☐ DENOTES 12' ROAD ACCESS
- ☐ APPROPRIATE BIRD SPECIES LOCATION

POUNDING CALCULATIONS AND STORM SEWER DESIGN BY
PLOWE ENGINEERING, INC.
 8776 LAKE DRIVE
 SUITE 110
 LINO LAKE, MN 55014

PHONE: (612) 281-0210
 FAX: (612) 281-0751

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam Ornel
 ADAM ORNEL
 DATE: 03.03.2026 LIC. NO. 43963



NOTES

- REBAR/STAIN ARE ON ANGLA COUNTY SETUP
- TOTAL LOT AREA IS CALCULATED TO OTHER CENTERLINE PER DEMONSTRATION
- 2 FOOT CONTOUR INTERVALS (SHOWN AS)
- CONTOUR SPACING ARE NOT PRESENT UNDER OBSERVATION AND FIELD VERIFICATION
- ALL LOTCH POINTS AND AVEENUE ATTACHED TO BE LAID OUT AT FULL 60% P
- THESE AREA TO BE REEVALUATED 1 YEAR AFTER COMPLETION OF WETLAND CHANGING OR DRAINAGE
- SEE PRELIMINARY PLAN, I W/PROP SHEETS FOR STUDY STAIN, LINES, TRAVEL, AND SITES
- TRANSDUCERIAL SOIL TESTING CONDUCTED TO DETERMINE SOIL BORING
- BRAIN DRAINAGE DRAINAGE SITE GROUND WATER ELEVATIONS WITH RESIDENCES AND EXTENSIVE SITE HIGHEST
- WETLANDS DELINEATED BY COLLEGE ENVIRONMENTAL SERVICES COMPANY
- ALL PER APPLICABLE UNDER ALL APPLICABLE WITH WETLANDS
- INCLUDE CLASS II BARRIERS WITH FILTER FABRIC FOR ALL PIPE OUTLETS. INSTALL 6" OF TAMPED OR BARRIERS
- WETLANDS OUTLETS ARE BEEN WITH 100' WITH WETLANDS
- IF DEVELOPMENT IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A W/DA DEVELOPMENT PERMIT AND WILL PROVIDE WETLANDS LOCATION, BUFFER, DISTURBANCE LOCATION, SCHEDULE AND QUANTITIES TO CDDP 3 DAYS PRIOR TO ANY
- DEMONSTRATION OBSERVATION
- CONTRACTOR MUST BE PROVIDED WITH ONE (1) COPY FACT SHEET OF BUILDINGS NUMBERS
- DISTURBED SOILS AND STOCKPILES WILL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 24 HOURS AFTER
- CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason J. Rud
 Jason J. Rud
 Date: 03/03/2026 License No. 11378

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 www.ejrud.com

REVISION	DATE	BY	DESCRIPTION
1	03/03/2026	JAS	INITIAL DRAINAGE
2	03/03/2026	JAS	CITY / DISTRICTS COMMENTS
3	03/03/2026	JAS	CITY / DISTRICTS COMMENTS
4	03/03/2026	JAS	CITY COMMENTS / DISTRICTS
5	03/03/2026	JAS	CITY COMMENTS

NORTH

LIVABILITY PLAN

-of- SOUTH SHORE ESTATES SECOND ADDITION
 -for- MN DEVELOPMENTS, LLC
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

LEGEND

- DEPOTES SOIL SAMPLE BY MANDELSON SOIL TESTING
- DEPOTES PRECIPITATION OR PENETRATION SCHEDULE BY BRANN DETERMINE, INC.
- DEPOTES EXISTING DRAIN ELEVATION
- DEPOTES WET LAND
- DEPOTES EXISTING 1 FOOT CONTOUR
- DEPOTES PROPOSED 3 FOOT CONTOUR
- DEPOTES WETLAND COLLECTED BY LOCATING ENVIRONMENTAL SERVICES COMPANY
- DEPOTES EASEMENT LINE
- DEPOTES BUILDING SETBACK LINE
- DEPOTES BUILDING SETBACK LINE TO COON LAKE
- DEPOTES PROPOSED STORM SEWER
- DEPOTES PROPOSED 6" TO 12" FLEX PROTECTION FENCE
- DEPOTES DIRECTION OF DRAINAGE
- DEPOTES PROPOSED WELL LOCATION
- DEPOTES WETLAND VEGETATION BUFFER
- DEPOTES WARE SPECIES VEGETATION BUFFER
- DEPOTES WETLAND VEGETATION BUFFER EDGE
- DEPOTES PROPOSED BUSHING AND AREA
- DEPOTES PROPOSED WARD AREA
- DEPOTES PROPOSED SEPTIC AREA
- DEPOTES 12" POND ACCESS
- MANDELSON SOIL SAMPLE LOCATION

POUND CALCULATIONS AND STORM SEWER DESIGN BY PLUME ENGINEERING, INC.



PLUME ENGINEERING, INC.
 8775 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014

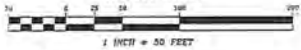
SITE PLANNING PHONE: (612) 351-4218
 & ENGINEERING FAX: (612) 351-4279

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

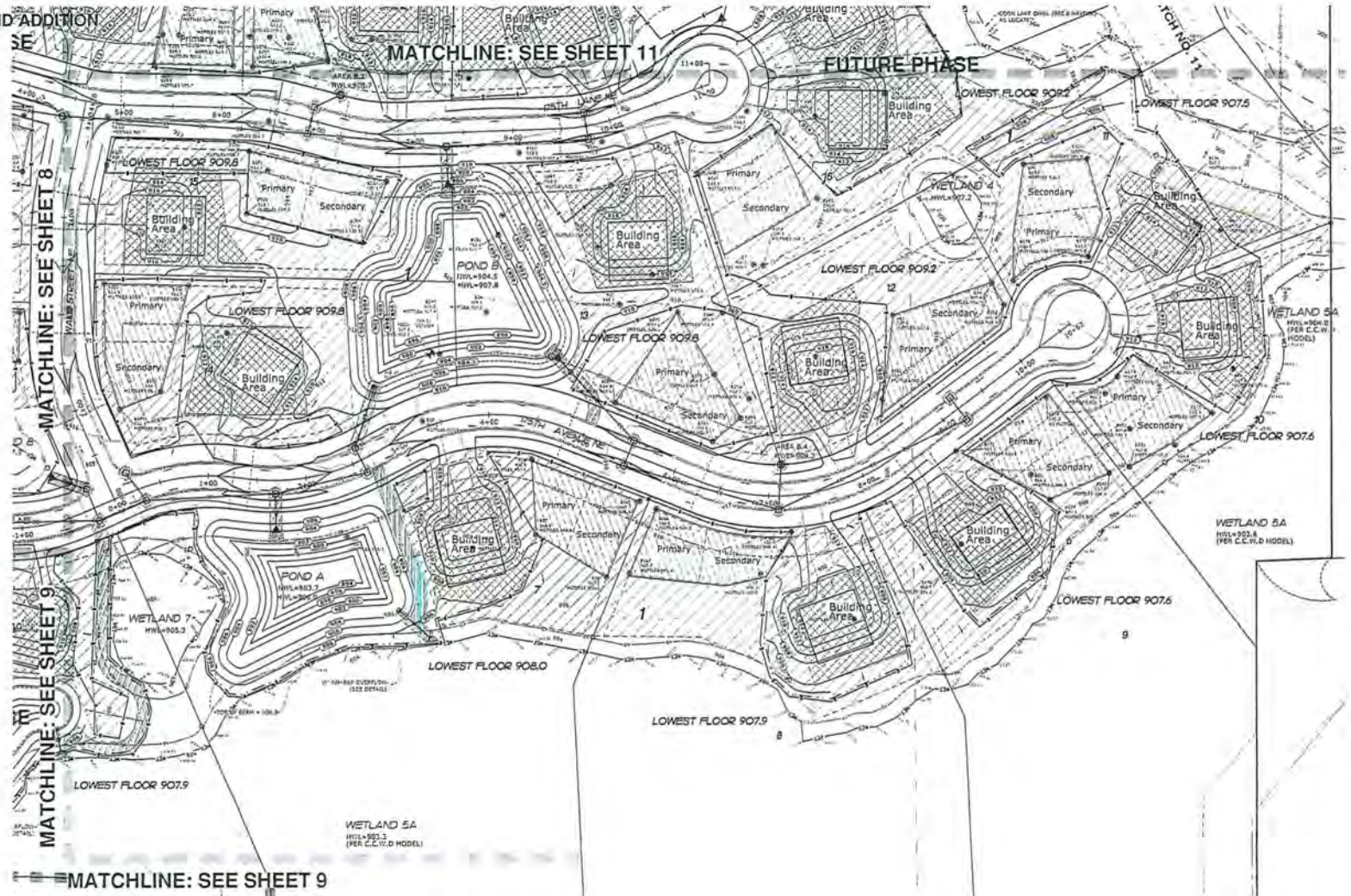
Adam C. Plume
 ADAM C. PLUME
 DATE: 03/03/2026 LIC. NO. 43883

NORTH

GRAPHIC SCALE



E. G. RUD & SONS, INC.
 181,107
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel: (651) 921-8990 Fax: (651) 921-8771



NOTES

- SEAWALLS SHOWN ARE ON ANCHOR CEMENT CATCH
- TOTAL LOT AREA ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE
- 2 FOOT CONTOUR INTERVAL MAINTAINED
- COASTLINE SHOWN ARE PER WETLAND DATA DISTRIBUTION AND FIELD VERIFICATION
- ALL POND POWERS AND PERMITTING APPLICABLE TO BE SUBMITTED BY FULL DEPTH
- TURN ALL LOTS TO BE CLEARLY NOTED 7 DAYS AFTER COMPLETION OF SUCH DRAINAGE OR INACTIVITY
- SEE FUTURE PHASE FUTURE LAYOUT FOR SETBACKS, SETBACKS, AND SETBACKS
- TERRAINAL SOIL TESTING COMPLETED SATISFACTORY RESULTS
- LANDS WETLANDS WETLANDS DATA SHOWN WITH WETLANDS, AND DETERMINED SITE HIGHEST AUTHENTICATED COORDINATE ELEVATIONS
- ALL WET SPACES UNDER BY PROVIDED WITH TRASH GUARDS
- FILLING CLAYS BE PROVIDED WITH FILTER FABRIC FOR ALL PIPE OUTLETS. INSTALL 10" OF TOPSOIL ON BARRIERS
- WETLAND BUFFERING AND SETBACKS SHALL BE MAINTAINED THROUGHOUT
- IF DISTURBING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A WETLAND DISTURBANCE PERMIT AND SHALL PROVIDE WETLAND RESTORATION PLAN, DISCHARGE LOCATION, LENGTHS AND QUANTITIES TO CORRECT DRAINAGE TO ALL DISTURBED AREAS
- CONTRACTORS SHALL BE PROVIDED WITH SIGN PLACED SHEETS ON BUILDING'S TOWERS
- DISTURBED SOILS AND STORED WILLS BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 24 HOURS AFTER CONSTRUCTION ACTIVITY ON THAT AREA HAS TERMINATED OR PERMANENTLY CEASED

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Adam C. Plume
 Adam C. Plume
 Date: 03/03/2026 License No. 43883

Revised By	Job No.	Date	Scale
1	17404	03/03/2026	AS SHOWN
2	17404	03/03/2026	AS SHOWN
3	17404	03/03/2026	AS SHOWN
4	17404	03/03/2026	AS SHOWN
5	17404	03/03/2026	AS SHOWN

LIVABILITY CHART

~of~ SOUTH SHORE ESTATES SECOND ADDITION
 ~for~ MN DEVELOPMENTS, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

Livability Standards
 All residential lots shall contain at least 29,500 square feet of land which lies above the 100 year flood contour. Of the 29,500 square feet, the following additional requirements must be present:

A. Eligible Building Area Each lot shall contain at least 10,000 square feet of eligible building area which lies at an elevation at least four feet above the ultimate grade. The eligible building area may not be occupied by a garage, and shall be separated from the street by a driveway, terrace, walk or porch. Eligible building area may not encroach into any area reserved by easement or otherwise for roadway, drainage or utility purposes. Fill may be used to create eligible building area.

C. Yard Area Each lot shall contain at least 12,000 contiguous square feet which:
 1) Lies above the 100 year flood contour, and
 2) Lies at least one foot above 50% suitable for the intended stage of the yard area, and
 3) Is contiguous to the eligible building area for a distance of at least 10% percent of the linear perimeter of the eligible building area.


D. Building Foot Area The entire building foot must lie within the eligible building area, and shall meet the separation requirements for the eligible building area.

E. Low Floor Elevations

- 1) For without design, the low floor elevation shall be at least two feet above the 100 year flood contour, not, notwithstanding the 100 year flood contour, not less than one foot above unsuitable soils, as determined by the Corps engineer.
- 2) For other designs, the low floor elevations shall be at least two feet above the 100 year flood contour, not, notwithstanding the 100 year flood contour, not less than one foot above unsuitable soils, as determined by the Corps engineer.

Lot	Block	Total Lot Area	Yard Area	Septic Area (sq. ft.)	Building Foot Area	Proposed Building Foot	Garage Floor	Proposed Low	Proposed Low	Lowest Elevation	Lowest Elevation	Lowest Floor	Groundwater	Low Floor	Boiling #	Boiling	Basins	Building	Column
		(sq. ft.)	(sq. ft.)	(sq. ft.)	(sq. ft.)	# Above Livability (sq. ft.)	Elevation	Face Elev.	Creeping	Elevation	Elevation	Elevation	Factor				Type	Grade	
1	2	69,313	27,810	7,887	10,304	6,666	818.0	811.0	811.0	808.5	808.5	805.5	Anticipated	2	911.7	909.0	W.O.*	NO	
													Groundwater	40	909.9	908.3	DRIP 1		
														62	911.9	909.5	COURSE		
														63	910.4	908.4			
														64	911.0	909.4			
2	2	148,799	12,448	7,812	10,817	6,172	917.5	910.5	910.5	899.1	908.1	903.5	Welland 8	10	910.3	909.0	W.O.*	NO	
													B-B 100 YR	24	909.7	908.5	DRIP 1		
													HML	25	911.1	908.8			
														69	913.3	909.1			
														81	913.3	909.3			
														PRE 2.0	911.4	901.5 (W)			
3	2	205,754	12,420	8,149	10,127	4,442	917.0	910.0	913.7	909.1	908.5	903.5	Anticipated	16	910.2	905.1	SIDE L.O.*	NO	
													Welland 8	36	910.9	909.4	DRIP 1		
													B-B 100 YR	37	912.2	908.2	COURSE		
													HML	28	911.5	908.3			
														29	913.9	909.7			
														30	913.3	909.3			
4	2	57,208	13,080	8,028	11,412	6,601	917.0	910.0	910.0	910.0	910.0	905.5	Point D	17	910.0	908.5	W.O.*	NO	
													HML	18	908.5	907.1	DRIP 1		
														65	913.0	908.2	COURSE		
														66	910.9	907.9			
														67	909.9	908.8			
5	2	25,048	18,925	7,807	10,810	5,922	917.0	910.0	910.0	910.0	910.0	905.5	Point D	18	909.8	907.9	W.O.*	NO	
													HML	20	908.8	907.8	DRIP 1		
														68	909.1	907.0	COURSE		
														69	910.7	908.2			
														71	908.9	907.8			
6	2	58,270	21,261	8,316	10,216	5,123	918.3	910.0	913.2	910.0	910.0	903.5	Point D	21	910.1	908.4	L.O.*	NO	
													HML	20	910.6	908.0	DRIP 2		
														72	910.0	907.8	COURSE		
														73	911.8	908.3			
														74	913.5	910.0			
7	2	49,720	12,738	8,618	10,218	7,006	917.0	910.0	910.0	910.0	910.0	903.5	Point D	22	910.6	908.4	W.O.*	NO	
													HML	70	913.5	909.7	DRIP 1		
														76	912.0	909.5	COURSE		
														77	912.8	908.5			
														78	912.8	908.1			
														79	913.7	910.2	SIDE W.O.*	NO	
														80	910.0	911.5	DRIP 1		
														81	912.1	908.0	COURSE		
														82	912.3	907.8			
														83	912.3	912.9			
														230	913.4	911.4			
														231	915.9	911.4			
8	2	68,450	20,697	8,748	10,456	8,544	922.0	915.0	915.0	909.1	908.1	903.5	Welland 8	3	916.8	908.6	W.O.*	NO	
													B-B 100 YR	84	913.8	909.3	DRIP 1		
													HML	85	912.7	908.1	COURSE		
														86	917.9	912.8			
														87	918.0	912.0			
														88	914.4	912.4			
														23	918.3	908.1	W.O.*	NO	
														89	911.7	907.9	DRIP 1		
														90	912.0	907.5	COURSE		
														91	910.9	909.2			
														92	909.9	908.8			
11	2	89,409	13,363	8,440	10,008	6,914	915.8	908.5	908.5	908.5	908.5	903.5	Anticipated	24	909.0	905.0	W.O.*	NO	
													Groundwater	93	911.5	907.5	DRIP 1		
														94	909.9	908.4	COURSE		
														95	914.6	910.3			
														96	913.0	909.0			
														97	908.0	906.9	W.O.*	NO	
														98	912.0	908.4	DRIP 1		
														99	913.1	910.9	COURSE		
														100	912.7	910.0			
														25	916.1	910.4	W.O.*	NO	
														101	913.1	908.6	DRIP 1		
														102	912.5	908.6	COURSE		
														103	912.3	908.3			
														104	911.6	909.5			
														207	919.7	908.2			

FOUNDING CALCULATIONS
 AND STORM SEWER DESIGN BY
FLOWE ENGINEERING, INC.



FLOWE ENGINEERING, INC.
 8778 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014

PHONE: (651) 281-8210
 FAX: (651) 281-8701

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam Orskel
 ADAM ORSKEL
 DATE: 03.03.2026 LIC. NO. 43983

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel: (651) 264-0900 Fax: (651) 264-0744

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

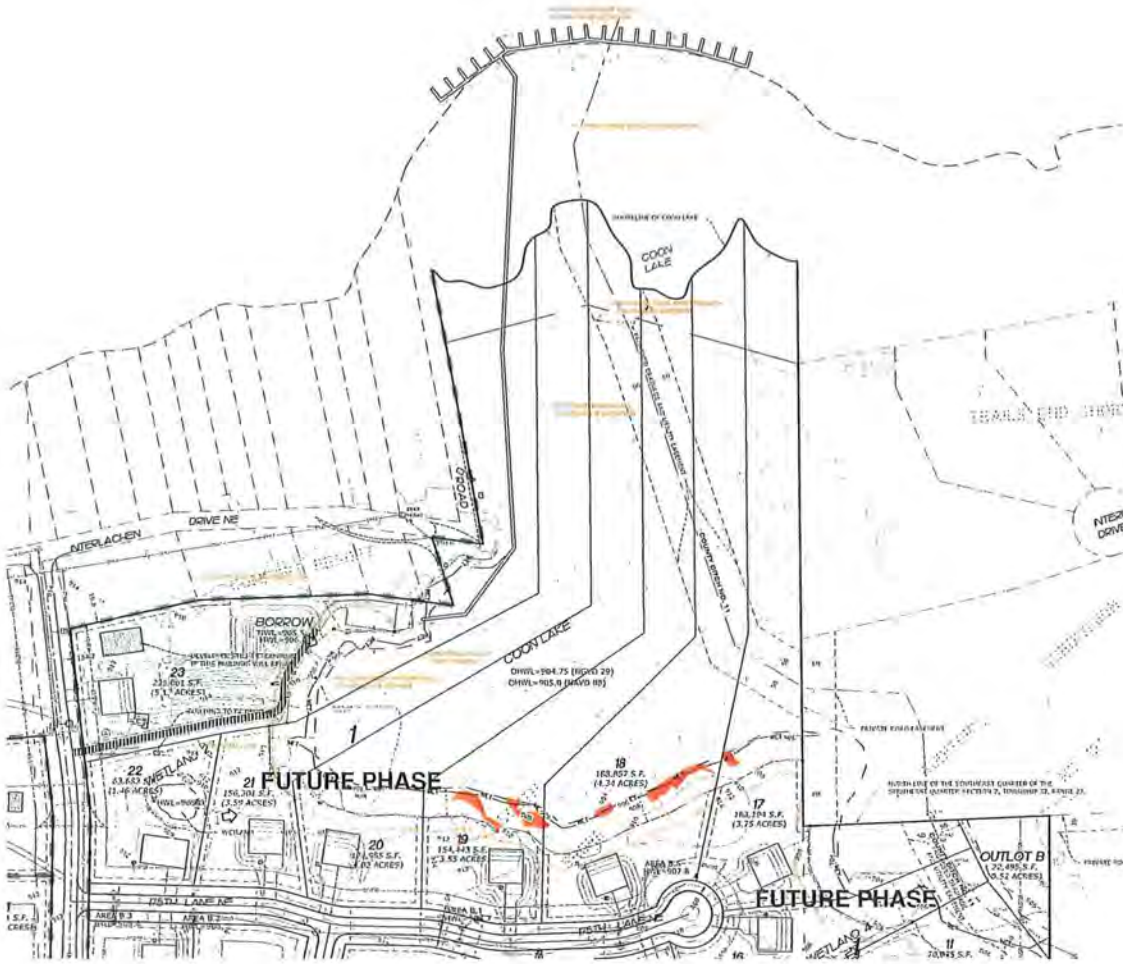
Jason E. Blum
 JASON E. BLUM
 DATE: 03/03/2026 License No. 41598

NOTES: * INDICATES DOWNED GARAGE
 ELEVATIONS BASED UPON 17' CREST ELEVATION
 (S) INDICATES STATIC GROUNDWATER ELEVATION
 (W) INDICATES LISTED ARE REFLECTING THE REAR YARD LOW DRIVING

DRAWN BY: BMD	JOB NO: 246947	DATE: 10/26/25
CHECKED BY: JLR	FIELD CHECKED BY:	
1 10/26/25	ADAMS QUAINANCE	RWD
2 11/24/25	CITY WATERBUSH COMMENTS	RWD
3 01/08/26	CITY WATERBUSH COMMENTS	RWD
4 02/11/26	CITY COMMENTS SETBACKS	RWD
5 02/09/26	CITY COMMENTS	RWD
6		

BOARDWALK AND DOCK EXHIBIT

-of- SOUTH SHORE ESTATES SECOND ADDITION
 -for- MN DEVELOPMENTS, LLC,
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471



TYPICAL EASEMENTS (NOT TO SCALE)



BEING 10 FEET IN WIDTH ADDING RIGHT OF WAY LINES
 AND 10 FEET IN WIDTH ADDING LOT LINES UNLESS
 OTHERWISE SHOWN.

SITE PHASING NOTES

THE DEVELOPER INTENDS TO APPLY FOR PRELIMINARY PLAT APPROVAL OF THE ENTIRE SITE, AND THEN APPLY FOR FINAL PLAT APPROVAL IN PHASES FOLLOWING PRELIMINARY PLAT APPROVAL. THE PRELIMINARY PLAT WILL COINCIDE WITH THE FINAL PLAT APPROVAL OF SOUTH SHORE ESTATES. THE PLAT OF SOUTH SHORE ESTATES IS A NECESSARY PLAT TO SUBDIVIDE THE PARCEL, SO THE DEVELOPER CAN PURCHASE THE UNDEVELOPED PARCELS.

NOTES

- Bearing Station are on Anish County Datum.
- Parcel ID Numbers: 02-32-23-34-0018
02-32-23-49-0003
02-32-23-44-0005
- Site Address: 3740 INTERLACHEN DR NE
17529 VICKERS ST NE
UNASSIGNED
- OWNER: First Colony Corporation
Daniel D. Halberg
Robert Halberg
Christine Halberg
Jessica Cook
Geoff Ode Flomsonis, LLC

DEVELOPMENT DATA

TOTAL SITE AREA - 105.314 ACRES
 PAVEMENT AREA - 7,354 ACRES
 10 UNDEVELOPED SINGLE FAMILY LOTS
 AVERAGE LOT SIZE - 2.45 ACRES
 MINIMUM STREET FRONTAGE = 200 FEET
 MINIMUM LOT SIZE = 1.00 ACRES (INCLUDING HALF OF STREET ROW)
 PROPOSED CORING = 0:1
 BUILDING SETBACKS:
 FRONT - 30 FEET
 SIDE - 10 FEET
 REAR - 50 FEET
 COUNTY ROAD - 50 FEET

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. BLO
 Date: 03/02/2016 License No. 41578

LEGEND

- DENOTES LINDA CONTIGUES (P INTERVAL)
- DENOTES BUILDING SETBACK LINE
- DENOTES WETLAND LINE DELINEATED BY KNOX HAVAS ENVIRONMENTAL SERVICES INC.
- DENOTES DEED AND PLYOFF LINES
- DENOTES PHASE LINE

GRAPHIC SCALE



1 INCH = 100 FEET

DRAWN BY	DATE	REVISION	DATE	REASON
1	03/02/16			PERMITS
2	03/02/16			CITY / OUTREACH COMMUNITY
3	03/02/16			CITY / OUTREACH COMMUNITY
4	03/02/16			CITY COMMENTS
5	03/02/16			CITY COMMENTS
6	03/02/16			PERMITS

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

SOUTH SHORE ESTATES SECOND ADDITION

TITLE SHEET, NOTES & LEGEND

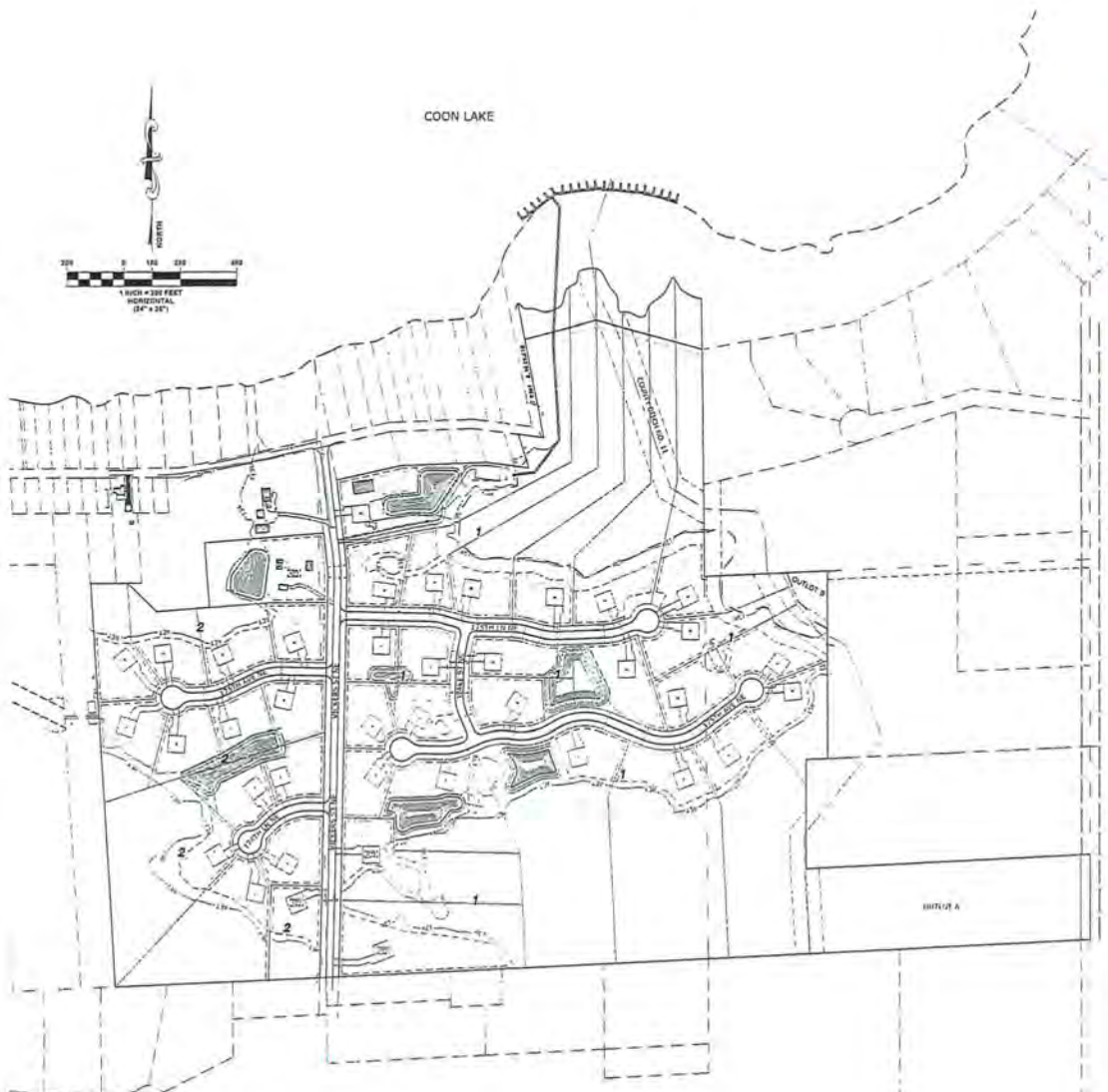
HAM LAKE, MINNESOTA



PROJECT	DATE
SCALE	DATE
REVISION	DATE
BY	DATE
CHECKED	DATE
APPROVED	DATE



COON LAKE



GENERAL NOTES

- THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
- CALL 811 FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATION.
- INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
- STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
- NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (CWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

STORM SEWER NOTES

- FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
- STORM SEWER SHALL BE:
 - IN REINFORCED CONCRETE PIPE (RCP) AND/OR 15TH 6.4 GASKETS.
 - IF PIPE SHALL MEET THE REQUIREMENTS OF ASTM D 2412, TYPE 2 WITH WATER-TIGHT CONNECTIONS. USE SANDWICH-LAYER MATERIAL FOR BACKFILLING AND COMPACTION OF HORIZONTAL PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D 2321.
- DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS INSPECTED BY CITY.
- TRAFFIC GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN CHAMFER.
- PROVIDE CLASS D RCP/RAP W/ FILTER FABRIC AT ALL PIPE OUTLETS.
- THE LAST THREE SECTIONS OF CONCRETE PIPE, INCLUDING APPROX. FOR CONCRETE PIPES LESS THAN 48" IN DIAMETER.
- STORM SEWER LENGTHS INCLUDE THE LAYED LENGTH OF THE FLARED-END SECTION, LAYED LENGTH OF FLARED-END SECTION TO BE REDUCED FROM PARALLEL LENGTH OF PIPE.
- ARCH PIPE JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEWERAGE FROM ENTERING PIPE.
- SEE SHEET C1.2 FOR STRUCTURE SCHEDULE.

LEGEND

	EXISTING STREAM CENTER
	EXISTING STORM MANHOLE
	EXISTING CATCH BASIN
	EXISTING FLARED-END SECTION
	EXISTING SUBPARALLEL WETLAND EPC2
	WETLAND BUFFER
	WETLAND BUFFER CHANGE
	PROPOSED STORM SEWER PIPE
	PROPOSED STORM MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED FLARED-END SECTION
	PROPOSED WETLAND
	PROPOSED SPOT ELEVATION (if TOTAL)

DEVELOPER
 MH DEVELOPMENTS, LLC
 1743 WARD LAKE DR NE
 HAM LAKE, MN 5504
 JEFF STALLBERGER
 952-761-4471
 JSTALL@MHSN.COM

ENGINEER
 PLOWE ENGINEERING, INC.
 876 LAKE DRIVE
 LIND LAKE, MN 5504
 ADAM GINKEL, P.E.
 952-261-1224
 ADAM@PLOWE.COM

SURVEYOR
 E.G. RUD & SONS LAND SURVEYING, INC.
 876 LAKE DRIVE
 LIND LAKE, MN 5504
 JASON RUD
 651-261-8225
 JRUD@EGRUD.COM

AN MPCA NPDES CONSTRUCTION PERMIT IS REQUIRED PRIOR TO THE START OF CONSTRUCTION

ALL PERMITS, INCLUDING BUT NOT LIMITED TO PERMITS FROM CITY OF HAM LAKE, MN/DOT, AND THE MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY, SHALL BE OBTAINED PRIOR TO ORDERING OF MATERIAL AND STARTING OF CONSTRUCTION. NO INSTALLATION OF UTILITIES SHALL BE PERMITTED UNTIL ALL APPLICABLE PERMITS ARE RECEIVED BY CONTRACTOR. INSTALLATION OF UTILITIES SHALL BE CONSTRUCTED TO MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY STANDARDS AND CITY STANDARDS AS IDENTIFIED IN THE PUBLIC WORKS/ENGINEERING STANDARDS.

SHEET INDEX

C0	TITLE SHEET, NOTES & LEGEND
C1.1	PLAN PROFILE - 17TH LN NE
C1.2	PLAN PROFILE - 17TH AVE NE (E OF VICKERS)
C1.3	PLAN PROFILE - 17TH AVE NE (W OF VICKERS) & WAKE ST NE
C1.4	PLAN PROFILE - 17TH LN NE
C1.5	PLAN PROFILE - POND OUTLETS & MISC. STORM
C1.6	INTERSECTION DETAILS
C1.7	INTERSECTION DETAILS & MISC. STORM
C2.1 - C2.2	SWPPP
C2.3	SOIL AMENDMENT PLAN
C1.1 - C2.3	DETAILS

SOUTH SHORE ESTATES SECOND ADDITION
 HAM LAKE, MN
TITLE SHEET, NOTES & LEGEND
 PREPARED FOR: MH DEVELOPMENTS, LLC
 SHEET
C0

GENERAL NOTES

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE ON ALL INCLUSIONS. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL CITY FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
5. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
6. NOTIFY CITY AND COGNATE GREEN WATERFED DISTRICT (CWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

STORM SEWER NOTES

1. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWER SHALL BE:
 - a. REINFORCED CONCRETE PIPE (RCP) AND/ OR WITH R-4 GASKETS
 - b. HOPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO U204, TYPE 2 WITH WATER TIGHT CONNECTIONS. USE SAND-GRANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HOPE-PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2231.
3. DO NOT BACKFILL DITCH BASINS UNTIL FABRIC WRAP IS INSPECTED BY CITY.
4. TRAFFIC GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER.
5. PROVIDE CLASS B RIN-RAP TO FILTER FABRIC AT ALL PIPE OUTLETS.
6. THE LAST THREE SECTIONS OF CONCRETE PIPE, INCLUDING APRON, FOR CONCRETE PIPES LESS THAN 48" IN DIAMETER.
7. STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
8. ARCH PIPE JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEDIMENT FROM ENTERING PIPE.
9. SEE SHEET C1.5 FOR STRUCTURE SCHEDULE.

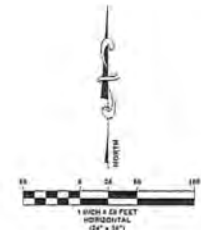
CURB & BITUMINOUS NOTES

1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL PRIOR TO ANY INSTALLATIONS.
2. ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAW-CUT AT FULL DEPTH.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
4. BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

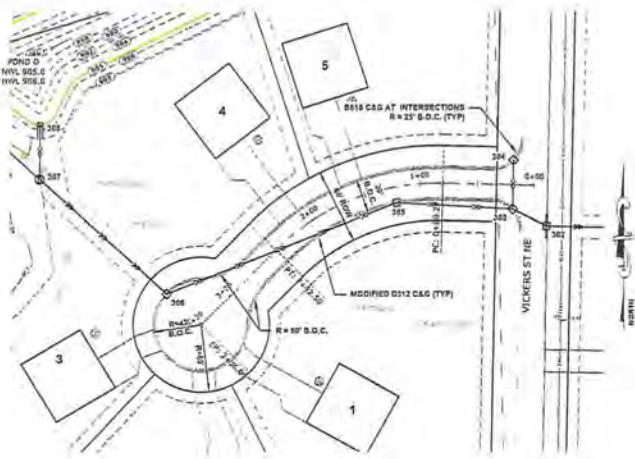
LEGEND



Know what's below.
Call before you dig.



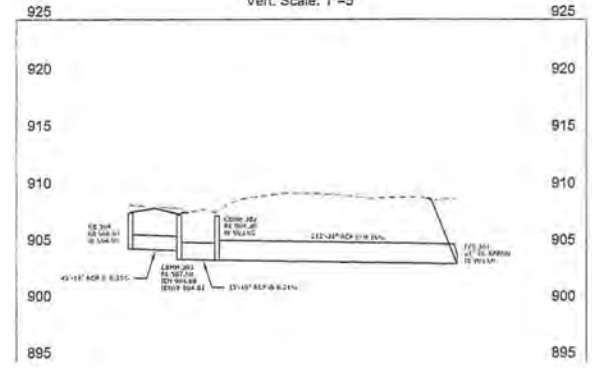
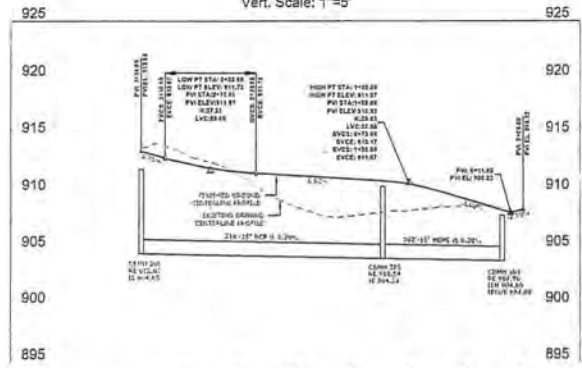
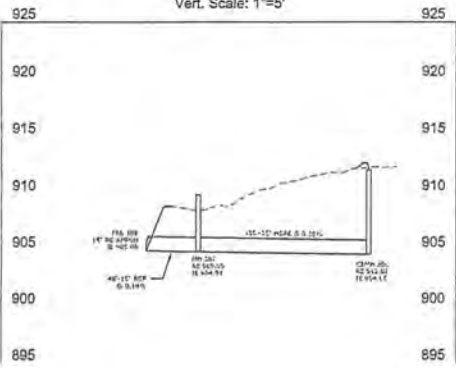
308 - 306
Horz. Scale: 1"=50'
Vert. Scale: 1"=5'



174th Lane NE
Horz. Scale: 1"=50'
Vert. Scale: 1"=5'



304 - 301
Horz. Scale: 1"=50'
Vert. Scale: 1"=5'



PLOWE ENGINEERING INC.
1000 17th St NW
Ft. Collins, CO 80521
Phone: 970.225.1111
Fax: 970.225.1112



NO.	DATE	BY	DESCRIPTION
1	11.13.25	PL	PRELIMINARY
2			
3			
4			
5			
6			
7			
8			
9			
10			

SOUTH SHORE ESTATES SECOND ADDITION
174th Lane, NW
PLAN / PROFILE - 174TH LN NE
PREPARED FOR: ANY DEVELOPMENTS, LLC.

GENERAL NOTES

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL "X" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
5. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
6. NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (CCWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

STORM SEWER NOTES

1. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWERS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWERS SHALL BE:
 - (A) REINFORCED CONCRETE PIPE (RCP) AND/ OR WITH R-4 GASKETS.
 - (B) HDPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M224, TYPE 5 WITH WATER TIGHT CONNECTIONS. USE SAND/SINGULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HDPE/PPVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D231.
3. DO NOT BACKFILL CATCH BASINS WITH FABRIC WRAP IS INSPECTED BY CITY.
4. TRUCK GUARDS ARE REQUIRED FOR ALL FLARED END SECTIONS LESS THAN 48" IN DIAMETER.
5. FLOW CLASS R-100-100 IN FILTER FABRIC AT ALL PIPE OUTLETS.
6. THE LAST THREE SECTIONS OF CONCRETE PIPE, INCLUDING ARCH, FOR CONCRETE PIPES LESS THAN 48" IN DIAMETER, STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED END SECTION. LAYING LENGTH OF FLARED END SECTION TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
7. ARCH PIPE JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEDIMENT FROM ENTERING PIPE.
8. SEE SHEET C1.5 FOR STRUCTURE SCHEDULE.

CURB & BITUMINOUS NOTES

1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL PRIOR TO ANY INSTALLATIONS.
2. ALL PATCH POINTS AND PAVEMENT PATCHES TO BE SAW-CUT AT FULL DEPTH.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
4. BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.



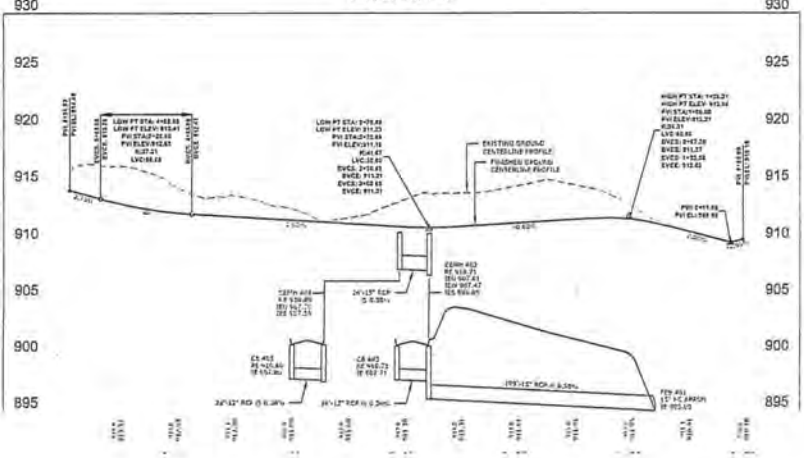
Know what's below.
Call before you dig.

LEGEND

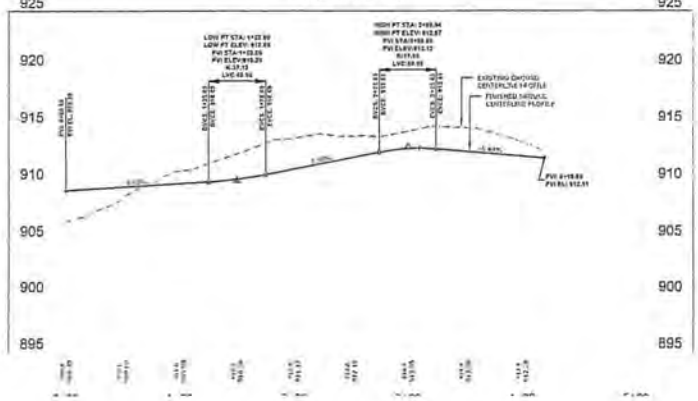
- EXISTING STORM SEWER
- EXISTING CATCH BASIN
- EXISTING FLARED END SECTION
- EXISTING DELAIDED WETLAND EDGE
- WETLAND BUFFER
- WETLAND BUFFER ZONING
- PROPOSED STORM SEWER, RCP
- PROPOSED STORM SEWER, HDPE
- PROPOSED CATCH BASIN
- PROPOSED FLARED END SECTION
- PROPOSED BOX CULVERT
- PROPOSED GROUND ELEVATION (DOTTED LINE)



175th Ave NE (W)
Horz. Scale: 1"=50'
Vert. Scale: 1"=5'



Wake Street NE
Horz. Scale: 1"=50'
Vert. Scale: 1"=5'



PROJECT NO.	DATE
CLIENT	SCALE
DESIGNER	DATE
CHECKER	DATE
APPROVER	DATE

NO.	DATE	DESCRIPTION
1	11/15/24	ISSUED FOR PERMIT
2	11/15/24	ISSUED FOR PERMIT
3	11/15/24	ISSUED FOR PERMIT
4	11/15/24	ISSUED FOR PERMIT
5	11/15/24	ISSUED FOR PERMIT
6	11/15/24	ISSUED FOR PERMIT
7	11/15/24	ISSUED FOR PERMIT
8	11/15/24	ISSUED FOR PERMIT
9	11/15/24	ISSUED FOR PERMIT
10	11/15/24	ISSUED FOR PERMIT

GENERAL NOTES

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL "111" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATION.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLANS.
5. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
6. NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (CCWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

STORM SEWER NOTES

1. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWER SHALL BE:
 - (A) REINFORCED CONCRETE PIPE (RCP) AND CI WITH R-4 GADGETS.
 - (B) PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M242, TYPE B WITH WATER-TIGHT CONNECTIONS. USE SAND-DRAWN LAMP MATERIAL FOR BACKFILLING AND COMPACTION OF HDPE/PPVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D2151.
3. DO NOT BACKFILL CATCH BASINS UNITS. FABRIC WRAP IS INSPECTED BY CITY.
4. TRASH GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER.
5. PROVIDE CLASS B RIF-847 W/ FILTER FABRIC AT ALL PIPE OUTLETS.
6. THE LAST THREE SECTIONS OF CONCRETE PIPE, INCLUDING APPROX. FOR CONCRETE PIPES LESS THAN 48" IN DIAMETER.
7. STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM PAVEMENT LENGTH OF PIPE. JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEDIMENT FROM ENTERING PIPE.
8. SEE SHEET C1.5 FOR STRUCTURE SCHEDULE.

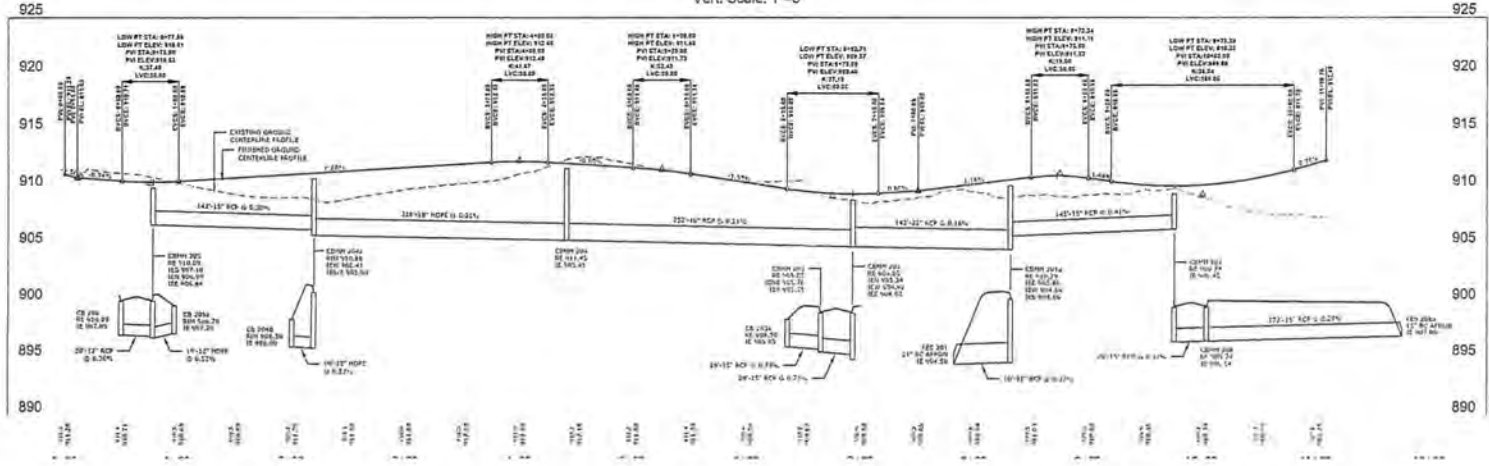
CURB & BITUMINOUS NOTES

1. REGIONAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
2. ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAW-CUT AT FULL DEPTH.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
4. BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

LEGEND



175th Lane NE
Horz. Scale: 1"=50'
Vert. Scale: 1"=5'



PLOWE ENGINEERING, INC.
1000 W. 175TH ST. SUITE 100
MILWAUKEE, WI 53224
TEL: 414.224.1111
WWW.PLOWEENGINEERING.COM

PRELIMINARY
MAY 2014

SOUTH SHORE STATES SECOND ADDITION
175th Lane NE
PLAN / PROFILE - 175TH LN NE
PREPARED FOR: MUI DEVELOPMENTS, LLC

SHEET C1.4

GENERAL NOTES

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING HIS OWN UTILITIES AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL "X" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
4. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
5. NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (CCWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
6. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY AGENCY.

STORM SEWER NOTES

1. FIELD VERIFY SIZE, ELEVATION AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWER SHALL BE:
 - (A) REINFORCED CONCRETE PIPE (RCP) (AC) C12.5 WITH R-4 GASKETS
 - (B) HDPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M29, TYPE 2 WITH WATER-TIGHT CONNECTIONS. USE SAND-GRAINULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HDPE/VC PIPE BY ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2221
3. DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WYAP IS INSPECTED BY CITY.
4. TRAFFIC GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER.
5. PROVIDE CLASS B (BIP-3A) 1/4" PETER FABRIC AT ALL PIPE OUTLETS.
6. THE LAST THREE SECTIONS OF CONCRETE PIPE, INCLUDING APPROX. FOR CONCRETE PIPES LESS THAN 48" IN DIAMETER.
7. STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION, LAYING LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
8. ANCHOR PIPES, JOINTS MUST BE TRIMMED WITH FABRIC OR OTHER PROTECTION TO PREVENT INGRESS FROM EXTERIOR PIPE.
9. SEE SHEET C1.5 FOR STRUCTURE SCHEDULE.

CURB & BITUMINOUS NOTES

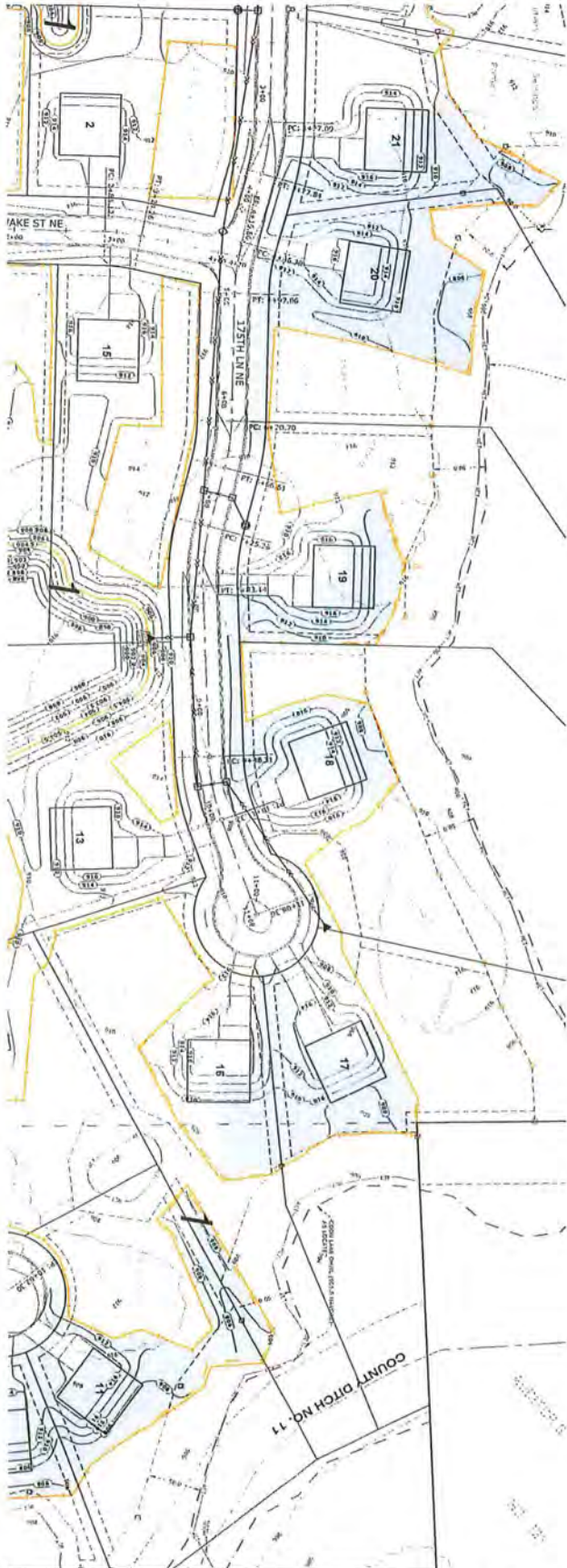
1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
2. ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAW-CUT AT FULL DEPTH.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
4. BACKFILLING OF CURBS IS INCIDENTAL TO CURB INSTALLATION.



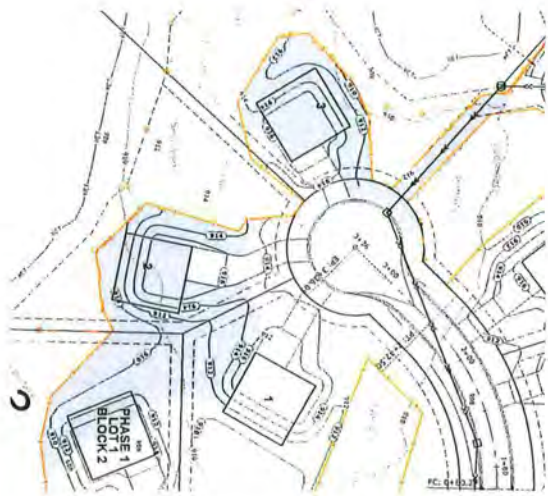
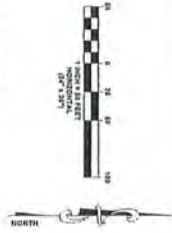
Know what's below.
Call before you dig.

LEGEND

- EXISTING STORM SEWER
- EXISTING STORM MANHOLE
- EXISTING GARDEN BASE
- EXISTING FLARED-END SECTION
- EXISTING UNGRADED WETLAND SWMP
- WETLAND BUFFER
- WETLAND BUFFER SIGNAGE
- PROPOSED 6" STORM SEWER PIPE
- PROPOSED 12" STORM SEWER
- PROPOSED 18" STORM SEWER
- PROPOSED 24" STORM SEWER
- PROPOSED 30" STORM SEWER
- PROPOSED 36" STORM SEWER
- PROPOSED 42" STORM SEWER
- PROPOSED 48" STORM SEWER
- PROPOSED 54" STORM SEWER
- PROPOSED 60" STORM SEWER
- PROPOSED 72" STORM SEWER
- PROPOSED 84" STORM SEWER
- PROPOSED 96" STORM SEWER
- PROPOSED 108" STORM SEWER
- PROPOSED 120" STORM SEWER
- PROPOSED 132" STORM SEWER
- PROPOSED 144" STORM SEWER
- PROPOSED 156" STORM SEWER
- PROPOSED 168" STORM SEWER
- PROPOSED 180" STORM SEWER
- PROPOSED 192" STORM SEWER
- PROPOSED 204" STORM SEWER
- PROPOSED 216" STORM SEWER
- PROPOSED 228" STORM SEWER
- PROPOSED 240" STORM SEWER
- PROPOSED 252" STORM SEWER
- PROPOSED 264" STORM SEWER
- PROPOSED 276" STORM SEWER
- PROPOSED 288" STORM SEWER
- PROPOSED 300" STORM SEWER
- PROPOSED 312" STORM SEWER
- PROPOSED 324" STORM SEWER
- PROPOSED 336" STORM SEWER
- PROPOSED 348" STORM SEWER
- PROPOSED 360" STORM SEWER
- PROPOSED 372" STORM SEWER
- PROPOSED 384" STORM SEWER
- PROPOSED 396" STORM SEWER
- PROPOSED 408" STORM SEWER
- PROPOSED 420" STORM SEWER
- PROPOSED 432" STORM SEWER
- PROPOSED 444" STORM SEWER
- PROPOSED 456" STORM SEWER
- PROPOSED 468" STORM SEWER
- PROPOSED 480" STORM SEWER
- PROPOSED 492" STORM SEWER
- PROPOSED 504" STORM SEWER
- PROPOSED 516" STORM SEWER
- PROPOSED 528" STORM SEWER
- PROPOSED 540" STORM SEWER
- PROPOSED 552" STORM SEWER
- PROPOSED 564" STORM SEWER
- PROPOSED 576" STORM SEWER
- PROPOSED 588" STORM SEWER
- PROPOSED 600" STORM SEWER
- PROPOSED 612" STORM SEWER
- PROPOSED 624" STORM SEWER
- PROPOSED 636" STORM SEWER
- PROPOSED 648" STORM SEWER
- PROPOSED 660" STORM SEWER
- PROPOSED 672" STORM SEWER
- PROPOSED 684" STORM SEWER
- PROPOSED 696" STORM SEWER
- PROPOSED 708" STORM SEWER
- PROPOSED 720" STORM SEWER
- PROPOSED 732" STORM SEWER
- PROPOSED 744" STORM SEWER
- PROPOSED 756" STORM SEWER
- PROPOSED 768" STORM SEWER
- PROPOSED 780" STORM SEWER
- PROPOSED 792" STORM SEWER
- PROPOSED 804" STORM SEWER
- PROPOSED 816" STORM SEWER
- PROPOSED 828" STORM SEWER
- PROPOSED 840" STORM SEWER
- PROPOSED 852" STORM SEWER
- PROPOSED 864" STORM SEWER
- PROPOSED 876" STORM SEWER
- PROPOSED 888" STORM SEWER
- PROPOSED 900" STORM SEWER
- PROPOSED 912" STORM SEWER
- PROPOSED 924" STORM SEWER
- PROPOSED 936" STORM SEWER
- PROPOSED 948" STORM SEWER
- PROPOSED 960" STORM SEWER
- PROPOSED 972" STORM SEWER
- PROPOSED 984" STORM SEWER
- PROPOSED 996" STORM SEWER
- PROPOSED 1008" STORM SEWER
- PROPOSED 1020" STORM SEWER
- PROPOSED 1032" STORM SEWER
- PROPOSED 1044" STORM SEWER
- PROPOSED 1056" STORM SEWER
- PROPOSED 1068" STORM SEWER
- PROPOSED 1080" STORM SEWER
- PROPOSED 1092" STORM SEWER
- PROPOSED 1104" STORM SEWER
- PROPOSED 1116" STORM SEWER
- PROPOSED 1128" STORM SEWER
- PROPOSED 1140" STORM SEWER
- PROPOSED 1152" STORM SEWER
- PROPOSED 1164" STORM SEWER
- PROPOSED 1176" STORM SEWER
- PROPOSED 1188" STORM SEWER
- PROPOSED 1200" STORM SEWER
- PROPOSED 1212" STORM SEWER
- PROPOSED 1224" STORM SEWER
- PROPOSED 1236" STORM SEWER
- PROPOSED 1248" STORM SEWER
- PROPOSED 1260" STORM SEWER
- PROPOSED 1272" STORM SEWER
- PROPOSED 1284" STORM SEWER
- PROPOSED 1296" STORM SEWER
- PROPOSED 1308" STORM SEWER
- PROPOSED 1320" STORM SEWER
- PROPOSED 1332" STORM SEWER
- PROPOSED 1344" STORM SEWER
- PROPOSED 1356" STORM SEWER
- PROPOSED 1368" STORM SEWER
- PROPOSED 1380" STORM SEWER
- PROPOSED 1392" STORM SEWER
- PROPOSED 1404" STORM SEWER
- PROPOSED 1416" STORM SEWER
- PROPOSED 1428" STORM SEWER
- PROPOSED 1440" STORM SEWER
- PROPOSED 1452" STORM SEWER
- PROPOSED 1464" STORM SEWER
- PROPOSED 1476" STORM SEWER
- PROPOSED 1488" STORM SEWER
- PROPOSED 1500" STORM SEWER
- PROPOSED 1512" STORM SEWER
- PROPOSED 1524" STORM SEWER
- PROPOSED 1536" STORM SEWER
- PROPOSED 1548" STORM SEWER
- PROPOSED 1560" STORM SEWER
- PROPOSED 1572" STORM SEWER
- PROPOSED 1584" STORM SEWER
- PROPOSED 1596" STORM SEWER
- PROPOSED 1608" STORM SEWER
- PROPOSED 1620" STORM SEWER
- PROPOSED 1632" STORM SEWER
- PROPOSED 1644" STORM SEWER
- PROPOSED 1656" STORM SEWER
- PROPOSED 1668" STORM SEWER
- PROPOSED 1680" STORM SEWER
- PROPOSED 1692" STORM SEWER
- PROPOSED 1704" STORM SEWER
- PROPOSED 1716" STORM SEWER
- PROPOSED 1728" STORM SEWER
- PROPOSED 1740" STORM SEWER
- PROPOSED 1752" STORM SEWER
- PROPOSED 1764" STORM SEWER
- PROPOSED 1776" STORM SEWER
- PROPOSED 1788" STORM SEWER
- PROPOSED 1800" STORM SEWER
- PROPOSED 1812" STORM SEWER
- PROPOSED 1824" STORM SEWER
- PROPOSED 1836" STORM SEWER
- PROPOSED 1848" STORM SEWER
- PROPOSED 1860" STORM SEWER
- PROPOSED 1872" STORM SEWER
- PROPOSED 1884" STORM SEWER
- PROPOSED 1896" STORM SEWER
- PROPOSED 1908" STORM SEWER
- PROPOSED 1920" STORM SEWER
- PROPOSED 1932" STORM SEWER
- PROPOSED 1944" STORM SEWER
- PROPOSED 1956" STORM SEWER
- PROPOSED 1968" STORM SEWER
- PROPOSED 1980" STORM SEWER
- PROPOSED 1992" STORM SEWER
- PROPOSED 2004" STORM SEWER
- PROPOSED 2016" STORM SEWER
- PROPOSED 2028" STORM SEWER
- PROPOSED 2040" STORM SEWER
- PROPOSED 2052" STORM SEWER
- PROPOSED 2064" STORM SEWER
- PROPOSED 2076" STORM SEWER
- PROPOSED 2088" STORM SEWER
- PROPOSED 2100" STORM SEWER
- PROPOSED 2112" STORM SEWER
- PROPOSED 2124" STORM SEWER
- PROPOSED 2136" STORM SEWER
- PROPOSED 2148" STORM SEWER
- PROPOSED 2160" STORM SEWER
- PROPOSED 2172" STORM SEWER
- PROPOSED 2184" STORM SEWER
- PROPOSED 2196" STORM SEWER
- PROPOSED 2208" STORM SEWER
- PROPOSED 2220" STORM SEWER
- PROPOSED 2232" STORM SEWER
- PROPOSED 2244" STORM SEWER
- PROPOSED 2256" STORM SEWER
- PROPOSED 2268" STORM SEWER
- PROPOSED 2280" STORM SEWER
- PROPOSED 2292" STORM SEWER
- PROPOSED 2304" STORM SEWER
- PROPOSED 2316" STORM SEWER
- PROPOSED 2328" STORM SEWER
- PROPOSED 2340" STORM SEWER
- PROPOSED 2352" STORM SEWER
- PROPOSED 2364" STORM SEWER
- PROPOSED 2376" STORM SEWER
- PROPOSED 2388" STORM SEWER
- PROPOSED 2400" STORM SEWER
- PROPOSED 2412" STORM SEWER
- PROPOSED 2424" STORM SEWER
- PROPOSED 2436" STORM SEWER
- PROPOSED 2448" STORM SEWER
- PROPOSED 2460" STORM SEWER
- PROPOSED 2472" STORM SEWER
- PROPOSED 2484" STORM SEWER
- PROPOSED 2496" STORM SEWER
- PROPOSED 2508" STORM SEWER
- PROPOSED 2520" STORM SEWER
- PROPOSED 2532" STORM SEWER
- PROPOSED 2544" STORM SEWER
- PROPOSED 2556" STORM SEWER
- PROPOSED 2568" STORM SEWER
- PROPOSED 2580" STORM SEWER
- PROPOSED 2592" STORM SEWER
- PROPOSED 2604" STORM SEWER
- PROPOSED 2616" STORM SEWER
- PROPOSED 2628" STORM SEWER
- PROPOSED 2640" STORM SEWER
- PROPOSED 2652" STORM SEWER
- PROPOSED 2664" STORM SEWER
- PROPOSED 2676" STORM SEWER
- PROPOSED 2688" STORM SEWER
- PROPOSED 2700" STORM SEWER
- PROPOSED 2712" STORM SEWER
- PROPOSED 2724" STORM SEWER
- PROPOSED 2736" STORM SEWER
- PROPOSED 2748" STORM SEWER
- PROPOSED 2760" STORM SEWER
- PROPOSED 2772" STORM SEWER
- PROPOSED 2784" STORM SEWER
- PROPOSED 2796" STORM SEWER
- PROPOSED 2808" STORM SEWER
- PROPOSED 2820" STORM SEWER
- PROPOSED 2832" STORM SEWER
- PROPOSED 2844" STORM SEWER
- PROPOSED 2856" STORM SEWER
- PROPOSED 2868" STORM SEWER
- PROPOSED 2880" STORM SEWER
- PROPOSED 2892" STORM SEWER
- PROPOSED 2904" STORM SEWER
- PROPOSED 2916" STORM SEWER
- PROPOSED 2928" STORM SEWER
- PROPOSED 2940" STORM SEWER
- PROPOSED 2952" STORM SEWER
- PROPOSED 2964" STORM SEWER
- PROPOSED 2976" STORM SEWER
- PROPOSED 2988" STORM SEWER
- PROPOSED 3000" STORM SEWER
- PROPOSED 3012" STORM SEWER
- PROPOSED 3024" STORM SEWER
- PROPOSED 3036" STORM SEWER
- PROPOSED 3048" STORM SEWER
- PROPOSED 3060" STORM SEWER
- PROPOSED 3072" STORM SEWER
- PROPOSED 3084" STORM SEWER
- PROPOSED 3096" STORM SEWER
- PROPOSED 3108" STORM SEWER
- PROPOSED 3120" STORM SEWER
- PROPOSED 3132" STORM SEWER
- PROPOSED 3144" STORM SEWER
- PROPOSED 3156" STORM SEWER
- PROPOSED 3168" STORM SEWER
- PROPOSED 3180" STORM SEWER
- PROPOSED 3192" STORM SEWER
- PROPOSED 3204" STORM SEWER
- PROPOSED 3216" STORM SEWER
- PROPOSED 3228" STORM SEWER
- PROPOSED 3240" STORM SEWER
- PROPOSED 3252" STORM SEWER
- PROPOSED 3264" STORM SEWER
- PROPOSED 3276" STORM SEWER
- PROPOSED 3288" STORM SEWER
- PROPOSED 3300" STORM SEWER
- PROPOSED 3312" STORM SEWER
- PROPOSED 3324" STORM SEWER
- PROPOSED 3336" STORM SEWER
- PROPOSED 3348" STORM SEWER
- PROPOSED 3360" STORM SEWER
- PROPOSED 3372" STORM SEWER
- PROPOSED 3384" STORM SEWER
- PROPOSED 3396" STORM SEWER
- PROPOSED 3408" STORM SEWER
- PROPOSED 3420" STORM SEWER
- PROPOSED 3432" STORM SEWER
- PROPOSED 3444" STORM SEWER
- PROPOSED 3456" STORM SEWER
- PROPOSED 3468" STORM SEWER
- PROPOSED 3480" STORM SEWER
- PROPOSED 3492" STORM SEWER
- PROPOSED 3504" STORM SEWER
- PROPOSED 3516" STORM SEWER
- PROPOSED 3528" STORM SEWER
- PROPOSED 3540" STORM SEWER
- PROPOSED 3552" STORM SEWER
- PROPOSED 3564" STORM SEWER
- PROPOSED 3576" STORM SEWER
- PROPOSED 3588" STORM SEWER
- PROPOSED 3600" STORM SEWER
- PROPOSED 3612" STORM SEWER
- PROPOSED 3624" STORM SEWER
- PROPOSED 3636" STORM SEWER
- PROPOSED 3648" STORM SEWER
- PROPOSED 3660" STORM SEWER
- PROPOSED 3672" STORM SEWER
- PROPOSED 3684" STORM SEWER
- PROPOSED 3696" STORM SEWER
- PROPOSED 3708" STORM SEWER
- PROPOSED 3720" STORM SEWER
- PROPOSED 3732" STORM SEWER
- PROPOSED 3744" STORM SEWER
- PROPOSED 3756" STORM SEWER
- PROPOSED 3768" STORM SEWER
- PROPOSED 3780" STORM SEWER
- PROPOSED 3792" STORM SEWER
- PROPOSED 3804" STORM SEWER
- PROPOSED 3816" STORM SEWER
- PROPOSED 3828" STORM SEWER
- PROPOSED 3840" STORM SEWER
- PROPOSED 3852" STORM SEWER
- PROPOSED 3864" STORM SEWER
- PROPOSED 3876" STORM SEWER
- PROPOSED 3888" STORM SEWER
- PROPOSED 3900" STORM SEWER
- PROPOSED 3912" STORM SEWER
- PROPOSED 3924" STORM SEWER
- PROPOSED 3936" STORM SEWER
- PROPOSED 3948" STORM SEWER
- PROPOSED 3960" STORM SEWER
- PROPOSED 3972" STORM SEWER
- PROPOSED 3984" STORM SEWER
- PROPOSED 3996" STORM SEWER
- PROPOSED 4008" STORM SEWER
- PROPOSED 4020" STORM SEWER
- PROPOSED 4032" STORM SEWER
- PROPOSED 4044" STORM SEWER
- PROPOSED 4056" STORM SEWER
- PROPOSED 4068" STORM SEWER
- PROPOSED 4080" STORM SEWER
- PROPOSED 4092" STORM SEWER
- PROPOSED 4104" STORM SEWER
- PROPOSED 4116" STORM SEWER
- PROPOSED 4128" STORM SEWER
- PROPOSED 4140" STORM SEWER
- PROPOSED 4152" STORM SEWER
- PROPOSED 4164" STORM SEWER
- PROPOSED 4176" STORM SEWER
- PROPOSED 4188" STORM SEWER
- PROPOSED 4200" STORM SEWER
- PROPOSED 4212" STORM SEWER
- PROPOSED 4224" STORM SEWER
- PROPOSED 4236" STORM SEWER
- PROPOSED 4248" STORM SEWER
- PROPOSED 4260" STORM SEWER
- PROPOSED 4272" STORM SEWER
- PROPOSED 4284" STORM SEWER
- PROPOSED 4296" STORM SEWER
- PROPOSED 4308" STORM SEWER
- PROPOSED 4320" STORM SEWER
- PROPOSED 4332" STORM SEWER
- PROPOSED 4344" STORM SEWER
- PROPOSED 4356" STORM SEWER
- PROPOSED 4368" STORM SEWER
- PROPOSED 4380" STORM SEWER
- PROPOSED 4392" STORM SEWER
- PROPOSED 4404" STORM SEWER
- PROPOSED 4416" STORM SEWER
- PROPOSED 4428" STORM SEWER
- PROPOSED 4440" STORM SEWER
- PROPOSED 4452" STORM SEWER
- PROPOSED 4464" STORM SEWER
- PROPOSED 4476" STORM SEWER
- PROPOSED 4488" STORM SEWER
- PROPOSED 4500" STORM SEWER
- PROPOSED 4512" STORM SEWER
- PROPOSED 4524" STORM SEWER
- PROPOSED 4536" STORM SEWER
- PROPOSED 4548" STORM SEWER
- PROPOSED 4560" STORM SEWER
- PROPOSED 4572" STORM SEWER
- PROPOSED 4584" STORM SEWER
- PROPOSED 4596" STORM SEWER
- PROPOSED 4608" STORM SEWER
- PROPOSED 4620" STORM SEWER
- PROPOSED 4632" STORM SEWER
- PROPOSED 4644" STORM SEWER
- PROPOSED 4656" STORM SEWER
- PROPOSED 4668" STORM SEWER
- PROPOSED 4680" STORM SEWER
- PROPOSED 4692" STORM SEWER
- PROPOSED 4704" STORM SEWER
- PROPOSED 4716" STORM SEWER
- PROPOSED 4728" STORM SEWER
- PROPOSED 4740" STORM SEWER
- PROPOSED 4752" STORM SEWER
- PROPOSED 4764" STORM SEWER
- PROPOSED 4776" STORM SEWER
- PROPOSED 4788" STORM SEWER
- PROPOSED 4800" STORM SEWER
- PROPOSED 4812" STORM SEWER
- PROPOSED 4824" STORM SEWER
- PROPOSED 4836" STORM SEWER
- PROPOSED 4848" STORM SEWER
- PROPOSED 4860" STORM SEWER
- PROPOSED 4872" STORM SEWER
- PROPOSED 4884" STORM SEWER
- PROPOSED 4896" STORM SEWER
- PROPOSED 4908" STORM SEWER
- PROPOSED 4920" STORM SEWER
- PROPOSED 4932" STORM SEWER
- PROPOSED 4944" STORM SEWER
- PROPOSED 4956" STORM SEWER
- PROPOSED 4968" STORM SEWER
- PROPOSED 4980" STORM SEWER
- PROPOSED 4992" STORM SEWER
- PROPOSED 5004" STORM SEWER
- PROPOSED 5016" STORM SEWER
- PROPOSED 5028" STORM SEWER
- PROPOSED 5040" STORM SEWER
- PROPOSED 5052" STORM SEWER
- PROPOSED 5064" STORM SEWER
- PROPOSED 5076" STORM SEWER
- PROPOSED 5088" STORM SEWER
- PROPOSED 5100" STORM SEWER
- PROPOSED 5112" STORM SEWER
- PROPOSED 5124" STORM SEWER
- PROPOSED 5136" STORM SEWER
- PROPOSED 5148" STORM SEWER
- PROPOSED 5160" STORM SEWER
- PROPOSED 5172" STORM SEWER
- PROPOSED 5184" STORM SEWER
- PROPOSED 5196" STORM SEWER
- PROPOSED 5208" STORM SEWER
- PROPOSED 5220" STORM SEWER
- PROPOSED 5232" STORM SEWER
- PROPOSED 5244" STORM SEWER
- PROPOSED 5256" STORM SEWER
- PROPOSED 5268" STORM SEWER
- PROPOSED 5280" STORM SEWER
- PROPOSED 5292" STORM SEWER
- PROPOSED 5304" STORM SEWER
- PROPOSED 5316" STORM SEWER
- PROPOSED 5328" STORM SEWER
- PROPOSED 5340" STORM SEWER
- PROPOSED 5352" STORM SEWER
- PROPOSED 5364" STORM SEWER
- PROPOSED 5376" STORM SEWER
- PROPOSED 5388" STORM SEWER
- PROPOSED 5400" STORM SEWER
- PROPOSED 5412" STORM SEWER
- PROPOSED 5424" STORM SEWER
- PROPOSED 5436" STORM SEWER
- PROPOSED 5448" STORM SEWER
- PROPOSED 5460" STORM SEWER
- PROPOSED 5472" STORM SEWER
- PROPOSED 5484" STORM SEWER
- PROPOSED 5496" STORM SEWER
- PROPOSED 5508" STORM SEWER
- PROPOSED 5520" STORM SEWER
- PROPOSED 5532" STORM SEWER
- PROPOSED 5544" STORM SEWER
- PROPOSED 5556" STORM SEWER
- PROPOSED 5568" STORM SEWER
- PROPOSED 5580" STORM SEWER
- PROPOSED 5592" STORM SEWER
- PROPOSED 5604" STORM SEWER
- PROPOSED 5616" STORM SEWER
- PROPOSED 5628" STORM SEWER
- PROPOSED 5640" STORM SEWER
- PROPOSED 5652" STORM SEWER
- PROPOSED 5664" STORM SEWER
- PROPOSED 5676" STORM SEWER
- PROPOSED 5688" STORM SEWER
- PROPOSED 5700" STORM SEWER
- PROPOSED 5712" STORM SEWER
- PROPOSED 5724" STORM SEWER
- PROPOSED 5736" STORM SEWER
- PROPOSED 5748" STORM SEWER
- PROPOSED 5760" STORM SEWER
- PROPOSED 5772" STORM SEWER
- PROPOSED 5784" STORM SEWER
- PROPOSED 5796" STORM SEWER
- PROPOSED 5808" STORM SEWER
- PROPOSED 5820" STORM SEWER
- PROPOSED 5832" STORM SEWER
- PROPOSED 5844" STORM SEWER
- PROPOSED 5856" STORM SEWER
- PROPOSED 5868" STORM SEWER
- PROPOSED 5880" STORM SEWER
- PROPOSED 5892" STORM SEWER
- PROPOSED 5904" STORM SEWER
- PROPOSED 5916" STORM SEWER
- PROPOSED 5928" STORM SEWER
- PROPOSED 5940" STORM SEWER
- PROPOSED 5952" STORM SEWER
- PROPOSED 5964" STORM SEWER
- PROPOSED 5976" STORM SEWER
- PROPOSED 5988" STORM SEWER
- PROPOSED 6000" STORM SEWER
- PROPOSED 6012" STORM SEWER
- PROPOSED 6024" STORM SEWER
- PROPOSED 6036" STORM SEWER
- PROPOSED 6048" STORM SEWER
- PROPOSED 6060" STORM SEWER
- PROPOSED 6072" STORM SEWER
- PROPOSED 6084" STORM SEWER
- PROPOSED 6096" STORM SEWER
- PROPOSED 6108" STORM SEWER
- PROPOSED 6120" STORM SEWER
- PROPOSED 6132" STORM SEWER
- PROPOSED 6144" STORM SEWER
- PROPOSED 6156" STORM SEWER
- PROPOSED 6168" STORM SEWER
- PROPOSED 6180" STORM SEWER
- PROPOSED 6192" STORM SEWER
- PROPOSED 6204" STORM SEWER
- PROPOSED 6216" STORM SEWER
- PROPOSED 6228" STORM SEWER
- PROPOSED 6240" STORM SEWER
- PROPOSED 6252" STORM SEWER
- PROPOSED 6264" STORM SEWER
- PROPOSED 6276" STORM SEWER
- PROPOSED 6288" STORM SEWER
- PROPOSED 6300" STORM SEWER
- PROPOSED 6312" STORM SEWER
- PROPOSED 6324" STORM SEWER
- PROPOSED 6336" STORM SEWER
- PROPOSED 6348" STORM SEWER
- PROPOSED 6360" STORM SEWER
- PROPOSED 6372" STORM SEWER
- PROPOSED 6384" STORM SEWER
- PROPOSED 6396" STORM SEWER
- PROPOSED 6408" STORM SEWER
- PROPOSED 6420" STORM SEWER
- PROPOSED 6432" STORM SEWER
- PROPOSED 6444" STORM SEWER
- PROPOSED 6456" STORM SEWER
- PROPOSED 6468" STORM SEWER
- PROPOSED 6480" STORM SEWER
- PROPOSED 6492" STORM SEWER
- PROPOSED 6504" STORM SEWER
- PROPOSED 6516" STORM SEWER
- PROPOSED 6528" STORM SEWER
- PROPOSED 6540" STORM SEWER
- PROPOSED 6552" STORM SEWER
- PROPOSED 6564" STORM SEWER
- PROPOSED 6576" STORM SEWER
- PROPOSED 6588" STORM SEWER
- PROPOSED 6600" STORM SEWER
- PROPOSED 6612" STORM SEWER
- PROPOSED 6624" STORM SEWER
- PROPOSED 6636" STORM SEWER
- PROPOSED 6648" STORM SEWER
- PROPOSED 6660" STORM SEWER
- PROPOSED 6672" STORM SEWER
- PROPOSED 6684" STORM SEWER
- PROPOSED 6696" STORM SEWER
- PROPOSED 6708" STORM SEWER
- PROPOSED 6720" STORM SEWER
- PROPOSED 6732" STORM SEWER
- PROPOSED 6744" STORM SEWER
- PROPOSED 6756" STORM SEWER
- PROPOSED 6768" STORM SEWER
- PROPOSED 6780" STORM SEWER
- PROPOSED 6792" STORM SEWER
- PROPOSED 6804" STORM SEWER
- PROPOSED 6816" STORM SEWER
- PROPOSED 6828" STORM SEWER
- PROPOSED 6840" STORM SEWER
- PROPOSED 6852" STORM SEWER
- PROPOSED 6864" STORM SEWER
- PROPOSED 6876" STORM SEWER
- PROPOSED 6888" STORM SEWER
- PROPOSED 6900" STORM SEWER
- PROPOSED 6912" STORM SEWER
- PROPOSED 6924" STORM SEWER
- PROPOSED 6936" STORM SEWER
- PROPOSED 6948" STORM SEWER
- PROPOSED 6960" STORM SEWER
- PROPOSED 6972" STORM



- OPTION D: AMEND EXISTING SOILS IN PLACE**
- SOIL AMENDMENT GUIDELINES**
1. APPLY 4.25 LAYERS OF COMPOST TO SOIL AREAS.
 - 1.1. NOTE RETAIN RECORDS & RECEIPTS FOR COMPOST DELIVERED TO SITE FOR COMPOST INSPECTIONS.
 2. ROTOTILL COMPOST INTO SOIL TO A MIN. DEPTH OF 8" BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW, RIPPER OR SUBSOILER.
-  = SOIL AMENDMENT AREAS



SOUTH SHORE ESTATES SECOND ADDITION
 HAM LAKE, MN
SOILS AMENDMENT PLAN
 PREPARED FOR: MN DEVELOPMENTS, LLC

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.

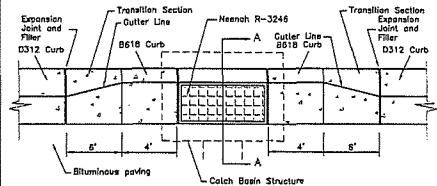
PRELIMINARY
 ADAM GIRDEL
 Date: 03/01/2008 Source: 114 4192

NO.	DATE	DESCRIPTION
1	03/01/08	SHEET ADDED TO PLAN SET
2		
3		
4		
5		
6		
7		
8		
9		
10		

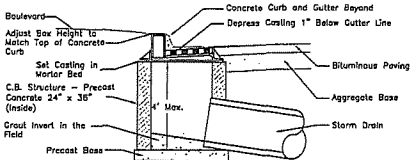
ENGINEER
 ADAM GIRDEL
 LICENSE NO. 24784
 CHECK BY
 TISA
 DATE
 03/01/08

PLOWE
 ENGINEERING, INC.
 575 LAKELAND DRIVE
 SUITE 100
 LITTLETON, MN 55120
 PHONE: 651.361.6246
 FAX: 651.361.6247

SHEET
C2.3



CATCH BASIN PLAN

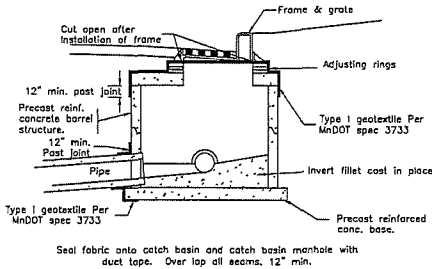


SECTION A-A

- NOTE:
 1. 2 Min., 3 Max. Adjustment Rings
 2. Stagger on the adjustment rings not to exceed 3/4 inch total.

RECTANGULAR CATCH BASIN HL-459B

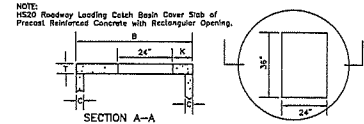
NOT TO SCALE



SECTIONAL VIEW

FABRIC AROUND CATCH BASIN HL-463A1

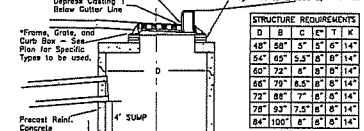
NOT TO SCALE



SECTION A-A

PLAN OF COVER SLAB

- NOTE:
 1. Steps needed for structure height greater than 4".
 2. Cover Slab to Rest on Bed of Mortar on Full Thickness of Structure Walls, not to Rest on Pipe Tongue or Groove.
 3. Location of Structure as Shown in Plans.
 4. See Plans for Box and Grate Type.



SECTIONAL VIEW

RECTANGULAR INLET FOR ROUND MANHOLE HL-465A2

NOT TO SCALE

PRELIMINARY

DATE: 03/20/2004

PROJECT: SOUTH SHORE ESTATES SECOND ADDITION

LOCATION: HAIN LAKE, MI

PREPARED FOR: KMI DEVELOPMENTS, LLC

DATE: 03/20/2004

PROJECT: SOUTH SHORE ESTATES SECOND ADDITION

LOCATION: HAIN LAKE, MI

PREPARED FOR: KMI DEVELOPMENTS, LLC

DATE: 03/20/2004

PROJECT: SOUTH SHORE ESTATES SECOND ADDITION

LOCATION: HAIN LAKE, MI

PREPARED FOR: KMI DEVELOPMENTS, LLC

DATE: 03/20/2004

PROJECT: SOUTH SHORE ESTATES SECOND ADDITION

LOCATION: HAIN LAKE, MI

PREPARED FOR: KMI DEVELOPMENTS, LLC

DATE: 03/20/2004

PROJECT: SOUTH SHORE ESTATES SECOND ADDITION

LOCATION: HAIN LAKE, MI

PREPARED FOR: KMI DEVELOPMENTS, LLC

DATE: 03/20/2004

PROJECT: SOUTH SHORE ESTATES SECOND ADDITION

LOCATION: HAIN LAKE, MI

PREPARED FOR: KMI DEVELOPMENTS, LLC

DATE: 03/20/2004

PROJECT: SOUTH SHORE ESTATES SECOND ADDITION

LOCATION: HAIN LAKE, MI

PREPARED FOR: KMI DEVELOPMENTS, LLC

DATE: 03/20/2004

PROJECT: SOUTH SHORE ESTATES SECOND ADDITION

LOCATION: HAIN LAKE, MI

PREPARED FOR: KMI DEVELOPMENTS, LLC

DATE: 03/20/2004

PROJECT: SOUTH SHORE ESTATES SECOND ADDITION

LOCATION: HAIN LAKE, MI

PREPARED FOR: KMI DEVELOPMENTS, LLC

DATE: 03/20/2004

PROJECT: SOUTH SHORE ESTATES SECOND ADDITION

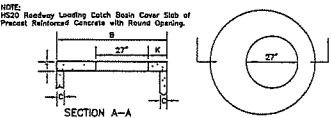
LOCATION: HAIN LAKE, MI

PREPARED FOR: KMI DEVELOPMENTS, LLC

DATE: 03/20/2004

CURB END DETAIL HL-380A

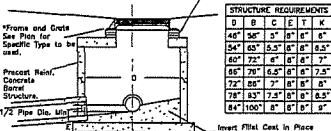
NOT TO SCALE



SECTION A-A

PLAN OF COVER SLAB

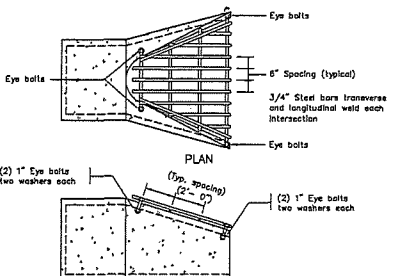
- NOTE:
 1. Steps needed for structure height greater than 4".
 2. Cover Slab to Rest on Bed of Mortar on Full Thickness of Structure Walls, not to Rest on Pipe Tongue or Groove.
 3. Location of Structure as Shown in Plans.



SECTIONAL VIEW

ROUND MANHOLE HL-465C

NOT TO SCALE



PLAN

ELEVATION

- NOTE:
 1.) Trash guard to be galvanized after fabrication
 2.) The size of each trash guard will vary to fit the apron size.
 3.) All bolts to be non-rusting stainless steel.
 4.) Weld all bolts to prevent entry after final storm sewer cleaning.
 5.) Round all steel bars such that ends are smooth and free of burrs.

FOR PIPE DIAMETERS 30" AND SMALLER

RCP TRASH GUARD HL-466B

NOT TO SCALE

TABLE OF QUANTITIES
Riprap at RCP Outlets

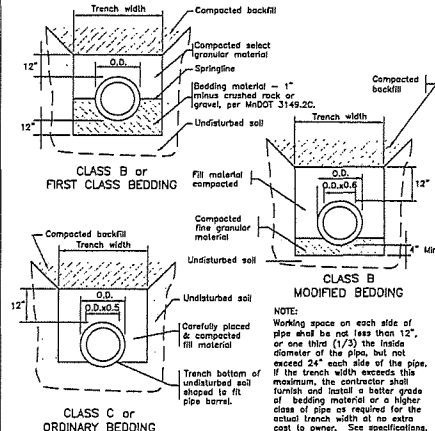
Pipe (In.)	L (Ft.)	Class II Riprap at RCP Outlets		
		Class II Dip = 6" (Cu. Yd.)	Class III Dip = 9" (Cu. Yd.)	Class IV Dip = 12" (Cu. Yd.)
12	8	3.0	4.4	5.9
15	8	3.2	4.6	6.4
18	10	4.3	6.4	8.5
21	10	4.7	7.1	9.4
24	12	6.2	9.2	12.3
27	12	6.6	9.9	13.2
30	14	8.2	12.3	16.4
36	16	10.8	15.8	21.1
42	18	12.5	18.7	24.8
48	20	14.8	22.2	29.6

Riprap at RCP Outlets

Pipe (In.)	L (Ft.)	Riprap at RCP Outlets		
		Class II Dip = 6" (Cu. Yd.)	Class III Dip = 9" (Cu. Yd.)	Class IV Dip = 12" (Cu. Yd.)
22	10	4.1	6.1	8.1
28	12	5.7	8.5	11.3
36	14	7.5	11.2	14.9
43	16	9.5	14.3	19.0
51	18	11.3	16.9	22.5
58	20	13.2	19.8	26.4

RIPRAP AT RCP OUTLETS HL-480A1

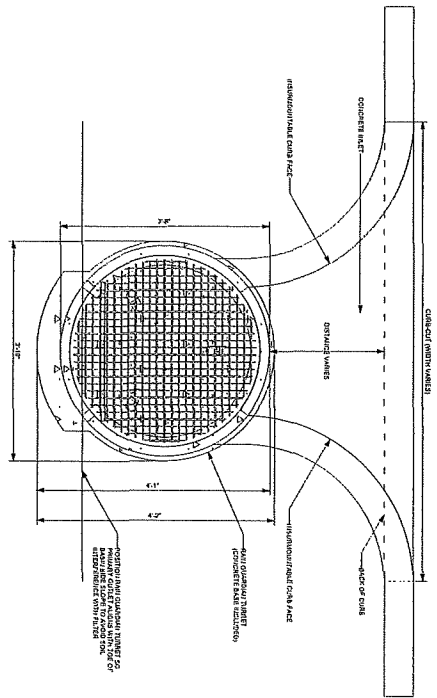
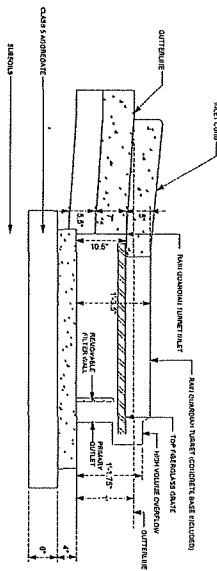
NOT TO SCALE



PIPE BEDDING EXCEPT PVC PIPE HL-652C

NOT TO SCALE

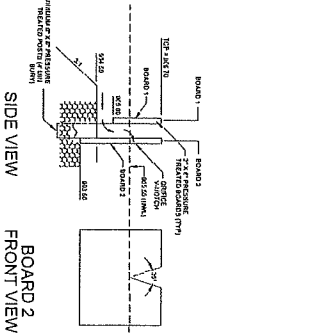
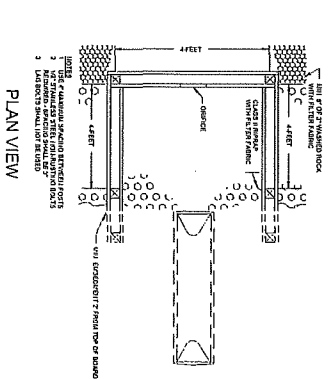




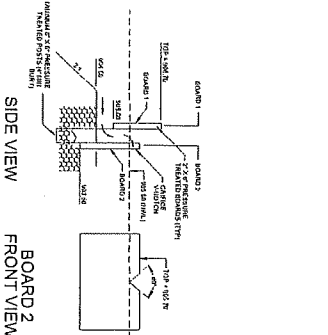
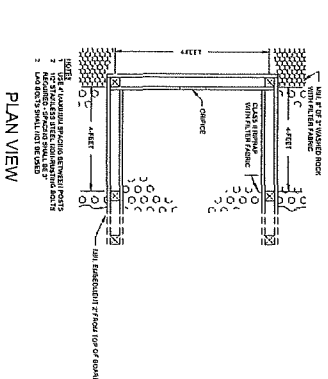
2" POLYPROPYLENE FIBER
 4" GRAVEL 1.500 S&W, UNB07211
 APPROVED GEOTECHNICAL ENGINEER OR
 CONSULTANT TO BE DETERMINED BY CLIENT

RAIN GUARDIAN - TURRET STYLE
 N.T.S.

GOLF CART PATH SECTION
 N.T.S.



BORROW AREA 1 (EAST OF VICKERS ST) BAFFLE WEIR
 N.T.S.



BORROW AREA 2 (WEST OF VICKERS ST) BAFFLE WEIR
 N.T.S.

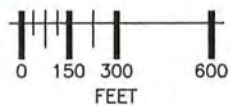
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Wisconsin.
PRELIMINARY
 ADAM CHIKEL
 Date: 03/03/2016 License No. 43902

NO.	DATE	DESCRIPTION
1	11/28/15	RFC & CIVIL REVIEW COMMENTS #1
2	01/09/16	RFC & CIVIL REVIEW COMMENTS #2
3	03/03/16	GOLF CART PATH FAVORABLE REPORT ADDED
4		
5		
6		
7		
8		
9		
10		

DRAWN BY: AG
 JOB NO: 14-2114
 CHECK BY: MCA
 DATE: 10/20/15

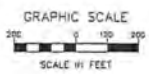
PLOWE ENGINEERING, INC.
 8716 LAKESHORE DRIVE
 SUITE 110
 MENAUGE, WI 53051
 PHONE: (414) 263-8210
 FAX: (414) 263-8791

COON LAKE



SECTION 2, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

32	21	12	11
23	24	13	14
32	31	42	41

NORTH HALF OF SECTION
SOUTH HALF OF SECTION

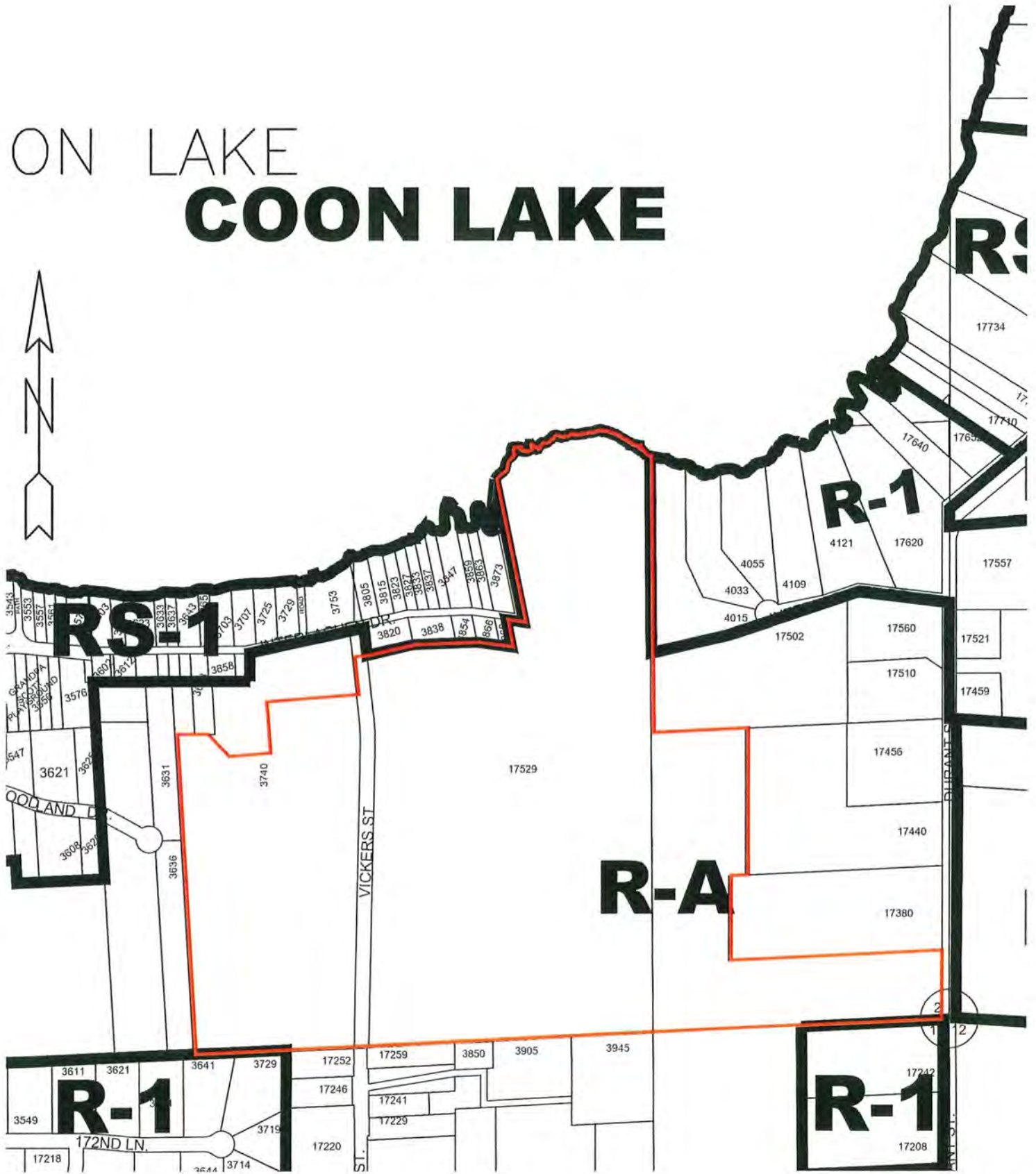
PROPERTY IDENTIFICATION NUMBER

Section	Township	Range	Quarter	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: (1)

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

ON LAKE COON LAKE



**Tradewell Soil Testing
18330 Dahlia Street NW
Cedar, MN 55011
(763) 286-9095**

March 2nd, 2026

RFC Engineering
13635 Johnson Street NE
Ham Lake, MN 55304

To whom it may concern:

As a licensed site evaluator who conducted the soil borings in South Shore Estates 2nd, for Minnesota Developments, LLC, I found the following: Each boring has at least 12” of natural, undisturbed soil with no redox features (mottled soil). In order to design and install a standard soil treatment system according to MN Chapter 7080 Code, at least 12” of natural soil with no signs of redox (mottling) is required. Therefore, each of the proposed lots will support 2 “standard” septic systems within the 7,500 square feet septic area as shown on the Grading Plan.

Sincerely,

A handwritten signature in cursive script that reads "Mark Tradewell".

Mark Tradewell
MPCA #307

David Krugler

From: MS4Front <do_not_reply@ms4prod.ms4front.net>
Sent: Tuesday, March 10, 2026 8:13 AM
To: danandys@icloud.com
Cc: permitsubmittals@cooncreekwd.org; David Krugler; Dwebster@hamlakemn.gov; adam@plowe.com; stally68@msn.com
Subject: CCWD Notice of Permit Application Status

Project: South Shore Estates Second Addition
Permit Application Number: P-25-038
Applicant (Property Owner): Daniel Hallberg
Purpose: Grading and stormwater management for 41 single-family lots
Location: 3740 Interlachen Dr NE

At their meeting on the Board of Managers of the Coon Creek Watershed District conditionally approved the above referenced project with 3 conditions and 3 stipulations. **This is NOT a permit.**

Prior to permit issuance, the following conditions must be fulfilled.

Conditions:

1. Provide redundant perimeter control around Wetland 8.
2. Submittal of a performance escrow in the amount of \$19,000.00.
3. Please update the Soil Amendment Plan on sheet C2.3 to show the full extents of the amended areas within subcatchment 5.

After issuance, the permit will include the following stipulations that will need to be fulfilled before permit closeout:

Stipulations:

1. Submittal of as-builts for the stormwater management practices and associated structures listed in Table 2 of the Application Review Report dated 3/4/2026, including volume, critical elevations and proof of installation for hydrodynamic separators.
2. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.
- 3.
4. The applicant must apply for coverage under the Minnesota Pollution Control Agency's (MPCA's) Construction Stormwater Permit (Permit No: MNR100001)

Please respond to each of the above items in writing when resubmitting revised materials to the District. Please use the link below when submitting all project documents.

[Access Permit # P-25-038 Here](#)

Please be advised that this is NOT a permit, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rules. If you have any questions, please call 763-755-0975.