CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
info@ci.ham-lake.mn.us

CITY OF HAM LAKE
CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY AGENDA
MONDAY, OCTOBER 20, 2025

1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance
2.0 PUBLIC COMMENT
3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS
3.1 Lt. Anthony Mendoza, Anoka County Sheriff's Office Report

4.0 CONSENT AGENDA
These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)
4.1 Approval of minutes of October 6, 2025 and Workshop Meeting minutes of October 6, 2025
4.2 Approval of claims
4.3 Approval of scheduling a Budget Workshop meeting on Monday, November 3, 2025 at 5:00 p.m.
4.4 Approval of the contract with Embedded Systems for the maintenance and monitoring of the radio equipment for the outdoor warning sirens
4.5 Approval of an agreement to contract with Michelle Russell for animal control services
4.6 Approval of hiring a full-time Streets/Park Maintenance Worker, subject to a BCA check and CDL drug test
4.7 Approval of a Resolution accepting a $5,000 donation from the Ham Lake Chamber of Commerce
4.8 Approval of a Resolution acting on the Letter of Credit (LOC) in the amount of $7,500 for Larson Systems, Inc. located at 13847 Aberdeen Street NE

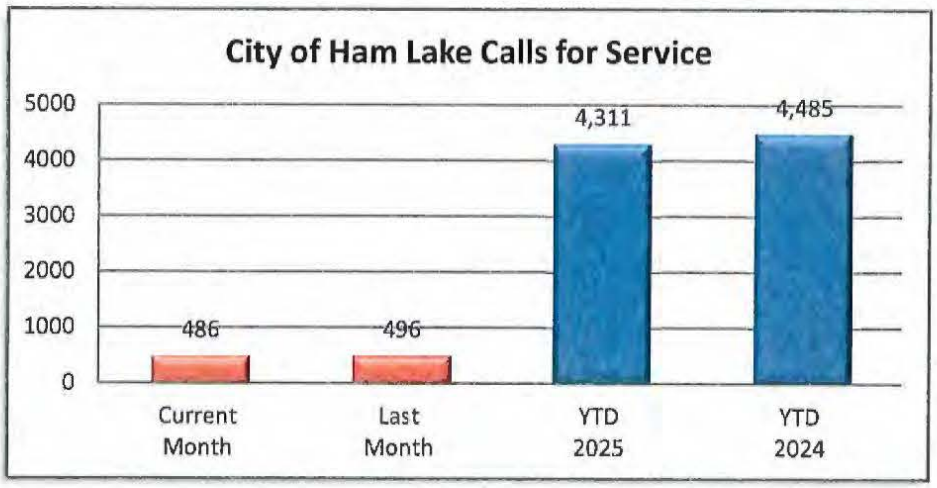
5.0 PLANNING COMMISSION RECOMMENDATIONS
5.1 Daniel Tousignant of Allan Dorney Construction MN, Inc, on behalf of The Church of St. Paul, requesting Commercial Site Plan approval for the construction of a 60' X 80' storage building at 1740 Bunker Lake Boulevard NE
5.2 Brian Larson of Classic Construction Services, on behalf of Dercon Construction Services, Inc., requesting Commercial Site Plan approval for the construction of an office warehouse building at 14961 Aberdeen Street NE
5.3 Nate Byom of Kwik Trip, Inc requesting Commercial Site Plan approval for the construction of convenience store (retail facility), with 10 fuel dispensers, at proposed Lot 1, Block 1 of Elwell Commercial Park at the northwest corner of 143rd Avenue NE and Highway 65 NE

6.0 ECONOMIC DEVELOPMENT AUTHORITY – None
7.0 APPEARANCES – None
8.0 CITY ATTORNEY
9.0 CITY ENGINEER
10.0 CITY ADMINISTRATOR
11.0 COUNCIL BUSINESS
11.1 Committee Reports
11.2 Announcements and future agenda items

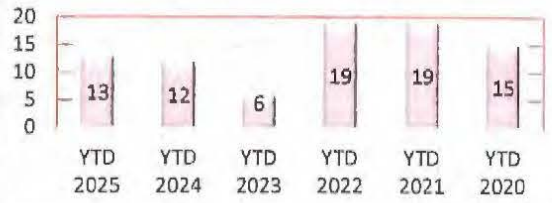
CLOSED MEETING - pursuant to Minn. Stat. Sec. 13D.05, subd 3(c), to discuss the sale of city owned property PIN 32-32-23-43-0026) (during a recess of the regularly scheduled City Council meeting)

PATROL DIVISION **CITY OF HAM LAKE - SEPTEMBER 2025**

OFFENSE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	YTD 2025	YTD 2024
Call for Service	**433**	**411**	**434**	**429**	**507**	**517**	**598**	**496**	**486**				**4,311**	**4,485**
Burglaries	1	1	0	2	6	0	0	1	2				13	12
Thefts	8	4	3	8	10	7	7	13	6				66	86
Crim Sex Conduct	0	0	2	1	1	0	0	0	2				6	1
Assault	3	1	1	1	4	1	3	1	1				16	17
Dam to Property	0	1	3	2	0	4	2	2	1				15	41
Harass Comm	0	0	0	0	0	1	0	0	0				1	1
PI Accidents	3	4	7	2	12	9	8	8	10				63	65
PD Accidents	26	20	16	32	29	21	19	23	28				214	239
Medical	67	71	70	49	70	72	60	60	59				578	573
Animal Complaint	24	21	20	26	23	37	23	20	38				232	249
Alarms	30	39	34	30	31	35	24	22	19				264	244
Felony Arrests	3	1	8	1	3	1	0	1	4				22	27
GM Arrests	5	2	6	5	3	5	7	2	2				37	33
Misd Arrests	7	10	5	5	3	9	2	5	3				49	53
DUI Arrests	5	3	4	3	1	2	4	2	1				25	23
Drug Arrests	0	1	4	0	0	1	0	0	1				7	13
Domestic Arrests	3	1	1	0	4	1	1	1	0				12	10
Warrant Arrests	4	0	2	3	2	1	5	4	3				24	39
Traffic Stops	134	103	197	167	127	112	133	120	134				1,227	2052
Traffic Arrests	27	38	74	60	41	28	36	35	38				377	681

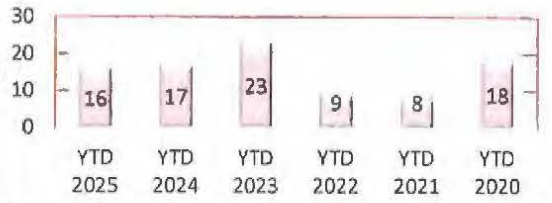


BURGLARIES



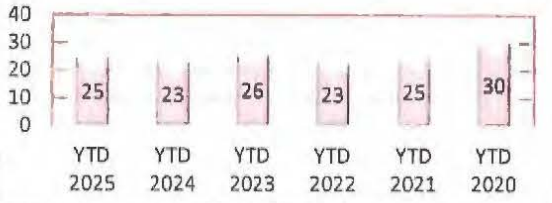
THEFTS

ASSAULTS

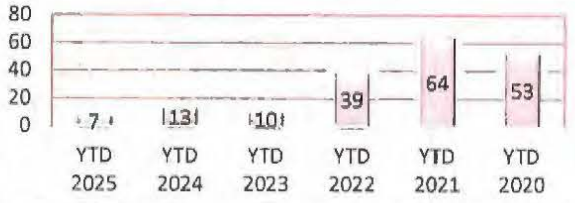


DAMAGE TO PROPERTY

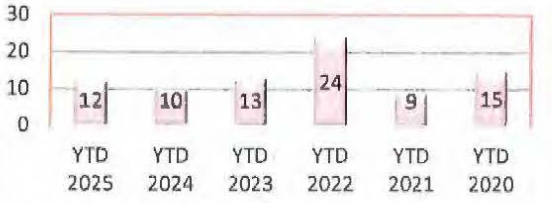
DUI ARRESTS



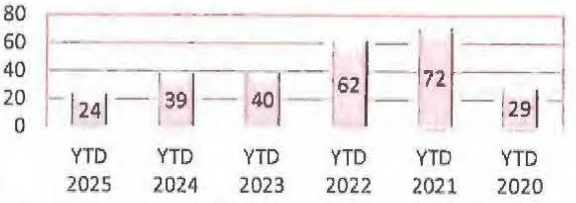
DRUG ARRESTS



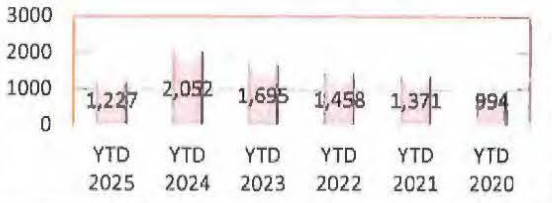
DOMESTIC ARRESTS



WARRANT ARRESTS



TRAFFIC STOPS



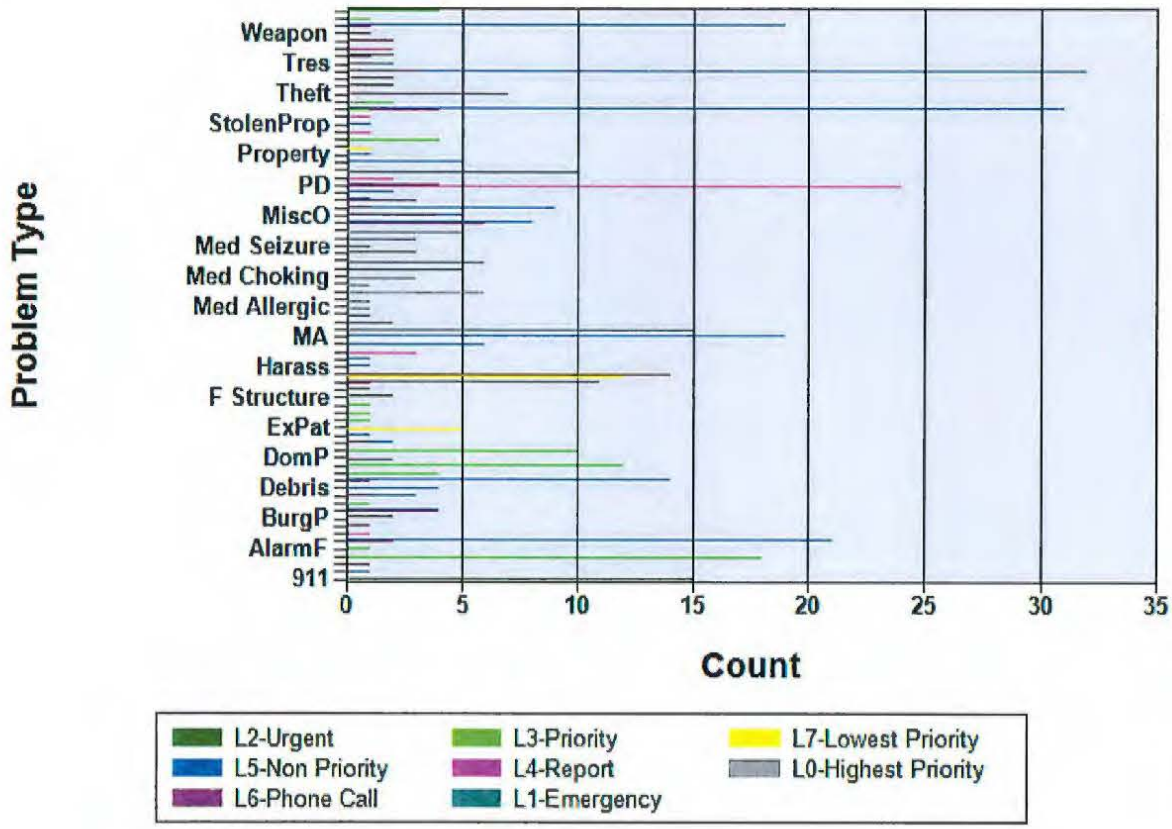
TRAFFIC ARRESTS

Problem Type Summary

1:33 PM 10/13/2025
Data Source: Data Warehouse

Agency:	**LAW ENFORCEMENT**
Division:	**Ham Lake Law**
Day Range:	**Date From 9/1/2025 To 9/30/2025**
Exclusion:	• **Calls canceled before first unit assigned**

Select a format Export



Priority	Description
0	L0-Highest Priority
1	L1-Emergency
2	L2-Urgent
3	L3-Priority
4	L4-Report
5	L5-Non Priority
6	L6-Phone Call
7	L7-Lowest Priority

Problem Type	Priority 0	1	2	3	4	5	6	7	Total
911			15						**15**
Abandon						1			**1**
Abuse							1		**1**
AbuseP									
AlarmB				18					**18**

AlarmCO									
AlarmCOill									
AlarmF				1					**1**
AlarmFsmoke									
AlarmHoldup									
AlarmV									
AlarmWF									
Animal						21	2		**23**
AnimalResc									
Arson									
Assault					1				**1**
AssaultP									
Boat Assist									
Bomb									
BombP									
Broadcast									
Burg							1		**1**
BurgP			2						**2**
Civil						4	4		**8**
CivilP				1					**1**
CSC						3	1		**4**
Debris						4			**4**
Deer						14	1		**15**
Disorderly				4					**4**
Dom				12		1	8		**21**
DomP		2							**2**
Drugs									
DUI				10					**10**
Dumping						2	1		**3**
Escort						1			**1**
ExPat								5	**5**
F Aircraft									
F Assist									
F CleanUp									
F Collapse									
F Dump									
F Elec Smell				1					**1**
F Expl									
F Gas Odor In				1					**1**
F Gas Odor Out									
F Grass fire									
F Illegal				1					**1**
F Misc									
F Mutual Aid									
F Oven									
F Powerlines									
F SmokeIn									
F SmokeOut									
F Structure			2						**2**
F Train									
F Veh									
F Water Rescue									
Fight			1						**1**
Flood in									
Flood out									
Fraud					1	1	11		**13**
FraudP									
FU							14	12	**26**
FW									
Gun									
Harass						1			**1**
Info						1			**1**
Lift Assist					3				**3**
Liq									
Lockout						6			**6**
LockoutP									

MA						19			**19**
MASS									
Med -		15							**15**
Med Abdominal Pain		2							**2**
Med Alarm		1							**1**
Med Allergic	1								**1**
Med Assault	1								**1**
Med Bleed									
Med Breathing Diff	6								**6**
Med Breathing Not	1								**1**
Med Choking	3								**3**
Med Drown									
Med Electro									
Med Fall		5							**5**
Med Heart		6							**6**
Med Hold			3						**3**
Med Info									
Med OB									
Med Priority									
Med Seizure		1							**1**
Med Stab-Gunshot									
Med Stroke		3							**3**
Med Uncon	5								**5**
Medex									
Misc						8	6		**14**
MiscO						5	4		**9**
Noise						9	1		**10**
NoTag									
Ord						1	3		**4**
Other									
Park						2			**2**
PD					24		4		**28**
Person					2				**2**
PI		10							**10**
POR						5			**5**
Property						1			**1**
PW								1	**1**
REPO-TOW									
RJ									
RoadClosure									
Robbery									
RobberyP									
Shots				4					**4**
Slumper					1				**1**
StolenProp						1			**1**
Suicide					1				**1**
SuicideP									
Susp				1		31	4		**36**
SuspP				2					**2**
Theft						2	7		**9**
TheftP			2						**2**
Threat						1	2		**3**
ThreatP									
Traf						32	3		**35**
Tres						2	1		**3**
UNK			2				1		**3**
Unsecure					2				**2**
Vand						1	2		**3**
VandP									
VehTheft									
VehTheftP									
Weapon							1		**1**
Weather									
Welfare						19	1		**20**
WelfareP				1					**1**
WT				4					**4**

Total	17	45	27	61	35	199	84	18	486

Go Back Close

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CITY OF HAM LAKE
CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY MINUTES
MONDAY, OCTOBER 6, 2025

The Ham Lake City Council and Economic Development Authority met for its regular meeting on Monday, October 6, 2025 at 6:00 p.m. in the Council Chambers at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Mayor Brian Kirkham and Councilmembers Andrew Hallberg, Al Parranto, and Mike Van Kirk

MEMBERS ABSENT: Councilmember Jim Doyle

OTHERS PRESENT: City Attorney, Mark Berglund; City Engineer, Dave Krugler; City Administrator, Denise Webster; and Deputy City Clerk, Dawnette Shimek

1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance
Mayor Kirkham called the meeting to order and the Pledge of Allegiance was recited by all in attendance.

2.0 PUBLIC COMMENT – None

3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS
3.1 Senator Michael Kreun and Representative Nolan West (not present) - Legislative Update
Senator Michael Kreun was present before the City Council to give the recent legislative session update. Senator Kreun stated that he was elected as the Assistant Minority Leader. Senator Kreun stated that a 66.4-billion-dollar budget was passed in the Special Session. Senator Kreun stated that a sticking point for the legislative session was free health care for illegal immigrants and in order to get the bill passed, it was compromised that adult immigrants would not be covered, but children would still be covered. Senator Kreun discussed the massive fraud that has come to light in Minnesota, the amount of time it is taking for permitting with the DNR and MPCA agencies, the transportation bill, highway projects, and the cannabis law. The Mayor and Councilmembers thanked Senator Kreun.

4.0 CONSENT AGENDA
These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)
4.1 Approval of minutes of September 15, 2025
4.2 Approval of claims in the amount of $1,346,377.50

4.3 Approval of closing (non-emergency City operations) on December 26, 2025 and January 2, 2026
4.4 Approval of the 2026 Residential Recycling Agreement with Anoka County
4.5 Approval of the Outdoor Lighting Energy and Maintenance Agreement for streetlights in Elwell Farms
4.6 Approval of Ordinance No. 25-13 rezoning Elwell Farms
4.7 Approval of Resolution No. 25-37 changing the name of 138th Avenue NE to 139th Avenue NE, between Fraizer Street NE and Opal Street NE within the plat of Elwell Farms
4.8 Approval of Resolution No. 25-38 re-activating a Deferred Assessment
4.9 Approval of Resolution No. 25-39 accepting a donation from Designing Earth Contracting (DEC) for the prep work at Hidden Forest East Park
4.10 Approval of Partnership with Coon Creek Watershed District for dredging of Waconia Street Bridge over Coon Creek
4.11 Approval of accepting the 2025 bituminous overlay project and commencing the one-year warranty period
4.12 Approval of Change Order #1 for Crosstown Business Park

Motion by Kirkham, seconded by Van Kirk, to approve the Consent Agenda as written. All present in favor, motion carried.

5.0 PLANNING COMMISSION RECOMMENDATIONS

5.1 Adam Bradley of Enthusiast Car Co., requesting a Conditional Use Permit to operate an automobile repair shop at 1353 172nd Lane NE and adoption of Resolution No. 25-40

Motion by Kirkham, seconded by Parranto, to concur with the recommendation of the Planning Commission and approve a Conditional Use Permit, as requested by Adam Bradley, of Enthusiast Car Co., to operate an automobile repair shop at 1353 172nd Lane NE subject to:

1. **Auto repair being limited to vehicle maintenance and mechanical repair only. No auto-body repair allowed.**
2. **No outside storage of liquids, tires, parts, etc.**
3. **All repair work needs to be done inside the building.**
4. **All fluids are to be contained and disposed of according to State and County requirements.**
5. **All auto sales activities be kept separate from the auto repair, and all requirements of Article 7-900 be adhered to for auto sales.**
6. **Business hours of Monday through Friday are 7:00 am to 4:00 pm.**
7. **Meeting all City, County, and State requirements.**
8. **Adoption of Resolution No. 25-40**

All present in favor, motion carried.

6.0 ECONOMIC DEVELOPMENT AUTHORITY – None
7.0 APPEARANCES – None
8.0 CITY ATTORNEY – None
9.0 CITY ENGINEER – None
10.0 CITY ADMINISTRATOR – None

11.0 COUNCIL BUSINESS

11.1 Committee Reports – None

11.2 Announcements and future agenda items

Councilmember Hallberg stated that he would not be at the next two City Council meetings and will be returning for the November 17, 2025 City Council meeting.

Motion by Parranto, seconded by Hallberg, to adjourn the meeting at 6:46 p.m. All present in favor, motion carried.

_____

Dawnette Shimek, Deputy City Clerk

CITY OF HAM LAKE

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CITY OF HAM LAKE
CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY
WORKSHOP MEETING MINUTES
MONDAY, OCTOBER 6, 2025

The Ham Lake City Council met on Monday, October 6, 2025 at 5:00 p.m. in the Conference Room at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Mayor Brian Kirkham and Councilmembers Al Parranto, Mike Van Kirk, and Andrew Hallberg

MEMBERS ABSENT: Councilmember Jim Doyle

OTHERS PRESENT: City Attorney, Mark Berglund; City Administrator, Denise Webster; Finance Director Andrea Murff; and Deputy City Clerk, Dawnette Shimek

1.0 Call to Order
Mayor Kirkham called the meeting to order at 5:00 p.m.

2.0 Discussion of a Verizon Wireless Tower with Alex Truemen from Truemen Site Acquisition
Alex Truemen stated he is working with Vertical Bridge and was before the City Council because there is a gap in coverage for Verizon wireless users within the area of Fox Run Park. Mr. Truemen stated that he wanted to discuss constructing a Verizon Wireless Tower at Fox Run Park. Mr. Trueman stated that the Ham Lake City Code requires wireless towers to be located on land owned by the City of Ham Lake, or upon which the City of Ham Lake holds an easement for road or utility purposes. Mr. Truemen asked if this is something the City Council would be interested in. Mr. Truemen stated that his plan was for the cell tower to be located near the sliding hill in Fox Run Park. Mr. Truemen stated that the cost is approximately $400,000 to construct a 199-foot-tall tower and the tower would be built to accommodate multiple users and would be paid by Vertical Bridge. Mr. Truemen stated that the lease amount from Verizon Wireless on the tower would be $7,200 a year ($600 a month). Finance Director Murff stated that we are currently receiving approximately $1,400 a month for current tower leases at other sites. Mayor Kirkham stated that this makes zero sense financially for the City. Mr. Truemen stated that he is requesting to obtain conceptual approval from the City Council. Mayor Kirkham stated that he is not in favor of having a tower located within Fox Run Park, especially next to the sliding hill. Councilmember Van Kirk stated that he is open to the concept and feels that it is the City's responsibility to have the infrastructure within the City. The City Council directed Finance Director Murff to work with Alex Truemen from Vertical Bridge to look for alternative locations to construct a Verizon Wireless Tower within Fox Run Park.

Motion by Kirkham, seconded by Parranto, to adjourn the workshop meeting at 5:52 p.m. All present in favor, motion carried.

_____
Dawnette Shimek, Deputy City Clerk

CITY OF HAM LAKE
CLAIMS SUBMITTED TO COUNCIL
October 20, 2025

CITY OF HAM LAKE

EFTS, CHECKS, AND BANK DRAFTS		**10/07/25 - 10/20/2025**		
EFT	**# 2388 - 2405**		$	49,798.94
REFUND CHECKS	**# 67564 - 67572**		$	7,650.00
CHECKS	**# 67573 - 67604**		$	394,886.46
BANK DRAFTS	**DFT0002966 - DFT0002976**		$	33,426.63
TOTAL EFTS, CHECKS, AND BANK DRAFTS			$	485,762.03
PAYROLL CHECKS				
10/17/25	**Direct Deposits**		$	38,734.11
TOTAL PAYROLL CHECKS			$	38,734.11
VOID CHECKS				
CHECKS	**#67596**			
ZERO CHECKS			$	-
ZERO EFT	**#2400**		$	-
BANK DRAFT REVERSAL				
TOTAL VOIDS			$	-
TOTAL OF ALL PAYMENTS			$	524,496.14

APPROVED BY THE HAM LAKE CITY COUNCIL THIS 20TH DAY OF OCTOBER 2025

MAYOR

COUNCILMEMBER

COUNCILMEMBER

COUNCILMEMBER

COUNCILMEMBER

Refund Check Register

City of Ham Lake, MN

Packet: ARPKT01552 - 10/08/25 TRUST REFUNDS

Refund Detail

Account Number	Name	Check Date	Check Number	Amount
00005	CONNEXUS	10/8/2025	67564	150.00
00098	BOY SCOUT TROOP 509	10/8/2025	67565	150.00
00101	OPPORTUNITY PARTNERS	10/8/2025	67566	150.00
00677	LANG BUILDERS	10/8/2025	67567	5,100.00
00702	ALYSSA ELLSON	10/8/2025	67568	150.00
00742	ALLISON BINTNER	10/8/2025	67569	150.00
			Total Refund Amount:	5,850.00

Revenue Totals

Revenue Code	Total Distribution
TRUST DEPOSITS - TRUST DEPOSITS	5,700.00
UCA - GEN FUND - UNAPPLIED CREDIT GENERAL FUND	150.00
Revenue Totals:	5,850.00

General Ledger Distribution

Posting Date: 10/08/2025

	Account Number	Account Name	Posting Amount	IFT
Fund:	100 - GENERAL			
	100-10101	Cash	-150.00	Yes
	100-11501	Misc receivables	150.00	
		100 Total:	0.00	
Fund:	890 - TRUST FUND			
	890-10101	Cash-claim on pooled cash	-5,700.00	Yes
	890-11501	Misc receivables	5,700.00	
		890 Total:	0.00	
Fund:	999 - POOLED CASH			
	999-10100	Pooled Cash	-5,850.00	
	999-20702	Due to other funds	5,850.00	Yes
		999 Total:	0.00	
		Distribution Total:	0.00	

Refund Check Register

City of Ham Lake, MN

Packet: ARPKT01558 - 10/15/25 TRUST REFUNDS

Refund Detail

Account Number	Name	Check Date	Check Number	Amount
00741	JACOB COLLINS	10/15/2025	67570	1,500.00
00753	SHELLEY BETTS	10/15/2025	67571	150.00
00754	KABAOJLTH HER	10/15/2025	67572	150.00
			Total Refund Amount:	1,800.00

Revenue Totals

Revenue Code		Total Distribution
TRUST DEPOSITS - TRUST DEPOSITS		1,800.00
	Revenue Totals:	1,800.00

General Ledger Distribution

Posting Date: 10/15/2025

	Account Number	Account Name		Posting Amount	IFT
Fund:	890 - TRUST FUND				
	890-10101	Cash-claim on pooled cash		-1,800.00	Yes
	890-11501	Misc receivables		1,800.00	
			890 Total:	0.00	
Fund:	999 - POOLED CASH				
	999-10100	Pooled Cash		-1,800.00	
	999-20702	Due to other funds		1,800.00	Yes
			999 Total:	0.00	
			Distribution Total:	0.00	

Council Approval List

City of Ham Lake, MN

By (None)

Payment Dates 10/7/2025 - 10/20/2025

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
2388	ACCESS	SEPT SHREDDING	Waste management & recycli	231-43601-3630	234.51
2388	ACCESS	RECYCLE DAY SHREDDING	Waste management & recycli	231-43601-3630	610.35
2389	BERGLUND, BAUMGARTNER,	9/2/25 COUNCIL MEETING	Attorney	100-41101-3110	264.74
2389	BERGLUND, BAUMGARTNER,	JARVIS LAWSUIT	Attorney	100-41101-3110	339.48
2389	BERGLUND, BAUMGARTNER,	HUSNICKS DANGEROUS DOG	Attorney	100-41101-3110	441.33
2389	BERGLUND, BAUMGARTNER,	BLAINE WELLS	Attorney	100-41101-3110	254.61
2389	BERGLUND, BAUMGARTNER,	GIFT RESOLUTION	Attorney	100-41101-3110	186.71
2389	BERGLUND, BAUMGARTNER,	KUMEROW DANGEROUS DOG	Attorney	100-41101-3110	152.77
2389	BERGLUND, BAUMGARTNER,	CANNABIS ORDINANCE	Attorney	100-41102-3110	67.90
2389	BERGLUND, BAUMGARTNER,	NORTH METRO STORAGE	Attorney	100-41601-3110	254.61
2389	BERGLUND, BAUMGARTNER,	CAR DEALS REVOCATION	Attorney	100-42401-3110	135.79
2389	BERGLUND, BAUMGARTNER,	WILLOWS JPA	Attorney	262-46101-3110	42.43
2389	BERGLUND, BAUMGARTNER,	CRAWFORD EASEMENT	Attorney	431-43301-3110	135.79
2389	BERGLUND, BAUMGARTNER,	ELWELL FARMS	Attorney	890-90001-3110	1,493.71
2389	BERGLUND, BAUMGARTNER,	KWIK TRIP	Attorney	890-90001-3110	1,058.30
2389	BERGLUND, BAUMGARTNER,	KOHLER FARMS	Attorney	890-90001-3110	84.87
2389	BERGLUND, BAUMGARTNER,	EVERGREEN EASEMENT	Attorney	890-90001-3110	42.44
2389	BERGLUND, BAUMGARTNER,	ELWELL FARMS - DEVELOPME	Attorney	890-90001-3110	1,600.00
2389	BERGLUND, BAUMGARTNER,	PROSECUTIONS	Attorney	100-41501-3110	6,895.85
2390	BRODIN PRESS	NOV HAM LAKER	Editing	211-41704-3125	900.00
2391	CINTAS CORP	UNIFORMS	Clothing & personal protectiv	100-43101-2210	141.73
2391	CINTAS CORP	UNIFORMS	Clothing & personal protectiv	100-44101-2210	59.08
2391	CINTAS CORP	UNIFORMS	Clothing & personal protectiv	100-43101-2210	141.73
2391	CINTAS CORP	UNIFORMS	Clothing & personal protectiv	100-44101-2210	59.08
2391	CINTAS CORP	T SHIRTS	Clothing & personal protectiv	100-43101-2210	188.90
2392	DAVID HANSON	SAFETY BOOTS	Clothing & personal protectiv	100-44101-2210	150.00
2393	GREATAMERICA FINANCIAL SE	OCT MAILING MACHINE LEAS	Equipment rentals	100-41701-3320	160.95
2394	HOTSY MINNESOTA	VEHICLE WASHING SUPPLIES	Operating supplies	100-43101-2290	840.72
2395	HYDRAULIC SPECIALTY INC	#93 CYLINDER REPAIR	Equipment repair & maintena	100-43101-3440	677.65
2396	KILLMER ELECTRIC CO INC	SIGNAL REPAIR HWY 65 & CR	Equipment repair & maintena	100-43401-3440	391.00
2397	LITTLE FALLS MACHINE INC	#59 PLOW PARTS	Vehicle parts & supplies	100-43101-2340	413.27
2397	LITTLE FALLS MACHINE INC	#80 PLOW PARTS	Vehicle parts & supplies	100-43101-2340	302.90
2398	O'REILLY AUTOMOTIVE STORE	#89 FUEL FILTER	Vehicle parts & supplies	100-43101-2340	17.69
2399	RFC ENGINEERING, INC.	CROSSTOWN BUSINESS PARK	Engineering	262-46101-3135	2,202.24
2399	RFC ENGINEERING, INC.	2022 CROSSTOWN AVE/7TH S	Engineering	100-41101-3135	90.85
2399	RFC ENGINEERING, INC.	COUNCIL MEETING	Engineering	100-41101-3135	105.99
2399	RFC ENGINEERING, INC.	BA5E MAP	Engineering	100-41101-3135	382.44
2399	RFC ENGINEERING, INC.	CANNABIS DISPENSARY BUFF	Engineering	100-41102-3135	322.51
2399	RFC ENGINEERING, INC.	2025 CITY ASSETS	Engineering	100-41401-3135	95.61
2399	RFC ENGINEERING, INC.	PLANNING/POTENTIAL DEVEL	Engineering	100-41601-3135	30.28
2399	RFC ENGINEERING, INC.	145TH AVE VACATION W OF A	Engineering	100-41601-3135	60.57
2399	RFC ENGINEERING, INC.	ELWELL COMMERCIAL PARK	Engineering	100-43103-3135	296.37
2399	RFC ENGINEERING, INC.	WACONIA STREET/COON CRE	Engineering	100-43103-3135	469.40
2399	RFC ENGINEERING, INC.	HAM LAKE STORM NETWORK	Engineering	100-43103-3135	2,936.24
2399	RFC ENGINEERING, INC.	MAC WETLAND MITIGATION	Engineering	100-43103-3135	15.14
2399	RFC ENGINEERING, INC.	SRWMO ANNUAL REPORT	Engineering	233-43201-3135	15.14
2399	RFC ENGINEERING, INC.	CSAH 116/BUNKER LAKE BOU	Engineering	431-43301-3135	105.99
2399	RFC ENGINEERING, INC.	CSAH 116/NAPLES STREET RO	Engineering	431-43301-3135	211.98
2399	RFC ENGINEERING, INC.	2025 REHAB	Engineering	431-43301-3135	106.77
2399	RFC ENGINEERING, INC.	COON LAKE CHANNEL DREDG	Engineering	431-43301-3135	15.14
2399	RFC ENGINEERING, INC.	BUNKER, JEFFERSON - 65	Engineering	431-43301-3135	15.14
2399	RFC ENGINEERING, INC.	HARMONY ESTATES 3RD	Engineering	431-43301-3135	742.11
2399	RFC ENGINEERING, INC.	SOUTH SHORE ESTATES 2ND	Engineering	890-90001-3135	60.57
2399	RFC ENGINEERING, INC.	ENTSMINGER ESTATES	Engineering	890-90001-3135	95.61

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
2399	RFC ENGINEERING, INC.	L1 B2 ENTERPRISE PLAZA 2ND	Engineering	890-90001-3135	196.84
2399	RFC ENGINEERING, INC.	15155 UNIVERSITY AVENUE L	Engineering	890-90001-3135	239.03
2399	RFC ENGINEERING, INC.	TRACTOR SUPPLY 16350 JOHN	Engineering	890-90001-3135	333.12
2399	RFC ENGINEERING, INC.	SWEDISH CHAPEL ESTATES	Engineering	890-90001-3135	411.31
2399	RFC ENGINEERING, INC.	HIDDEN FORST EAST 4TH	Engineering	890-90001-3135	456.56
2399	RFC ENGINEERING, INC.	L4B2 STONE ESTATES DRAINA	Engineering	890-90001-3135	1,203.40
2399	RFC ENGINEERING, INC.	L3B1 CITROWSKE LOT SPLIT	Engineering	890-90001-3135	15.14
2399	RFC ENGINEERING, INC.	L1 B2 FOX TAIL RIDGE - DERCO	Engineering	890-90001-3135	1,218.11
2399	RFC ENGINEERING, INC.	TWIN TOWN DEMOLITION	Engineering	890-90001-3135	60.57
2399	RFC ENGINEERING, INC.	ELWELL FARMS 2ND	Engineering	890-90001-3135	1,689.75
2399	RFC ENGINEERING, INC.	KWIK TRIP	Engineering	890-90001-3135	560.25
2399	RFC ENGINEERING, INC.	KOHLER SKETCH	Engineering	890-90001-3135	701.34
2399	RFC ENGINEERING, INC.	ELWELL FARMS	Engineering	890-90001-3135	4,155.84
2399	RFC ENGINEERING, INC.	HIDDEN FOREST EAST PARK -	Engineering	890-90001-3135	4,427.53
2399	RFC ENGINEERING, INC.	MARKQUART RV	Engineering	890-90001-3135	15.14
2399	RFC ENGINEERING, INC.	L2B2 CREEKSIDE FARMS - UNL	Engineering	890-90001-3135	60.57
2399	RFC ENGINEERING, INC.	GROUP PERMIT BILLING	Engineering	100-43501-3135	2,377.26
2399	RFC ENGINEERING, INC.	143RD AVENUE 2025-086	Engineering	431-43301-3135	30.28
2399	RFC ENGINEERING, INC.	MSA GROUP BILLING	Engineering	431-43301-3135	408.83
2399	RFC ENGINEERING, INC.	143RD AVENUE	Engineering	431-43301-3135	2,079.19
2399	RFC ENGINEERING, INC.	W FRONT RD S OF CONSTANC	Engineering	431-43301-3135	404.88
2401	STAR TRIBUNE MEDIA COMPA	UNCOLLECTED FEES & LODGI	Legal notices/publications/bid	100-41101-3950	69.52
2401	STAR TRIBUNE MEDIA COMPA	STREETLIGHT ASSESSMENTS	Other professional services	232-43701-3190	71.10
2401	STAR TRIBUNE MEDIA COMPA	ENTHUSIAST CAR CO CUP	Legal notices/publications/bid	890-90001-3950	47.40
2402	SUSAN KNOUSE	JULY - SEPT 21ST CENTURY MI	Mileage	100-41401-3960	21.70
2403	TOM DIETRICH	SAFETY BOOTS	Clothing & personal protectiv	100-42401-2210	150.00
2404	UNLIMITED SUPPLIES INC	BATTERIES, REMOVAL TOOLS	Operating supplies	100-43101-2290	48.30
2405	WRUCK SEWER & PORTABLE	TENNIS COURT TOILET RENTA	Rentals-other	100-44101-3390	168.00
2405	WRUCK SEWER & PORTABLE	SBAA LION'S PARK TOILET REN	Rentals-other	100-44101-3390	158.00
2405	WRUCK SEWER & PORTABLE	LION'S PARK TOILET RENTALS	Rentals-other	100-44101-3390	158.00
2405	WRUCK SEWER & PORTABLE	HAM LAKE BOAT LANDING TO	Rentals-other	100-44101-3390	79.00
2405	WRUCK SEWER & PORTABLE	LION'S PARK PLAYGROUND TO	Rentals-other	100-44101-3390	79.00
2405	WRUCK SEWER & PORTABLE	SBAA SODERVILLE PARK TOILE	Rentals-other	100-44101-3390	54.00
2405	WRUCK SEWER & PORTABLE	SODERVILLE PARK TOILET REN	Rentals-other	100-44101-3390	54.00
2405	WRUCK SEWER & PORTABLE	BLUEGRASS ESTATES TOILET R	Rentals-other	100-44101-3390	50.00
2405	WRUCK SEWER & PORTABLE	CONSTANCE ESTATES PARK TO	Rentals-other	100-44101-3390	50.00
2405	WRUCK SEWER & PORTABLE	GRANT PARK TOILET RENTAL	Rentals-other	100-44101-3390	50.00
2405	WRUCK SEWER & PORTABLE	LARSON'S HERITAGE OAKS TOI	Rentals-other	100-44101-3390	50.00
2405	WRUCK SEWER & PORTABLE	HAM LAKE BALL FIELD TOILET	Rentals-other	100-44101-3390	39.50
2405	WRUCK SEWER & PORTABLE	SBAA PINGER'S PARK TOILET R	Rentals-other	100-44101-3390	25.00
2405	WRUCK SEWER & PORTABLE	PINGER'S PARK TOILET RENTA	Rentals-other	100-44101-3390	25.00
2405	WRUCK SEWER & PORTABLE	SBAA PATRICIA'S WILDERNESS	Rentals-other	100-44101-3390	25.00
2405	WRUCK SEWER & PORTABLE	PATRICIA'S WILDERNESS TOILE	Rentals-other	100-44101-3390	25.00
2405	WRUCK SEWER & PORTABLE	TWIN BIRCH PARK TOILET REN	Rentals-other	100-44101-3390	25.00
2405	WRUCK SEWER & PORTABLE	SBAA TWIN BIRCH PARK TOILE	Rentals-other	100-44101-3390	25.00
2405	WRUCK SEWER & PORTABLE	SBAA WISEN'S PARK TOILET R	Rentals-other	100-44101-3390	25.00
2405	WRUCK SEWER & PORTABLE	WISEN'S PARK TOILET RENTAL	Rentals-other	100-44101-3390	25.00
2405	WRUCK SEWER & PORTABLE	SBAA HAM LAKE BALL FIELD T	Rentals-other	100-44101-3390	39.50
67573	ACE SOLID WASTE INC	OCT ORGANICS	Waste management & recycli	231-43601-3630	385.84
67574	ALERT-ALL CORPORATION	FIRE PREVENTION SUPPLIES	Fire prevention-supplies	100-42201-2810	1,186.00
67575	ANCOM COMMUNICATIONS I	WIRELESS HEADSET	Vehicle parts & supplies	100-42201-2340	975.00
67576	ANIMAL HUMANE SOCIETY	3RD QTR ANIMAL CONTROL	Other professional services	100-42501-3190	317.00
67576	ANIMAL HUMANE SOCIETY	KUMEROW QUARANTINE	Reimbursable expense	100-48101-4150	650.00
67577	ANOKA COUNTY PROPERTY	CORRELL SEPTIC LICENSE	Refunds & reimbursements	100-37601	46.00
67577	ANOKA COUNTY PROPERTY	EXOTIC AUTO CUP	Filing fees	890-90001-3980	46.00
67577	ANOKA COUNTY PROPERTY	MARKQUART CUP	Filing fees	890-90001-3980	46.00
67578	ANOKA COUNTY TREASURY D	4TH QTR LAW ENFORCEMENT	Police protection	100-42101-3155	354,568.25
67579	BLUE CROSS BLUE SHIELD OF	NOV VISION	Vision Insurance	100-21715	37.00
67580	BRYANT & FIELD REAL ESTATE	32-32-23-43-0026 VACANT LA	Other trust expense	890-90001-9120	1,800.00
67581	BUSINESS ESSENTIALS	GLOVES	Operating supplies	100-44101-2290	539.70

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
67582	CENTERPOINT ENERGY	CITY HALL	Natural gas	100-41702-3620	97.72
67582	CENTERPOINT ENERGY	FIRE #2	Natural gas	100-42202-3620	33.41
67582	CENTERPOINT ENERGY	FIRE #1	Natural gas	100-42202-3620	41.50
67582	CENTERPOINT ENERGY	PW	Natural gas	100-43104-3620	98.29
67582	CENTERPOINT ENERGY	H.L. PARK PAVILION	Natural gas	100-44102-3620	32.76
67582	CENTERPOINT ENERGY	H.L. PARK BUILDING	Natural gas	100-44102-3620	164.77
67582	CENTERPOINT ENERGY	SR CENTER	Natural gas	100-44202-3620	52.62
67583	COMCAST BUSINESS-INTERNE	OCT FIRE #3 INTERNET	Internet	100-42201-3220	369.68
67584	DEHN OIL CO	325 GAL GASOLINE	Fuel	100-43101-2230	733.07
67584	DEHN OIL CO	300 GAL DIESEL	Fuel	100-43101-2230	779.34
67585	FLEETPRIDE	#79 FILTERS	Vehicle parts & supplies	100-43101-2340	29.04
67586	FORCE AMERICA, INC	#93 JOYSTICKS	Vehicle parts & supplies	100-43101-2340	949.09
67587	HEALTH PARTNERS INC	OCT EAP	Other professional services	100-41701-3190	22.95
67588	HOFFMAN BROS. SOD INC.	LION'S AND CONSTANCE ESTA	Street repair & maintenance s	100-44101-2330	336.00
67588	HOFFMAN BROS. SOD INC.	LION'S & CONSTANCE ESTATES	Street repair & maintenance s	100-44101-2330	420.00
67589	J.R.'S ADVANCED RECYCLERS	FALL RECYCLING DAY	Waste management & recycli	231-43601-3630	200.00
67589	J.R.'S ADVANCED RECYCLERS	FALL RECYCLING DAY - FOUND	Waste management & recycli	231-43601-3630	30.00
67589	J.R.'S ADVANCED RECYCLERS	FALL RECYCLING DAY - CITY FO	Waste management & recycli	231-43601-3630	30.00
67590	LEPAGE & SONS INC	9/22 YARDWASTE	Waste management & recycli	231-43601-3630	482.00
67590	LEPAGE & SONS INC	9/30 YARDWASTE	Waste management & recycli	231-43601-3630	482.00
67590	LEPAGE & SONS INC	10/6 YARDWASTE	Waste management & recycli	231-43601-3630	482.00
67591	LINCOLN NATIONAL LIFE INSU	NOV ST DISABILITY	STD/LTD	100-21713	898.87
67591	LINCOLN NATIONAL LIFE INSU	NOV LT DISABILITY	STD/LTD	100-21713	991.01
67592	MARTIN MARIETTA MATERIAL	LION'S AND CONSTANCE ESTA	Street repair & maintenance s	100-44101-2330	1,714.66
67592	MARTIN MARIETTA MATERIAL	LION'S & CONSTANCE ESTATES	Street repair & maintenance s	100-44101-2330	3,100.50
67593	MENARDS-BLAINE	J-HOOK PADDED TIEDOWN	Operating supplies	100-43101-2290	39.96
67594	MENARDS-CR	DRIVEWAY MARKERS	Operating supplies	100-43102-2290	220.00
67595	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-41201-2510	36.90
67595	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-41301-2510	63.63
67595	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-41401-2510	63.63
67595	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-41601-2510	26.73
67595	METRO - INET	PHONES	Phones/radios/pagers	100-41701-3210	122.82
67595	METRO - INET	IT SUPPORT	Computer & software support	100-41707-3120	3,404.37
67595	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-42201-2510	47.07
67595	METRO - INET	IT SUPPORT	Computer & software support	100-42201-3120	1,037.35
67595	METRO - INET	PHONES	Phones/radios/pagers	100-42201-3210	37.79
67595	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-42401-2510	100.53
67595	METRO - INET	IT SUPPORT	Computer & software support	100-42401-3120	772.79
67595	METRO - INET	PHONES	Phones/radios/pagers	100-42401-3210	28.34
67595	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-43101-2510	26.42
67595	METRO - INET	IT SUPPORT	Computer & software support	100-43101-3120	993.91
67595	METRO - INET	PHONES	Phones/radios/pagers	100-43101-3210	18.90
67595	METRO - INET	IT SUPPORT	Computer & software support	100-44101-3120	257.58
67595	METRO - INET	PHONES	Phones/radios/pagers	100-44101-3210	9.45
67595	METRO - INET	PHONES	Phones/radios/pagers	100-44201-3210	37.79
67597	MN FIRE SERVICE CERT BOAR	RETEST - FAO-PUMPER - ZF	Professional licenses & certific	100-42201-3520	75.00
67598	MN PEIP	NOV HEALTH INSURANCE	Health Insurance	100-21710	10,728.82
67599	NCPERS GROUP LIFE INSURAN	NOV LIFE	Life Insurance	100-21714	96.00
67600	PREMIUM WATERS INC	SEPT WATER	Equipment rentals	100-41701-3320	19.08
67600	PREMIUM WATERS INC	OCT WATER COOLER RENTAL	Equipment rentals	100-41701-3320	14.00
67601	PRINT CENTRAL	RECYCLE NEWSLETTER	Printing	231-43601-3970	3,179.66
67602	SPECIALTY SOLUTIONS LLC	SEED FOR PARKS	Operating supplies	100-44101-2290	152.33
67603	STOREY KENWORTHY	W2s AND ENVELOPES	Office supplies	100-41401-2110	78.46
67604	XCEL ENERGY	SEPT FIRE #3 NATURAL GAS	Natural gas	100-42202-3620	29.08
DFT0002967	COMPENSATION CONSULTAN	Health Savings Account	HSA Account	100-21712	150.00
DFT0002968	IRS-Payroll Tax	Federal Withholding	Federal WH/FICA/MC	100-21701	6,464.15
DFT0002968	IRS-Payroll Tax	Medicare Payable	Federal WH/FICA/MC	100-21701	1,740.42
DFT0002968	IRS-Payroll Tax	Social Security Payable	Federal WH/FICA/MC	100-21701	6,887.66
DFT0002969	MN STATE DEPT OF REVENUE-	MN State Withholding	State W/H	100-21702	2,780.04
DFT0002970	PERA	Retirement-Coordinated	PERA	100-21703	7,451.87

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
DFT0002970	PERA	Retirement-Police & Fire	PERA	100-21703	1,318.92
DFT0002971	VOYA	Deferred Compensation	Deferred compensation	100-21704	2,585.00
DFT0002971	VOYA	Roth IRA	Deferred compensation	100-21704	50.00
DFT0002972	MN DEPARTMENT OF LABOR	3RD QTR SURCHARGE	Surcharge	100-22801	58.77
DFT0002973	MN DEPARTMENT OF LABOR	2ND QTR SURCHARGE CORRE	Surcharge	100-22801	114.66
DFT0002974	MN DEPARTMENT OF LABOR	3RD QTR SURCHARGE	Surcharge	100-22801	2,239.72
DFT0002975	MN STATE DEPT OF REVENUE-	SEPTEMBER FUEL TAX	Fuel	100-43101-2230	23.53
DFT0002976	US POSTMASTER	RECYCLE NEWSLETTER 6732 P	Postage	231-43601-2120	1,561.82
				Grand Total:	**478,111.96**

Report Summary

Fund Summary

Fund	Payment Amount
100 - GENERAL	440,827.37
211 - HAM LAKER	900.00
231 - RECYCLING	7,678.18
232 - STREET LIGHT	71.10
233 - SUNRISE WATERSHED	15.14
262 - HAM LAKE EDA	2,244.67
431 - REVOLVING STREET	4,256.10
890 - TRUST FUND	22,119.40
Grand Total:	**478,111.96**

Account Summary

Account Number	Account Name	Payment Amount
100-21701	Federal WH/FICA/MC	15,092.23
100-21702	State W/H	2,780.04
100-21703	PERA	8,770.79
100-21704	Deferred compensation	2,635.00
100-21710	Health Insurance	10,728.82
100-21712	HSA Account	150.00
100-21713	STD/LTD	1,889.88
100-21714	Life Insurance	96.00
100-21715	Vision Insurance	37.00
100-22801	Surcharge	2,413.15
100-37601	Refunds & reimburseme	46.00
100-41101-3110	Attorney	1,639.64
100-41101-3135	Engineering	579.28
100-41101-3950	Legal notices/publicatio	69.52
100-41102-3110	Attorney	67.90
100-41102-3135	Engineering	322.51
100-41201-2510	Software licenses & upgr	36.90
100-41301-2510	Software licenses & upgr	63.63
100-41401-2110	Office supplies	78.46
100-41401-2510	Software licenses & upgr	63.63
100-41401-3135	Engineering	95.61
100-41401-3960	Mileage	21.70
100-41501-3110	Attorney	6,895.85
100-41601-2510	Software licenses & upgr	26.73
100-41601-3110	Attorney	254.61
100-41601-3135	Engineering	90.85
100-41701-3190	Other professional servi	22.95
100-41701-3210	Phones/radios/pagers	122.82
100-41701-3320	Equipment rentals	194.03
100-41702-3620	Natural gas	97.72
100-41707-3120	Computer & software su	3,404.37
100-42101-3155	Police protection	354,568.25
100-42201-2340	Vehicle parts & supplies	975.00
100-42201-2510	Software licenses & upgr	47.07
100-42201-2810	Fire prevention-supplies	1,186.00
100-42201-3120	Computer & software su	1,037.35
100-42201-3210	Phones/radios/pagers	37.79
100-42201-3220	Internet	369.68
100-42201-3520	Professional licenses & c	75.00
100-42202-3620	Natural gas	103.99
100-42401-2210	Clothing & personal prot	150.00
100-42401-2510	Software licenses & upgr	100.53
100-42401-3110	Attorney	135.79
100-42401-3120	Computer & software su	772.79
100-42401-3210	Phones/radios/pagers	28.34

Account Summary

Account Number	Account Name	Payment Amount
100-42501-3190	Other professional servi	317.00
100-43101-2210	Clothing & personal prot	472.36
100-43101-2230	Fuel	1,535.94
100-43101-2290	Operating supplies	928.98
100-43101-2340	Vehicle parts & supplies	1,711.99
100-43101-2510	Software licenses & upgr	26.42
100-43101-3120	Computer & software su	993.91
100-43101-3210	Phones/radios/pagers	18.90
100-43101-3440	Equipment repair & mai	677.65
100-43102-2290	Operating supplies	220.00
100-43103-3135	Engineering	3,717.15
100-43104-3620	Natural gas	98.29
100-43401-3440	Equipment repair & mai	391.00
100-43501-3135	Engineering	2,377.26
100-44101-2210	Clothing & personal prot	268.16
100-44101-2290	Operating supplies	692.03
100-44101-2330	Street repair & mainten	5,571.16
100-44101-3120	Computer & software su	257.58
100-44101-3210	Phones/radios/pagers	9.45
100-44101-3390	Rentals-other	1,229.00
100-44102-3620	Natural gas	197.53
100-44201-3210	Phones/radios/pagers	37.79
100-44202-3620	Natural gas	52.62
100-48101-4150	Reimbursable expense	650.00
211-41704-3125	Editing	900.00
231-43601-2120	Postage	1,561.82
231-43601-3630	Waste management & r	2,936.70
231-43601-3970	Printing	3,179.66
232-43701-3190	Other professional servi	71.10
233-43201-3135	Engineering	15.14
262-46101-3110	Attorney	42.43
262-46101-3135	Engineering	2,202.24
431-43301-3110	Attorney	135.79
431-43301-3135	Engineering	4,120.31
890-90001-3110	Attorney	4,279.32
890-90001-3135	Engineering	15,900.68
890-90001-3950	Legal notices/publicatio	47.40
890-90001-3980	Filing fees	92.00
890-90001-9120	Other trust expense	1,800.00
	Grand Total:	**478,111.96**

Project Account Summary

Project Account Key	Payment Amount
None	463,933.01
201102.033-100	772.39
202111-100	2,202.24
202302.032-130	135.79
202505-100	2,109.47
202509-100	404.88
231002001	840.35
231003030	3,179.66
231003031	1,561.82
231004009	1,446.00
231005003	30.00
231009001	385.84
231010001	234.51
MISC-100	876.00

Project Account Summary

Project Account Key	Payment Amount
MISC-100	
Grand Total:	478,111.96

Bank Transaction View

Close Form | Print Screen | Help

GENERAL CHECKING

3000137

Type: Bank Draft

Number: DFT0002966

General | Footprint

Details

Date	9/30/2025
Amount	0.07CR
Description	SEPT SR CENTER POSTAGE ADJUSTMENT
Module	General Ledger
Process	GLJournalEntry
Status	Cleared

Clearing

Date Cleared	9/30/2025
Statement Date	9/30/2025

City of Ham Lake, MN

EFT Payroll Check Register

Report Summary

Pay Period: 9/28/2025-10/11/2025

Packet: PYPKT01812 - PPE 10/11/25 PAID 10/17/25
Payroll Set: City of Ham Lake - 01

Type	Count	Amount
Regular Checks	0	0.00
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	27	38,734.11
Total	**27**	**38,734.11**

Meeting Date: October 20, 2025

CITY OF HAM LAKE

STAFF REPORT

To: **Mayor and Councilmembers**

From: **Denise Webster, City Administrator**

Subject: **Embedded Systems, Inc.**

Introduction/Discussion: Attached is the renewal contract with Embedded Systems for 2026 for the maintenance and monitoring of the radio equipment for our outdoor warming system. This contract also includes replacement of batteries for the system every three years, and they were replaced two years ago. We have contracted with them since 1996 for this service.

The contract price for 2026 will not increase from 2025. The pricing will be $49.97 per siren, per month. This is a budgeted expenditure for 2026.

Recommendation: I recommend approval of the contract with Embedded Systems at $49.97 per siren, per month for a total cost of $7,795.32 in 2026.

Embedded Systems, Inc.
11931 Hwy 65 NE,
Minneapolis, MN 55434

Contract Renewal

October 6, 2025

City of Ham Lake
Mike Raczkowski, J Witkowski
15544 Central Ave. NE
Ham Lake, MN 55304

We are at the end of another tornado season. Embedded Systems, Inc. has provided our best service toward maintaining the tornado sirens for your city for the past several years. We would be very pleased to continue to provide Tornado Siren Maintenance for your city.

The Monthly Siren Maintenance Fee for 2026 will be **$49.97** per siren, per month.

The decoder batteries for your city are currently being replaced in 2025 for preventive maintenance. Battery replacement will occur once every 2 years for Hennepin County and once every three years for Anoka County for all units maintained by Embedded Systems under the original maintenance agreement, including those batteries which may have been replaced since the last scheduled replacement because of failure.

We are asking that you please sign and return this contract renewal to us before **November 25, 2025** to enable us to continue to provide our best service through the end of 2026. Feel free to fax the signed contract renewal to (763) 767-2817 or email it to phowe@embedsys.com.

Thank you for your business and we look forward to servicing your needs through the next year. If you have any questions, feel free to contact me directly.

Thank you,

Peggy Howe
Embedded Systems, Inc.

Contract terms accepted:

_____
Signature Date

_____
Phone

_____
Email

For continuation of services through the end of the year 2026

Meeting Date: October 20, 2025

CITY OF HAM LAKE
STAFF REPORT

To: **Mayor and Councilmembers**

From: **Denise Webster, City Administrator**

Item/Title/Subject: **Animal Control**

Introduction/Discussion: The City of Ham Lake was notified by the Coon Rapids Animal Humane Society that they will no longer be providing impound services, effective December 31, 2025. After researching other animal control facilities, we only found two that would accept doing animal control for the City of Ham Lake. We reached out to Companion Animal Care & Control Service, located in Oakdale and Isanti County Animal Control, located in Ogilvie. After reviewing both contracts, we have found that Isanti County Animal Control contract fees are lower than Companion Animal Care & Control Services.

1. Isanti County Animal Control has agreed to pick up any dog that is contained within the City of Ham Lake. All animals will be transported to their facility in Ogilvie.
2. The cost for their service would be a $400 per month retainer, current IRS rate for milage ($0.70 per mile) + a $100 pickup charge and kenneling costs of $30/day + tax.
3. Owners reclaiming their dogs shall pay for all costs associated with picking up and boarding the dog.

**I would like to clarify that if the dog's owner is found, the City <u>will not</u> be billed any fees, the dog's owner will pay all the fees incurred (except the retainer fee). The owner of the dog would need to pick the dog up at the Isanti County Animal Control facility located in Ogilvie.

Recommendation: I recommend approving the contract to use the services of the Isanti County Animal Control for animal control effective January 1, 2026.

ANIMAL CONTROL CONTRACT

THIS AGREEMENT made this _____ day of _____, 2025, by and between Michelle Russell, ("Contractor") and the CITY OF HAM LAKE, a Political Subdivision located within the County of Anoka and State of Minnesota ("City").

Recitals

Contractor is in the business of providing certain Animal Control services and duties, including certain functions provided by Minnesota Statutes Chapter 347. City desires to engage the service of Contractor for the purpose and for other purposes enumerated herein.

It is therefore agreed as follows:

1. **STATEMENT OF WORK:** Contractor shall furnish all labor, equipment, and services performed for the job of animal control officer for the City of Ham Lake, as set for below in an efficient and workmanlike manner in accordance with this agreement. Contractor shall comply with all federal, state, and local laws and ordinances in performing the duties as specified herein.

2. **THE CONTRACT PRICE:** The City shall pay contractor for performance of this Contract, in current funds as follows: A monthly 24 hours a day, 7 days a week retainer of $400 per month, $100 per animal control call out and the current IRS rate for mileage (.70 per mile) for pick-up and drop off of dogs as directed by the members of the Anoka County Sheriff's Department or dispatch, whether an animal is them actually picked up, or if the Contractor goes to a place as directed and finds there is no animal to be picked up. Multiple dogs at the same location is no additional charge of call out or mileage If the Contractor is enroute and the call is cancelled, charged will be re-calculated accordingly. If the owner is found, said owner will be responsible for all fees.

3. **BOARDING FEE:** There is a $30 boarding fee per day, per dog. Cats will not be picked up and boarded. This boarding fee will be charged/billed to the City if the owner if not found and the dog is not claimed after the 5-business day impound stay. If the owner is found, said owner will be responsible for all fees.

4. **MISCELLANOUS** Extra services, such as multiple animals seized per a search warrant or out of the ordinary circumstances, will be arranged between City and Contractor on a case-by-case basis.

5. **CONTRACTOR RESPONSE TIMES:** Contractor shall have 1-2 hours to respond to a call from the Anoka County Sheriff's Office or dispatch and have up to 4 hours for a pickup of an animal. All calls from dispatch should have all information on voicemail to include the reporting party, physical address, type of dog, disposition if unknown for safety and ICR number.

6. **CONTRACTOR'S DUTIES:** Contractor shall upon request if the members of the Anoka County Sheriff's Office or Dispatch Center, take all reasonable steps to pick up any dog determined to be in violation of any City Ordinance or Minnesota State Statue.

   All apprehensions of dogs directed by members of the Anoka County Sheriff's Office shall be treated humanely and shall be delivered into the custody of the party of the facility designed by the City and Contractor. The Contractor agrees to comply with all state laws regarding waiting periods. All stray dogs picked up will be listed on social media such as Lost Dogs MN Facebook page or similar sites in an attempt to locate the owner.

7. **RECLAIMING:** All animals conveyed to the pound shall be kept, with humane treatment and sufficient food and water for their comfort, at leave five regular business days, unless the animal has bitten a person in which case it shall be kept for a minimum of 10 business days of the time specified in Article 5-190 Impounding. All animals unclaimed by the end of the impound period shall be surrendered to an appropriate facility for adoption or euthanasia.

8. Owners reclaiming their dogs will pay for all costs associated with picking up and boarding the dog. Contractor shall obtain verification from the owner as to proof of ownership of the dog such as microchip, vet bills, or photos as well as photo identification of the person claiming the dog. All billing to the City will include the ICR number, status of dog (returned, adoption, etc.) and rate, mileage and boarding fees. Prior to the release of any dog impounded by Contractor at the City's request, Contractor will request that the owner provide rabies vaccination documentation, and forward same to City.

9. **VETERINARY CARE:** Dogs that are picked up and are injured or severely neglected and require urgent veterinary care, shall be treated at East Central Veterinarians during business hours. Emergency cases will be referred to an emergency clinic on a case-by-case basis. East Central Veterinarians are authorized to stabilize a dog up to $300 including euthanasia if required. All billing will be sent to the City of Ham Lake.

10. **DISPOSTION OF APPREHENDED ANIMALS:** Contractor shall at all times observe the provisions of Minnesota Statutes in caring for and disposing of apprehended animals, and in particular will observe the conditions of Minnesota Statute Chapter 346.47, subd. 2, regarding record keeping and record retention.

11. **IDENTIFICATION:** The City shall provide Contractor with appropriate credentials and/or identification to identify her as the "Animal Control Official for the City of Ham Lake".

12. **IDEMNIFICATIONS/INSURANCE:** Contractor agrees to indemnify and hold the City harmless against all claims, losses, causes of action, and expenses, including legal expenses arising relative to Contractor's performance of this Contract. City shall not be liable for any loss suffered by Contractor due to personal injury or because of damage to, or destruction of any property, or any loss of profits or other consequential damages or any inconvenience resulting from the theft, damage to, or destruction of personal property. Contractor shall be solely responsible for and shall maintain general liability insurance coverage specifically for the Contractor's duties. A true and correct copy of all Certificates of Insurance verifying the existence of both automobile and general liability coverage will be filed of record with the City Administrator at the time of execution of this agreement. The vehicle used will have at least one kennel designed for animal transportation along with being equipped with leather leashes and snare.

13. **RECORDS – AVAILABILITY AND RETENTION:** The Contractor agrees that the City or any of their duly authorized representatives at any time during normal business hours and as often as they may reasonably deem necessary, shall have access to and the right to examine, audit, excerpt, and transcribe any books, documents, papers, records, etc., which are pertinent to the accounting practices and procedures of the Contractor and invoice transactions relating to this Agreement. Contractor shall maintain these records for a period of three (3) years from the date of termination of this Agreement.

14. **LEGAL STATUS:** The parties agree that the Contractor is in full control of the manner in which work is pursued, and the Contractor shall not receive retirement benefits, PERA benefits, or any other fringe benefits offered to employees of the City and shall, in all respects, be deemed an independent contractor.

15. **TERMINATION:** City and Contractor may terminate this agreement at any time with or without cause by providing written notice to the other party no later than sixty (60) days prior to the termination date. City and Contractor may immediately terminate this agreement upon breach of any of the material terms herein by providing written notice of the termination. Such notice shall be given to the City at Ham Lake City Hall. Such notices shall be given to the Contractor at its place of business.

16. **REPRESENATTION:** The Contractor represents that they employ employees who are property trained to perform the Contract, and if required by the State, are certified by the State of Minnesota.

17. **TERM:** This Contract shall become effective as of January 1, 2026, and shall continue in effect until and unless otherwise terminated by written notice (see #15). No amendment or modification of this Contract shall be effective unless made in writing and signed by both the City and the Contractor.

Wherefore, the parties have executed this agreement the date above written.

CONTRACTOR

By_____
Michelle Russell, Animal Control

CITY OF HAM LAKE

By _____
Brian Kirkham, Mayor

By _____
Denise Webster, City Administrator

animal humane society

RECEIVED
SEP 02 2025
By: .....

Dear Municipal Administrator,

Animal Humane Society is committed to working to improve the lives and welfare of animals in our community and support the people who love them. We recently embarked on a new strategic plan with the goal of helping 150,000 animals by 2028, with a focus on helping the most animals with the greatest needs. To accomplish this ambitious goal, we evaluated our services and programs and made the difficult decision to discontinue our impound housing program.

To allow your city time to identify another organization to provide impound services, AHS will continue providing dog and cat impound through December 31, 2025. This letter serves as the written notice to end services as outlined in our Letter of Understanding for Impound Housing Services. If it would be helpful in your search for a new impound facility, we are happy to share our generic contract with you or other organizations.

This decision allows AHS to focus our limited resources on supporting as many animals in need as possible. While we won't be offering impound services, we will continue to accept strays found by members of the public, offer appointments for owned animals, provide low-cost veterinary care for the community, and partner with law enforcement to handle animal cruelty cases at no charge to the municipality.

We've appreciated your partnership over the past years, and we will continue to be a resource for people and pets in the community. Please feel free to refer community members with animal concerns to our Pet Helpline at 952-HELP-PET (952-435-7738) moving forward.

Sincerely,

Dr. Graham Brayshaw, Chief Medical Officer

Animal Humane Society gbrayshaw@animalhumanesociety.org

763-489-2224

Meeting Date: October 20, 2025

CITY OF HAM LAKE
STAFF REPORT

To: **Mayor and Councilmembers**

From: **John Witkowski, Public Works Superintendent, on behalf of the Personnel Liaison's**

Item/Title/Subject: **Street/Parks Maintenance Worker**

Introduction/Discussion: There has been an open position in the Public Works Department since November of 2024. Staff conducted interviews in June and again in October. After confirming with the Personnel Liaison's Councilmember Doyle and Van Kirk, they felt that staff could decide who would be the best fit for the position. We are requesting to offer the open position to Jonah Stanton with a starting date of November 4, 2025.

Recommendation: The Personnel Committee recommends hiring Jonah Stanton as a full-time Streets/Parks Maintenance Workers in the Public Works Department with a comp worth rating of 178 at the starting rate of $25.85/per hour with an effective start date of November 4, 2025, subject to a BCA check and CDL drug test.

RESOLUTION NO. 25-XX
RESOLUTION APPROVING CONTRIBUTIONS

WHEREAS, the City of Ham Lake is generally authorized to accept contributions of real and personal property pursuant to Minnesota Statute Section 465.03 et seq. for the benefit of its citizens and is specifically authorized to accept gifts; and

WHEREAS, the following persons and entities have offered to contribute property set forth below to the City:

Name of Donor	Amount
Ham Lake Chamber of Commerce *(for the 2026 Freedom Festival)*	$5,000.00

WHEREAS, all such sums have been contributed to assist the City in the establishment and operation of programs within the City's corporate limits either alone or in cooperation with others, as allowed by law; and

WHEREAS, the City Council hereby finds that it is appropriate to accept the contributions offered.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Ham Lake, Minnesota, as follows:

1. The contributions described above are hereby accepted by the City of Ham Lake and shall be used to establish and operate programs within the City's corporate limits either alone or in cooperation with others, as allowed by law.

2. That the City Clerk is hereby directed to issue receipts to each donor acknowledging the City's receipt of the donor's contribution.

Adopted by the City Council of the City of Ham Lake this 20th day of October, 2025.

_____
Brian Kirkham, Mayor

_____
Dawnette Shimek, Deputy City Clerk

MINNESOTA LAWFUL GAMBLING 02/16

LG555 Government Approval or Acknowledgment for Use of Gambling Funds

Keep this completed form attached to the LG100C in your organization's records. You do not need to submit this form to the Gambling Control Board or the Department of Revenue.

ORGANIZATION AND EXPENDITURE INFORMATION (attach additional sheets if necessary)

Organization Name: Ham Lake Chamber of Commerce | License Number: 02948

Address: 15544 Central Ave. NE | City/State/Zip: Ham Lake, MN 55304

1. Amount of proposed lawful purpose expenditure: $ 5000.00.
2. Check one expenditure category:
   - [X] A. **Contribution to a unit of government**—United States, state of Minnesota, or any of its subdivisions, agencies, or instrumentalities.
   - [ ] B. **Wildlife management project or activity** that benefits the public at large, with approval by the Minnesota Department of Natural Resources (DNR).
   - [ ] C. **Grooming and maintaining snowmobile or all-terrain vehicle trails** established under Minnesota Statutes, Sections 84.83 and 84.927, including purchase or lease of equipment, with approval by the DNR. All trails must be open to public use.
   - [ ] D. **Supplies and materials for safety training and educational programs** coordinated by the DNR, including the Enforcement Division.
   - [ ] E. **Citizen monitoring of surface water quality testing** for public waters by individuals or nongovernmental organizations, with Minnesota Pollution Control Agency (MPCA) guidance on monitoring procedures, quality assurance protocols, and data management, providing that data is submitted to the MPCA.
3. Describe the proposed expenditure, including vendors:

   Money for 2026 Freedom Festival

- **NO FINANCIAL OR OTHER BENEFIT:** I affirm that the contribution or expenditure does not result in any monetary, economic, financial, or material benefit to our organization, in compliance with Minn. Rule 7861.0320, subp. 17, para. C.
- **FOR DNR-RELATED PROJECTS:** I affirm that when lawful gambling funds are used for grooming and maintaining snowmobile or all-terrain vehicle trails or for any wildlife management project for which reimbursement is received from a unit of government, the reimbursement funds must be deposited in our lawful gambling account and recorded on form LG100C.
- **FOR SURFACE WATER QUALITY TESTING:** I affirm that the MPCA has been consulted in developing the monitoring plan and that the data collected will be submitted to the MPCA. Send form for signature to: Manager, Water Monitoring Section, Minnesota Pollution Control Agency, 520 Lafayette Road North, St. Paul, MN 55155. Website: www.pca.state.mn.us

Chief Executive Officer's Signature | Date: 10-15-25

Print Name: Tim Sotte | Daytime Phone: 612-396-9763

GOVERNMENT APPROVAL/ACKNOWLEDGMENT

Contribution amount: $ 5,000.00. Government use of contribution (check one):

- [ ] **Wildlife**—DNR approves the wildlife management project or activity.
- [ ] **Trails**—DNR approves the grooming/maintaining of snowmobile and/or all-terrain vehicle trails.
- [ ] **Safety training**—DNR approves the supplies/materials for DNR safety training and educational programs.
- [ ] **Water quality testing**—MPCA approves the surface water quality testing project.
- [X] **Donation to other unit of government** (city, county, state, federal, or any of their subdivisions) provided the funds will not be used for a pension or retirement fund.

Unit of Government: City of Ham Lake | Phone: 763-434-9555

Address: 15544 Central Ave NE | City/State/Zip: Ham Lake, MN 55304

By signature below, the representative of the unit of government acknowledges and approves the contribution amount for the use as listed above.

Signature | Date: 10/15/25

Print Name: Nicole Wheeler | Title: Admin Assistant

Questions? Contact the Minnesota Gambling Control Board at 651-539-1900. This form will be made available in alternative format (i.e. large print, braille) upon request. The information requested on this form will become public information, when requested by the Board, and will be used to determine your compliance with Minnesota statutes and rules governing lawful gambling activities.

Meeting Date: October 20, 2025

CITY OF HAM LAKE
STAFF REPORT

To: **Mayor and Councilmembers**

From: **Denise Webster, City Administrator**

Item/Title/Subject: **Letter of Credit (LOC) for Larson System, Inc.**

Introduction/Discussion: The City is holding a Letter of Credit (LOC) in the amount of $7,500 for Larson Systems, Inc. and it expires on November 3, 2025. The items that are required to be completed prior to releasing the LOC are still not completed. We have been in contact with Josh Guse at Frandsen Bank & Trust and they intend to extend the LOC for an additional year, however they do not expect to submit the extended LOC prior to the October 20, 2025 City Council meeting. If an extended LOC is not received, the city will need to draw on the existing LOC by November 3, 2025 and a resolution is required to do so.

Recommendation: Staff is recommending approval of a Resolution to draw on the Letter of Credit provided by Frandsen Bank & Trust in the amount of $7,500, for Larson Systems, Inc., unless the LOC is extended and received prior to November 3, 2025.

RESOLUTION NO. 25-XX

A RESOLUTION TO DRAW UPON LARSON SYSTEMS, INC LINE OF CREDIT WITH FRANDSEN BANK & TRUST FOR THE PROJECT LOCATED AT 13847 ABERDEEN STREET NE

WHEREAS, on January 1, 2023 the City issued a building permit for Larson Systems, Inc ("Owner"), to construct a commercial building at 13837 Aberdeen Street NE ("Building");

WHEREAS, on October 17, 2022 the City Council Approved a Commercial site plan for a 9,900 sq. ft. building and a 17,776 sq. ft. addition (east addition) to the existing 24,000 sq. ft. building.

WHEREAS, the construction of the Building is subject to various conditions including, but not limited to "...meeting the requirements of the City Engineer and the Building Official, and meeting all City, County and State requirements." ("Requirements");

WHEREAS, on November 22, 2023 the City received an Irrevocable Letter of Credit number 144011457101 from Frandsen Bank & Trust, Forest Lake which was amended on November 1, 2024, indicating Owner had secured Seven Thousand Five Hundred and 00/100 ($7,500) upon which the City could draw should the Requirements not be completed in a timely fashion;

WHEREAS, on October 7, 2024 a memo from RFC Engineering, Inc. was sent to Larson Systems, Inc. with the various outstanding Requirements identified to be completed as follows:

Curb:

1) Replace concrete curb where bituminous curb was placed along Aberdeen Street at the north entrance.
2) Remove bituminous covering the curb at the north entrance or replace curb.

Bituminous:

1) Pave northern drive as shown on approved plans.

Storm Sewer:

1) Install inlet protection in the catch basin at the north entrance.

Miscellaneous Items:

1) Repair or reinstall silt fence where no longer upright or missing.

WHEREAS, the Building construction of the 9,900 sq. ft. building is complete, however the Requirements set forth by the City have not been met including the following:

1. Replacement of the concrete curb on the north side of the property along Aberdeen Street. The driveway apron was not installed in accordance with the approved plan detail (Sheet 11, Detail HL-370A1).

2. Paving of the northern drive, and along the east side of the building, as shown on approved plans. All portions of the site utilized by on-road vehicles require a bituminous or concrete pavement surface.

WHEREAS, to ensure the Requirements are met, the City will undertake the completion of the Requirements and will draw upon the Line of Credit in the amount of $7,500.00 to cover the costs of the work;

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HAM LAKE, MINNESOTA AS FOLLOWS:

1. The City Administrator shall issue a draft request in the amount of $7,500.00 to Frandsen Bank & Trust Forest Lake Office at 2001 W. Broadway Avenue, Forest Lake, MN 55025.

2. The City Administrator shall send a certified copy of this Resolution to Frandsen Bank & Trust Forest Lake Office at 2001 W. Broadway Avenue, Forest Lake, MN 55025.

Adopted by the City Council of Ham Lake this 20th day of October, 2025.

_____
Brian Kirkham, Mayor

Attested:

_____
Dawnette Shimek, Deputy City Clerk

CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE
PLANNING COMMISSION AGENDA
MONDAY, OCTOBER 13, 2025

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: September 22, 2025

PUBLIC HEARING: None

NEW BUSINESS:

1. Daniel Tousignant of Allan Dorney Construction MN, Inc, on behalf of The Church of St. Paul, requesting Commercial Site Plan approval for the construction of a 60' X 80' storage building at 1740 Bunker Lake Boulevard NE.
2. Brian Larson of Classic Construction Services, on behalf of Dercon Construction Services, Inc., requesting Commercial Site Plan approval for the construction of an office warehouse building at 14961 Aberdeen Street NE.
3. Nate Byom of Kwik Trip, Inc requesting Commercial Site Plan approval for the construction of a convenience store (retail facility), with 10 fuel dispensers, at proposed Lot 1, Block 1 of Elwell Commercial Park at the northwest corner of 143rd Avenue NE and Highway 65 NE.

COMMISSION BUSINESS:

1. City Council Update

CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE
PLANNING COMMISSION MINUTES
MONDAY, OCTOBER 13, 2025

The Ham Lake Planning Commission met for its regular meeting on Monday, October 13, 2025, in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Kyle Lejonvarn, David Ross, Jeff Entsminger, Jonathan Fisher, and Erin Dixson

MEMBERS ABSENT: Commissioner Dave Ringler

OTHERS PRESENT: City Engineer Dave Krugler and Building and Zoning Clerk Jennifer Bohr

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:
The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:
Motion by Dixson, seconded by Fisher, to approve the minutes of the September 22, 2025 Planning Commission meeting as written. All present in favor, motion carried.

PUBLIC HEARING: None

NEW BUSINESS:
Daniel Tousignant of Allan Dorney Construction MN, Inc, on behalf of The Church of St. Paul, requesting Commercial Site Plan approval for the construction of a 60' X 80' storage building at 1740 Bunker Lake Boulevard NE
Mr. Daniel Tousignant was present. Mr. Tousignant stated the church would like to construct a pole building for storage south of the parking lot. Mr. Tousignant stated a plow truck, that has been parked outside in the parking lot year around, will be stored in the building in addition to some seasonal items currently stored inside of the church building. Mr. Tousignant stated maintenance of the plow truck will also be done inside of the building. Chair Pogalz stated the narrative provided for this project states the project allows the church to comply with updated fire codes as well. Commissioner Fisher completed the inspection, a copy which is on file. Commissioner Fisher stated the building will be constructed to the south of the existing parking lot. Commissioner Fisher stated the area that will be behind the building, along the southern portion of the parcel, is mostly wooded except for a small area in the southwest corner. There was discussion about the existing tree cover and whether additional screening was needed.

Commissioner Fisher stated planting a couple conifer trees in the bare area would provide sufficient screening. Commissioner Lejonvarn stated additional trees should be planted to provide adequate screening. Chair Pogalz asked Mr. Tousignant if he had seen Building and Zoning Official Jones' memo with the list of conditions for approval. Mr. Tousignant stated he had. Chair Pogalz asked Mr. Tousignant if the building will have a concrete floor with in-floor, radiant heat. Mr. Tousignant stated it will. Chair Pogalz reviewed the remaining conditions of approval noted on Building Official Jones' memo. **Motion by Fisher, seconded by Entsminger, to recommend approval of the request of Daniel Tousignant of Allan Dorney Construction MN, Inc, on behalf of The Church of St. Paul, for Commercial Site Plan approval to construct a 60' X 80' storage building at 1740 Bunker Lake Boulevard NE subject to the following conditions: the building is to be used for storage only, the building meets the Mechanical Code, if a floor drain is installed, it must meet the Plumbing Code, no outside storage, all surfaces that a vehicle can drive on need to be a Code approved hard surface, planting at least two conifer trees near the southwest corner of the building to provide sufficient screening between the church property and the residential property south of the building and meeting all State, County and City Codes. All present in favor, motion carried.** *This application will be placed on the City Council's Monday, October 20, 2025, agenda.*

Brian Larson of Classic Construction Services, on behalf of Dercon Construction Services, Inc., requesting Commercial Site Plan approval for the construction of an office warehouse building at 14961 Aberdeen Street NE

Mr. Brian Larson of Classic Construction Services, and Mr. Dean Marquette of Dercon Construction Services, Inc. (Dercon), were present. Mr. Larson spoke on behalf of the project. Mr. Larson stated Dercon is currently located in Andover; the company would like to relocate to Ham Lake to construct an office warehouse building that will allow for growth and expansion of their remodeling business. Chair Pogalz asked Engineer Krugler to comment. Engineer Krugler stated the location is a 1.67-acre parcel of record in the Fox Tail Ridge subdivision. Engineer Krugler stated the subdivision is in the Planned Unit Development (PUD) zoning district with the parcel being zoned Commercial Development II (CD-2). Engineer Krugler stated the applicant is proposing a 11,377 square-foot building with landscaping that includes fencing for screening on the eastern border of the parcel that is adjacent to residential property. Engineer Krugler stated there is a temporary cul-de-sac at the northwest corner of the parcel which was not constructed within an easement. The owner has elected to allow the cul-de-sac to remain until Aberdeen Street is extended. There is also a cul-de-sac easement at the northeast corner of the parcel. Engineer Krugler stated the cul-de-sac easement at the northeast corner of the parcel, is at the eastern end of 150th Avenue NE, a dirt road; it provides a turnaround area and access to two residential parcels. Engineer Krugler stated Dercon will not be using 150th Avenue NE to access the parcel so the applicant will not be required to improve the road, and the city has no plans to improve the road. Engineer Krugler stated the developer has agreed to sign an encroachment agreement to allow site improvements within the cul-de-sac easement. Engineer Krugler stated Coon Creek Watershed District (CCWD) has approved the project and a Minnesota Pollution Control Agency National Pollutant Discharge Elimination System Construction Stormwater Permit (NPDES) is required before grading operations can commence. Commissioner Lejonvarn completed

the inspection, a copy which is on file. Commissioner Lejonvarn stated the lot is wide open as all trees have been cleared from the parcel; the residential property to the east of the parcel can be clearly seen from Aberdeen Street NE. Commissioner Lejonvarn stated there are a couple trees on the western side, or front yard of the parcel; screening along the eastern border of the parcel will be necessary. There was discussion about recommending conifer trees for screening on the east and west sides of the parcel, the challenges of planting trees due to the proposed location of the infiltration pond, limited space on the eastern side of the parcel and other acceptable screening options such as a fence. Chair Pogalz asked Mr. Larson and Mr. Marquette if they had reviewed the information in the packet and the recommendations made by Engineer Krugler and Building and Zoning Official Jones. Mr. Larson and Mr. Marquette acknowledged that they had. Mr. Marquette stated the residential property owners to the east requested that all trees be removed as some trees were on the property line. Mr. Marquette stated the fence is being proposed for screening as well as for security for construction equipment, tools and items that will be stored on the eastern side of the parcel. Mr. Marquette stated he would follow Code requirements noting the Code lists fencing as a type of permitted screening. Commissioner Lejonvarn asked if there is any room to plant trees. Mr. Marquette stated there is not due to the elevation change of five to six feet from the residential property line to the infiltration pond and the location of the retaining walls. Chair Pogalz noted Building and Zoning Official Jones' memo states fencing is to meet City Code, screening is to be provided in areas abutting residential property as required by Article 11-1853(A) and screening material must be approved by the Building Official. Chair Pogalz reviewed the conditions of approval listed in Building and Zoning Official Jones' memo. There was discussion about whether trees should be required along Aberdeen Street NE. **Motion by Lejonvarn to recommend approval of the request of Brian Larson of Classic Construction Services, on behalf of Dercon Construction Services, Inc., for Commercial Site Plan approval to construct an office warehouse building at 14961 Aberdeen Street NE, subject the building being used for office/warehouse use only, trucks unloading or loading shall not block any portion of Aberdeen Street NE at any time, no on-street parking is allowed, no outside storage, all fencing is to meet City Code, all trash containers are to be screened as required by City Code, screening is to be provided in areas abutting residential property as required by Article 11-1853(A) of City Code, screening material must be approved by the Building Official, meeting the requirements of the City Engineer, obtaining a Coon Creek Watershed District (CCWD) permit and National Pollutant Discharge Elimination System (NPDES) permit before groundwork can begin, operating hours of 7:30 am to 5:30 pm Monday through Friday and meeting all State, County and City requirements.** Chair Pogalz asked for clarification on the type of screening that will be required adjacent to residential property. Commissioner Lejonvarn stated the eight-foot fence is the recommended screening adjacent to residential property. There was discussion on whether to include operating hours as one of the conditions of approval. Chair Pogalz asked if the Planning Commission needed to have any additional discussion about past issues associated with the parcel that may need to be addressed to ensure records are accurate in the future. Engineer Krugler stated he was not aware of any; the encroachment agreement will address the current cul-de-sac easement issue. Chair Pogalz asked if the encroachment agreement would affect the use of the building. Engineer Krugler said it would not; it may affect the parking

area and the proposed eastern septic area. **Motion seconded by Entsminger. All present in favor, motion carried.** *This application will be placed on the City Council's Monday, October 20, 2025, agenda.*

Mr. Larson asked if the encroachment agreement needed to be signed before the City Council meeting. Engineer Krugler stated the encroachment agreement would need to be signed before a building permit could be issued.

Commissioner Entsminger removed himself from the table due to being a contractor for the developer of Elwell Commercial Park.

Nate Byom of Kwik Trip, Inc requesting Commercial Site Plan approval for the construction of a convenience store (retail facility), with 10 fuel dispensers, at proposed Lot 1, Block 1 of Elwell Commercial Park at the northwest corner of 143rd Avenue NE and Highway 65 NE

Ms. Lisa Wadsen, Kwik Trip Real Estate Development Manager for the Minnesota market, was present. Ms. Wadsen stated the proposed convenience store will be Kwik Trip's newest store concept labeled as Gen3. Ms. Wadsen stated the store will be 9,100 square feet and there will be ten fueling stations. Ms. Wadsen listed some of the features the store will have, such as two self-checkout lanes, high top and low top seating areas so customers can eat inside of the store, a produce island, an expanded grocery and refrigeration area as well as an expanded kitchen area. Ms. Wadsen stated construction is scheduled to start in June 2026. Ms. Wadsen stated the parcel the store will be on will be 3.67 acres; it will not have a car wash. Ms. Wadsen stated Kwik Trip gives back to the community in many ways such as giving items to food banks, supporting police and fire departments during training events by providing water or energy drinks, hiring adult workers who may have special needs or want a place to work, participating in local events and supporting local sports teams. Ms. Wadsen stated all Kwik Trip store employees benefit from profit sharing whether they work full-time or part-time. Ms. Wadsen stated Kwik Trip provides leadership opportunities for employees, allowing them to train for management positions and relocate to other stores. Chair Pogalz asked Engineer Krugler to comment. Engineer Krugler stated the Kwik Trip store will be located on the future Lot 1, Block 1 of Elwell Commercial Park. (The Elwell Commercial Park plat has not yet been filed with Anoka County.) Engineer Krugler stated Kwik Trip has presented an extensive landscaping plan; the parcel is bordered by Highway 65 NE or commercial property, and the landscape plan appears to meet the requirements for screening along Highway 65 NE. Engineer Krugler stated there are two different storm sewer discharge systems proposed; a portion of the stormwater runoff that will contain typical vehicle and roof contaminants will be conveyed to the regional pond within the Elwell Commercial Park plat; the remainder of the stormwater runoff will be treated on-site and discharged to the MnDOT Trunk Highway 65 right-of-way. Engineer Krugler stated there is a Northern Natural Gas (NNG) pipeline easement located in the southwest corner of the parcel; a NNG representative must be present on-site during any work that disturbs area adjacent to the pipeline. The project has been conditionally approved by the CCWD and an NPDES permit will be needed before grading operations can commence. Chair Pogalz reviewed Building and Zoning Official Jones' memo. Chair Pogalz completed the inspection, a copy which is on file. Chair Pogalz stated the commercial development this store will be built

in, was approved earlier this year, mass grading has been done at the site and storm sewer is currently being put in place. Chair Pogalz stated the billboard sign that is to be removed is still in place. Engineer Krugler stated the billboard will need to be removed prior to issuance of a building permit for the Kwik Trip store. Chair Pogalz stated the landscaping plan is extensive and meets the requirements of Code. **Motion by Pogalz, seconded by Fisher, to recommend approval of the request of Nate Byom, of Kwik Trip, Inc, for Commercial Site Plan approval for the construction of a 9,100 square foot convenience store (retail facility), with 10 fuel dispensers, at proposed Lot 1, Block 1 of Elwell Commercial Park at the northwest corner of 143rd Avenue NE and Highway 65 NE subject to the recording of the plat of Elwell Commercial Park with Anoka County and Kwik Trip, Inc. providing proof of ownership of Lot 1, Block 1 before a building permit is issued, the septic design passing plan review, obtaining a Coon Creek Watershed District (CCWD) permit and National Pollutant Discharge Elimination System (NPDES) permit before groundwork begins, all exterior lighting meeting City Code requirements, meeting the requirements of the City Engineer, and meeting all State, County and City Code requirements. Commissioners Pogalz, Lejonvarn, Ross, Fisher and Dixson voted yes, Commissioner Entsminger abstained from the vote. Motion carried.** *This application will be placed on the City Council's Monday, October 20, 2025 agenda.*

Chair Pogalz verified Ms. Wadsen had seen all documents in the packet. Ms. Wadsen stated she had, and that she has no concerns. Ms. Wadsen provided an update on recent communication Nate Byom has had with the CCWD.

Commissioner Entsminger returned to his seat at the table.

COMMISSION BUSINESS:

City Council Update

Chair Pogalz informed the Commissioners that the City Council concurred with the Commission's recommendations to approve the Conditional Use Permit for Enthusiast Car Co. A Planning Commissioner will not be present at the October 20, 2025 City Council meeting.

ADJOURNMENT:

Motion by Dixson, seconded by Fisher, to adjourn the Planning Commission meeting at 6:46 p.m. All present in favor, motion carried.

_____

Jennifer Bohr
Building and Zoning Clerk

RECEIVED
SEP 24 2025
By: .....

CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE
Ham Lake, MN 55304
Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 09-11-2025 **Date of Receipt** 9-26-25

Receipt # 0103867 **Amount $** 750.00

Meeting Appearance Dates:
Planning Commission 10-13-2025 **City Council** _____

Please check request(s):

- [ ] Metes & Bounds Conveyance
- [ ] Sketch Plan
- [ ] Preliminary Plat Approval*
- [ ] Final Plat Approval
- [ ] Rezoning*
- [ ] Multiple Dog License*
- [x] Commercial Building Permit
- [ ] Certificate of Occupancy
- [ ] Home Occupation Permit
- [ ] Conditional Use Permit (New)*
- [ ] Conditional Use Permit (Renewal)
- [ ] Other _____

NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.

Development/Business Name: The Church of St Paul

Address/Location of property: 1740 Bunker Lake Blvd NE, Ham Lake, MN 55304

Legal Description of property: NE1/4 OF SE1/4 OF SEC 32 TWP 32 RGE 23 EX N 312 FT OF W 1/2 OF SE 1/4 1/4, AND EX N 494 FT OF W 500 FT, AS MEASURED ALG W & N LINES THEREOF, EX RD SUBJ TO EASE OF REC

PIN # 32-32-23-41-0013 **Current Zoning** CD-3 **Proposed Zoning** ——

Notes: 60' x 80' Accessory Bldg (Garage/Shop)

Applicant's Name: Daniel Tousignant

Business Name: Allan Dorney Construction MN, Inc

Address 7840 Main Street NE

City Fridley **State** MN **Zip Code** 55432

Phone _____ **Cell Phone** 612-741-1784 **Fax** _____

Email address _____

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE _____ **DATE** 09-11-2025

****

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____ **PROPERTY TAXES CURRENT** (YES) NO
City Council _____ **Any Active/Deferred Assessments** YES NO

CITY OF HAM LAKE
ACKNOWLEDGMENT OF RESPONSIBILITY
TO REIMBURSE EXPENSES

The undersigned, Allan Dorney Construction MN, Inc **, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:**
Commercial Building Permit

Type of Application

acknowledges that the sum of $750**, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.**

Applicant Signature _____ **Dated** 09-11-2025

The following statement must be signed if the applicant is not the property owner:

Joe Langfeld**, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.**

I am aware of the application being submitted by the applicant and approve the request.

Property Owner Signature _____ **Dated** 9/11/2025

PETERSON LAKE PRESERVE
PETERSON LAKE
138TH AVE
ENTERPRISE PLAZA RD
BLVD. (CSAH 116)
EVELETH ST
136TH AVE
SANTI ST
JENSEN
134TH LN
134TH AVE
STONE ESTATES
CHRISTY'S
ESTATES
133RD LN
RASMUSSON
JENKINS ST
N
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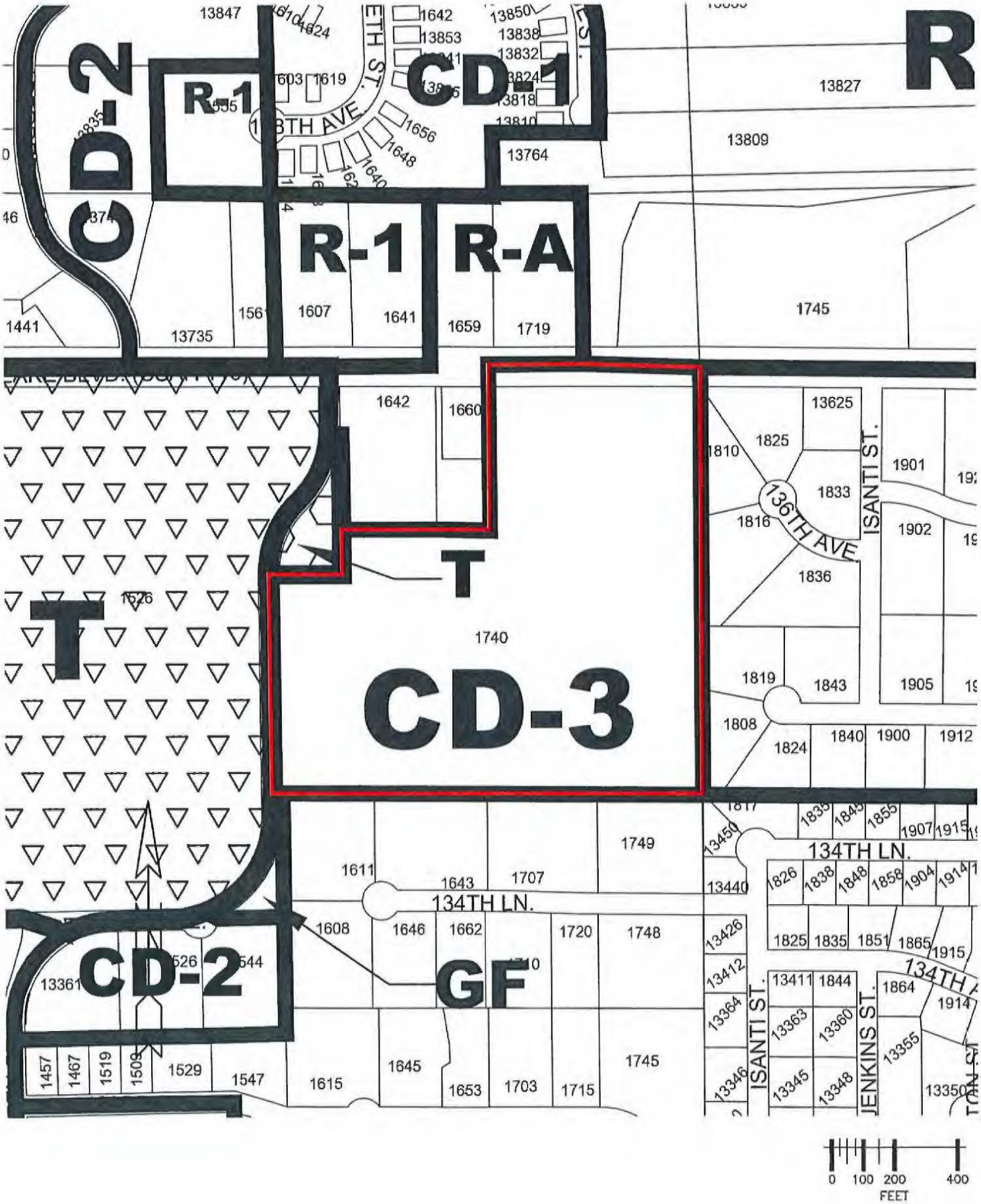
FEET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CD-1
R
R-1
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CD-3
CD-2
GF
136TH AVE.
134TH LN.
134TH LN.
ISANTI ST.
ISANTI ST.
JENKINS ST.
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S 1/2 SECTION 32, T. 32, R. 23

CITY OF HAM LAKE

GRAPHIC SCALE

SCALE IN FEET

ANOKA COUNTY SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11	NORTH HALF OF SECTION
23	24	13	14	
32	31	42	41	SOUTH HALF OF SECTION
33	34	43	44	

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter Quarter	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 32-32-23-43-0006

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

Last Revised: January 11, 2022

Title Page
Garage – Pole Barn

The Church of Saint Paul seeks to replace a garage removed 31 years ago for a 1994 on grade building expansion. This new pole barn will be used to store equipment and remove excess supplies stored throughout the aging main building which does not have a sprinkler system. The goal of the project is to create additional storage capacity for the church and comply with updated fire codes.

This 60 x 80-foot building will house all gas vehicles, electric powered tools used for groundskeeping, and seasonal or occasional use material such as Vacation Bible School sets or Christmas decorations. At the completion of the original building for the parish in 1984, a snowplow (former state plow truck) has been used to clear the parking lot and driveways in winter. This vehicle was stored offsite with generous volunteers until 2024. To keep equipment from becoming an eyesore for neighbors, the parish will park the plow inside the new pole barn. The plow alone is expected to use 25% of the new pole barn floor space.

The pole barn will have radiant gas heat and LED electric lights, but no staff will be officed in the structure. Its primary use will be storage.

The Church of Saint Paul has one facilities manager who oversees a dozen parish volunteers who cut grass and work on grounds keeping during the summer months. The vast majority of activity in or at the pole barn will be simply open and close the doors for equipment to exit the space. Groundskeeping volunteers perform those duties during daylight hours except for snow removal.

Meeting Date: October 13, 2025

CITY OF HAM LAKE
STAFF REPORT

To: **Members of the Planning Commission**

From: **Mark Jones, Building and Zoning Official**

Subject: **The Church of Saint Paul Commercial Site Plan request to construct a 60' x 80' or 4,800 square foot storage building at 1740 Bunker Lake Boulevard NE**

Introduction/Discussion:

The Church of Saint Paul is asking for commercial site plan approval to construct a 60' x 80' (4,800 square feet) storage building. The property is zoned CD-3; churches, including ancillary structures, are permitted uses in this district. The new building will be of pole type construction. This type of construction is allowed in CD-3 zoning. This building will be used to store a large plow truck, lawn tractors, electric powered tools used for groundskeeping, and seasonal, or occasional use, material such as Vacation Bible School sets or Christmas decorations

No staff will be officed in the building. Its primary use will be storage. Most of the activity in, or at the pole barn, will simply be the opening and closing of the doors for equipment movement. Groundskeeping volunteers will perform these duties during daylight hours, except for when there is a need for snow removal.

Recommendation:

I recommend approval of the commercial site plan for the construction of a 4,800 square foot pole building requested by The Church of Saint Paul with the following conditions:

1) The building is to be used for storage only.
2) The building meets the Mechanical Code.
3) If a floor drain is installed, it must meet the Plumbing Code.
4) No out storage.
5) All surfaces that a vehicle can drive on need to be a code approved hard surface.
6) Meeting all State, County and City Codes.

Jennifer Bohr

From: Abbey Lee
Sent: Friday, September 26, 2025 9:31 AM
To: Daniel Tousignant;
Cc: Jennifer Bohr
Subject: RE: New Garage-Church of St Paul

Great, thank you for sending this. This scope of work does not require a Coon Creek Watershed District permit. Please ensure any other local permits are acquired prior to construction.

If plans change, please send updated plans for review.

Thanks,

Abbey Lee
Watershed Development Manager
763.258.7928 direct
763.755.0975 office
13632 Van Buren St NE
Ham Lake, MN 55304
www.cooncreekwd.org
COON CREEK WATERSHED DISTRICT

From: Daniel Tousignant
Sent: Thursday, September 25, 2025 10:00 AM
To: Abbey Lee <alee@cooncreekwd.org>; joe.langfeld@churchofsaintpaul.com
Subject: Re: New Garage-Church of St Paul

Caution: This email originated outside our organization; please use caution.

Abbey,

The location of the storage building in on the south side of parking lot and middle of the property. Attached is the survey showing the proposed location of the new storage building.

A.D. JOB 19:25
ALLAN DORNEY CONSTRUCTION
SIGNATURE SUNROOMS
Dan Tousignant I President

CERTIFICATE OF SURVEY

SECTION 32, TOWNSHIP 32N, RANGE 23W
ANOKA COUNTY, MINNESOTA

LEGAL DESCRIPTION AS PROVIDED:

(EAST PARCEL)

EAST 1/2 OF THE NE 1/4 OF THE SE 1/4 OF SECTION 32, TOWNSHIP 32, RANGE 23, COUNTY OF ANOKA, STATE OF MINNESOTA, SUBJECT TO EASEMENT FOR BUNKER LAKE BOULEVARD OVER THE NORTH 33 FEET THEREOF.

(WEST PARCEL)

THE WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, SECTION 32, TOWNSHIP 32, RANGE 23, ANOKA COUNTY, MINNESOTA,

EXCEPT THE EAST 176 FEET OF THE NORTH 612.47 FEET OF SAID WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER

AND EXCEPT THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, SECTION 32, TOWNSHIP 32, RANGE 23, ANOKA COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER; THENCE EAST ALONG THE NORTH LINE OF SAID NORTHEAST QUART OF THE SOUTHEAST QUARTER A DISTANCE OF 200 FEET; THENCE SOUTH AT A RIGHT ANGLE A DISTANCE OF 109 FEET; THENCE SOUTH PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER A DISTANCE OF 109 FEET; THENCE WEST PARALLEL WITH SAID NORTH LINE A DISTANCE OF 200 FEET TO THE SAID WEST LINE; THENCE NORTH ALONG SAID WEST LINE TO THE PLACE OF COMMENCEMENT.

ALSO EXCEPT THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, SECTION 32, TOWNSHIP 32, RANGE 23, ANOKA COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER; THENCE EAST ALONG SAID NORTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER A DISTANCE OF 200 FEET; THENCE SOUTH PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER A DISTANCE OF 218 FEET TO THE ACTUAL POINT OF BEGINNING DESCRIBED HEREIN; THENCE CONTINUE SOUTH PARALLEL WITH SAID WEST LINE A DISTANCE OF 438 FEET; THENCE WEST PARALLEL WITH SAID NORTH LINE A DISTANCE OF 200 FEET TO THE SAID WEST LINE; THENCE NORTH ALONG SAID WEST LINE A DISTANCE OF 438 FEET; THENCE EAST PARALLEL WITH SAID NORTH LINE A DISTANCE OF 200 FEET TO THE ACTUAL POINT OF BEGINNING.

SUBJECT TO AN EASEMENT FOR ROAD PURPOSES OVER THE NORTH 33 FEET THEREOF FOR COUNTY ROAD NO. 118, AND SUBJECT TO AN EASEMENT FOR ROAD PURPOSES OVER THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, SECTION 32, TOWNSHIP 32, RANGE 23, ANOKA COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER WHICH IS 187 FEET EAST OF THE NORTHWEST CORNER THEREOF; THENCE SOUTH PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER A DISTANCE OF 651 FEET; THENCE EAST PARALLEL WITH SAID NORTH LINE A DISTANCE OF 88 FEET; THENCE NORTH PARALLEL WITH SAID WEST LINE TO THE SAID NORTH LINE; THENCE WEST ALONG SAID NORTH LINE TO THE POINT OF COMMENCEMENT.

ALSO EXCEPT THE NORTH 312.47 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 32, RANGE 23, ANOKA COUNTY, MINNESOTA.

SURVEYOR NOTES:

1. BEARING ARE BASED ON THE ANOKA COUNTY COORDINATE SYSTEM (NAD83 (2011 ADJUSTMENT))
2. ELEVATIONS ARE BASED ON NAVD88 DATUM.
3. APEX LAND SURVEYING, LLC PREPARED THIS SURVEY WITHOUT THE BENEFIT OF CURRENT TITLE WORK. THE PROPERTY SHOWN IS BASED ON A LEGAL DESCRIPTION PROVIDED BY YOU THE CLIENT OR A GENERAL REQUEST AT THE APPROPRIATE COUNTY RECORDERS OFFICE. EASEMENT, SITE RESTRICTION OR ADJOINING DEED CONFLICTS MAY EXIST WHICH AFFECT SUBJECT PROPERTY AND ARE NOT SHOWN BY THIS SURVEY. WE RESERVE THE RIGHT TO REVISE THE SURVEY UPON RECEIPT OF A CURRENT TITLE COMMITMENT OR TITLE OPINION.
4. PROPOSED GARAGE/SHOP (NO LIVING QUARTERS)
   - FIRST FLOOR ELEVATION = 916.80
   - GRADES: SLOPE ALL GRADES 12% AWAWAY AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 10FT FOR ADEQUATE DRAINAGE. IMPERVIOUS SURFACES WITHIN 10FT OF THE BUILDING MAY HAVE A 2% MINIMUM SLOPE.

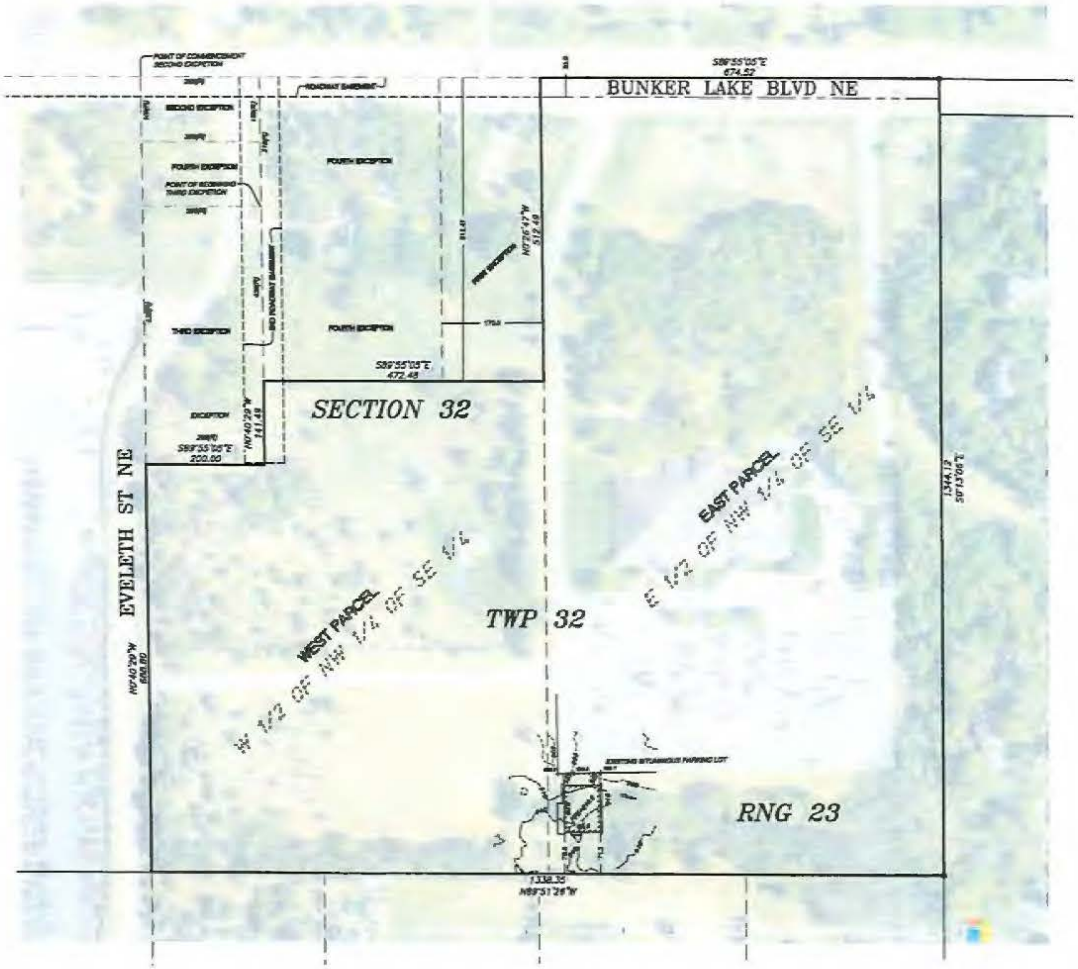
1" = 100'
GRAPHIC SCALE
0 50' 100' 200'

- FOUND MONUMENT
- FOUND CAST IRON MONUMENT
- COMPUTED POSITION
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED BUILDING

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

KALEB J. KADELBACH (LICENSE NO. 57070) — DATE: 9/22/2025



CLIENT INFORMATION:
5746 BUNKER LAKE BLVD NE
FOLD CREEK ENGINEERING
APEX JOB NO. 25604

APEX LAND SURVEYING

CERTIFICATE OF SURVEY

SECTION 32, TOWNSHIP 32N, RANGE 23W
ANOKA COUNTY, MINNESOTA

LEGAL DESCRIPTION AS PROVIDED:

(EAST PARCEL)

EAST 1/2 OF THE NE 1/4 OF THE SE 1/4 OF SECTION 32, TOWNSHIP 32, RANGE 23, COUNTY OF ANOKA, STATE OF MINNESOTA. SUBJECT TO EASEMENT FOR BUNKER LAKE BOULEVARD OVER THE NORTH 33 FEET THEREOF.

(WEST PARCEL)

THE WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, SECTION 32, TOWNSHIP 32, RANGE 23, ANOKA COUNTY, MINNESOTA.

EXCEPT THE EAST 170 FEET OF THE NORTH 512.47 FEET OF SAID WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER

AND EXCEPT THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, SECTION 32, TOWNSHIP 32, RANGE 23, ANOKA COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER; THENCE EAST ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER A DISTANCE OF 200 FEET; THENCE SOUTH AT A RIGHT ANGLE A DISTANCE OF 100 FEET; THENCE SOUTH PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER A DISTANCE OF 109 FEET; THENCE WEST PARALLEL WITH SAID NORTH LINE A DISTANCE OF 200 FEET TO THE SAID WEST LINE; THENCE NORTH ALONG SAID WEST LINE TO THE PLACE OF COMMENCEMENT.

ALSO EXCEPT THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, SECTION 32, TOWNSHIP 32, RANGE 23, ANOKA COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER; THENCE EAST ALONG SAID NORTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER A DISTANCE OF 200 FEET; THENCE SOUTH PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER A DISTANCE OF 210 FEET TO THE ACTUAL POINT OF BEGINNING OF BEGINNING HEREIN; THENCE CONTINUE SOUTH PARALLEL WITH SAID WEST LINE A DISTANCE OF 436 FEET; THENCE WEST PARALLEL WITH SAID NORTH LINE A DISTANCE OF 300 FEET TO THE SAID WEST LINE; THENCE NORTH ALONG SAID WEST LINE A DISTANCE OF 436 FEET; THENCE EAST PARALLEL WITH SAID NORTH LINE A DISTANCE OF 300 FEET TO THE ACTUAL POINT OF BEGINNING.

SUBJECT TO AN EASEMENT FOR ROAD PURPOSES OVER THE NORTH 33 FEET THEREOF FOR COUNTY ROAD NO. 116, AND SUBJECT TO AN EASEMENT FOR ROAD PURPOSES OVER THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, SECTION 32, TOWNSHIP 32, RANGE 23, ANOKA COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER WHICH IS 167 FEET EAST OF THE NORTHWEST CORNER THEREOF; THENCE SOUTH PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER A DISTANCE OF 661 FEET; THENCE EAST PARALLEL WITH SAID NORTH LINE A DISTANCE OF 66 FEET; THENCE NORTH PARALLEL WITH SAID WEST LINE TO THE SAID NORTH LINE; THENCE WEST ALONG SAID NORTH LINE TO THE POINT OF COMMENCEMENT.

ALSO EXCEPT THE NORTH 512.47 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 32, RANGE 23, ANOKA COUNTY, MINNESOTA.

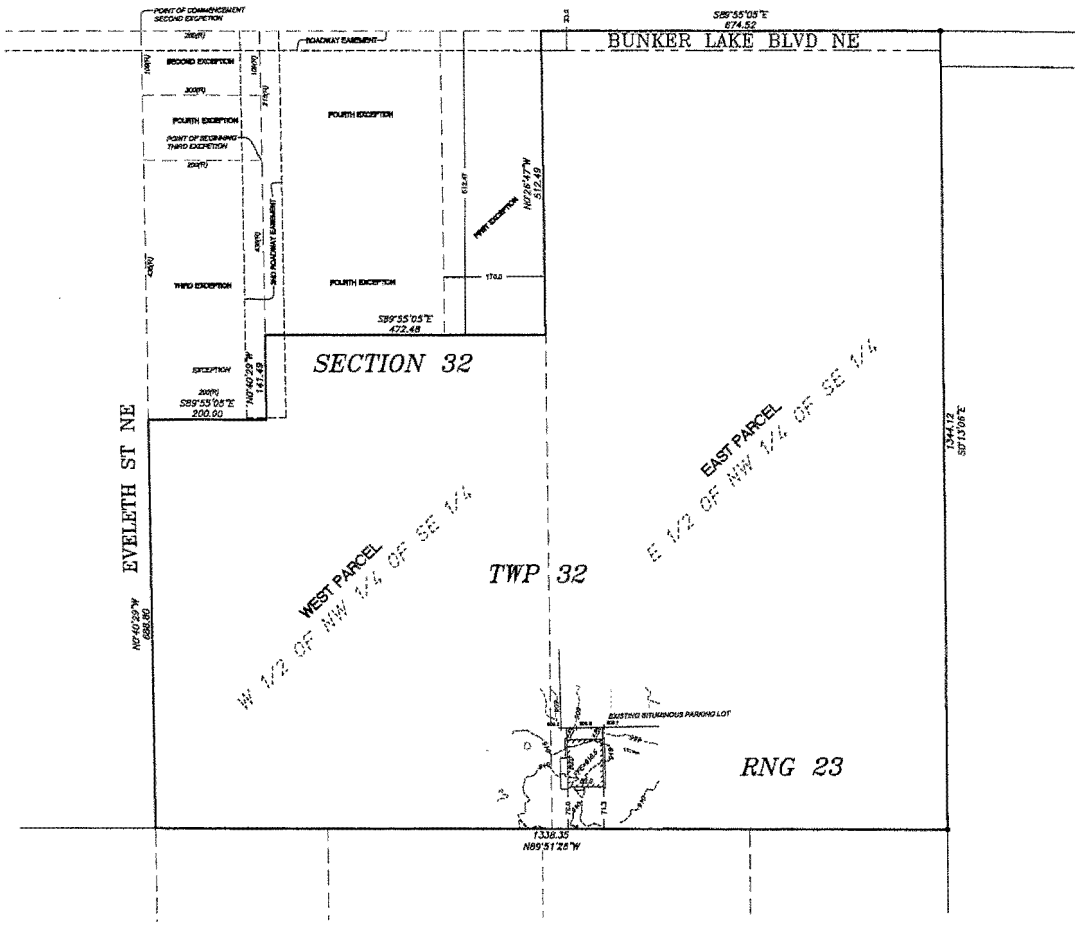
SURVEYOR NOTES:

1. BEARING ARE BASED ON THE ANOKA COUNTY COORDINATE SYSTEM NAD83 (2011 ADJUSTMENT)

2. ELEVATIONS ARE BASED ON NAVD88 DATUM.

3. APEX LAND SURVEYING, LLC PREPARED THIS SURVEY WITHOUT THE BENEFIT OF CURRENT TITLE WORK. THE PROPERTY SHOWN IS BASED ON A LEGAL DESCRIPTION PROVIDED BY YOU THE CLIENT OR A GENERAL REQUEST AT THE APPROPRIATE COUNTY RECORDERS OFFICE. EASEMENT, SITE RESTRICTION OR ADJOINING DEED CONFLICTS MAY EXIST WHICH AFFECT SUBJECT PROPERTY AND ARE NOT SHOWN BY THIS SURVEY. WE RESERVE THE RIGHT TO REVISE THE SURVEY UPON RECEIPT OF A CURRENT TITLE COMMITMENT OR TITLE OPINION.

4. PROPOSED DRAINAGE/CHOP (NO LIVING QUARTERS)
- FIRST FLOOR ELEVATION = 910.50
- GRADING: SLOPE ALL GRADES 33% MINIMUM AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 10FT FOR ADEQUATE DRAINAGE. IMPERVIOUS SURFACES WITHIN 10FT OF THE BUILDING MAY HAVE A 2% MINIMUM SLOPE.



1" = 100'
DRAWING SCALE
0 50' 100' 200'

- FOUND MONUMENT
- FOUND CAST IRON MONUMENT
- COMPUTED POSITION
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED BUILDING

SURVEYORS CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA

KALEB A. KADELBACH (LICENSE NO. 57570) — 8/22/2025 DATE

CLIENT INFORMATION:
1310 BUNKER LAKE BLVD NE
HAM LAKE, MN 55304

FIELD DATE: 08/22/2025
APEX JOB NO. 25502

APEX LAND SURVEYING
Email: kaleb@apexlandsurveying.com PH: (763) 208-0038

Page No.	Index
1	Cover Page
2	Plan Set Notes
3	Column and Truss Layout
4	Floor Plan
5	Elevations
6	Section
7	Column Anchoring
8	Structural Connections
9	Porch Header
10	Jack Bracing
11	Structural Wall Bracing
12	Construction Wall Bracing
13	Wind Bracing
14	Gable Canopy
15	Roof Steel Diaphragm Detail
16	Attic Details
17	Truss 250351A - 60' SLC (4-12)

Church of Saint Paul
Joe Langfeld

1740 Bunker Lake Blvd NE
Ham Lake, MN 55304

Anoka County

Garage/Shop (no Living Quarters)

60'-0" x 80'-0" x 16'-4" ICH

Building Loadings:

50 PSF Ground Snow Load
115 MPH Ultimate Wind Speed Exposure C
2000 Presumptive Soil Bearing
200 PSF Lateral Soil Pressure Capacity

Job Number:	250351M
Date: 08-13-25	Drawn By: JDK
Revised:	Revised By:
Revised:	Revised By:
Revised:	Revised By:

This building was designed in accordance with the following codes
2020 Minnesota Building Code
Adopts 2018 IBC with Amendments

Plan Set

This building is designed to Wick Buildings' specifications and materials, This plan can only be used to build a Wick Building. If sealed, the seal is not valid for any other building unless Wick Buildings has identified duplicate projects in these plans.

Wick Buildings
Engineering Office:
405 Walter Road
Mazomanie, Wisconsin 53560
Phone: 608-795-2294
Fax: 608-795-2534

ALLAN DORNEY CONSTRUCTION MN INC
SARAH SPAETH
7830 MAIN STREET NE
FRIDLEY, MN 55432
Phone: 763-220-3907

PROFESSIONAL ENGINEER
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Signature:
Print Name: Matthew Dorle
8/14/2025 License # 49872

Abbreviations

NWC	= Non Wick Contractor
AH	= Aluminum Horizontal Soffit
SH	= Steel Horizontal Soffit
EH	= Eave Height
ICH	= Interior Clear Height
SLC	= Straight Lower Cord
RLC	= Raised Lower Cord
ECE	= Endwall Column Extension
WB	= Wind Bracing
JB	= Jack Bracing
JB&V	= Jack & Vertical Bracing
CB	= Corner Bracing
XB	= X-Bracing
SHWL	= Shear Wall Location
CC	= Concrete Collar
FO	= Frame Out
OC	= On Center
OTO	= Out to Out
#d	= penny weight, measure of a nail's length
℄	= Center Line
ga	= gauge
Qty	= Quantity
SqFt, ft²	= Square Feet
ft³	= Cubic Feet
SYP	= Southern Yellow Pine
SPF	= Spruce Pine Fir
CCA	= Chromated Copper Arsenate
MCA	= Micronized Copper Azole
MPH	= Miles Per Hour
PSI	= Pounds per Square Inch
PSF	= Pounds per Square Foot
P	= Axial Load
U	= Uplift Load
V	= Shear Load
R	= R-value, Resistence Value
APA	= American Plywood Association
OSB	= Orientated Strand Board
ICC	= International Code Council
IBC	= International Building Code
ASTM	= American Society for Testing & Materials
ASCE	= American Society of Civil Engineers
ASABE	= American Society of Agricultural and Biological Engineers
AISC	= American Institute of Steel Construction
ACI	= American Concrete Institute
ANSI	= American National Standards Institute
NCMA	= National Concrete Masonry Association

Fastener / Product Legend

Composite Footing = AG-CO FootingPad Engineered Composite Footing (ICC-ES ESR-2147)

1 1/4" Washerless Nail	=	Washerless Nail 1 1/4"
2" Stormguard Nail	=	Stormguard Nail 2"
6d Nail	=	Nail 6d, Smooth Strip Nail 2" x .113, Ring Shank
10d Nail	=	Nail 10d, Ring Shank Strip Nail 2 3/4" x .131, Ring Shank
16d Nail	=	Nail 16d, Ring Shank Strip Nail 3 1/2" x .131, Ring Shank
1 1/2" PP Nail	=	Positive Placement Nail 1 1/2" x .148, Ring Shank
2 1/2" PP Nail	=	Positive Placement Nail 2 1/2" x .148, Ring Shank
#10 x 2 3/4" Screw	=	U2 Universal Screw #10 x 2 3/4"
#10 x 3" SS Screw	=	U2 Universal Screw #10 x 3", Stainless Steel
#12 x 4" Screw	=	U2 Universal Screw #12 x 4"
#12 x 6" Screw	=	U2 Universal Screw #12 x 6"
Galv	=	Galvanized
SS	=	Stainless Steel

Concrete floor (by Non-Wick contractor) is an integral part of the structural design to provide column base restraint. If floor is removed or eliminated, a licensed design professional must be contacted to provide a redesign to support the wind lateral force @ column base.

The Wind Lateral Force is supported by the perimeter walls. If these walls are removed or opened (more than shown on this plan) a licensed design professional must be contacted to provide a redesign to support the wind lateral force.

This building foundation was designed to meet ASABE EP-486.2 for Shallow Post Foundation Design and Allowable Soil Pressures. The following soil type was used; Soil type 3 description; Sandy gravel and/or gravel with loose consistency is per independent builder information. The 2000 PSF base presumptive soil bearing capacity is adjusted to 3301 PSF per use of this table. If soil does not meet this description when excavated notify Engineer of Record for redesign

Structural Design Information

IBC 2018 and ASCE 7-16

*Roof Snow Load	
Ground snow load, Pg =	50 PSF
Flat roof snow load Pf =	42 PSF
Snow Exposure factor, Ce =	1
Snow Load Importance Factor, Is =	1
Thermal Factor, Ct =	1.2
Roof Slope Factor, Cs =	0.93
*Wind Design Data	
Ultimate Wind Speed, Vult=	115 MPH
Nominal Wind Speed =	89.1 MPH
Risk Category of Building	II
Wind Exposure Factor =	C Scattered Obstructions
Internal Pressure Coefficient, GCpi =	0.18 Enclosed
Components and Cladding Pressure (10 SF tributary area)	
Zone 4 -	24.1 PSF
Zone 5 -	29.7 PSF

This plan set is to only certify the structural capabilities of this building in meeting the referenced code.

Items not addressed on these plans are:

Concrete Design	Site Design	Allowable Area
Egress Requirements	Accessibility Requirements	Fire-Protection Systems
Sanitary Facility Requirements	Lighting Design	Energy Conservation Design
HVAC Design	Plumbing Design	Electrical Design

Note: The building is assumed to be located on the property having access to public ways as required by local codes and located a minimum distance from adjacent buildings and property lines so as not to require exterior walls with fire resistance or opening protection per local code.

General Notes

1. Building is a Wick Building designed for 50 PSF Ground Snow Load and 115 MPH Ultimate Wind Speed, assuming 2000 PSF soil bearing. Bearing Capacity Adjustment made per EP-486.2
2. Lumber: S4S #2 Spruce Pine Fir or equivalent unless noted otherwise on drawings.
3. Concrete Strength: 4000 psi in 28 days, slump not over 4". Ready-mix concrete to meet ASTM C94.
4. Cover Reinforcing Steel with Concrete: 3" next to ground, 2" in foundation wall forms. Lap reinforcing steel bars 24 bar diameters and mesh 12". Steel reinforcement to be grade 60.
5. Finishing and Curing Concrete: Keep wall forms on 24 hours before stripping. Keep floors covered with watertight membrane for 3 days or use curing compound. Steel trowel all floors to a dense finish, lightly broom for non-slip surface.
6. Concrete Temperature: Maintain concrete temperature above 50 degrees for 72 hours.
7. Fill: Compacted fill shall be granular material, free of debris and stones over 4" and reasonably graded. No frozen materials will be allowed.
8. Compaction: Strip topsoil and other organic material prior to placing fill. Place fill in 9" loose lifts and compact with suitable mechanical equipment to a density 95% of maximum density.
9. Grades: Slope all grades (5% minimum) away from building for a minimum distance of 10ft for adequate drainage. Impervious surfaces within 10ft of the building may have a 2% minimum slope.
10. Exits: Exit and exit access doors must be marked with approved exit signs visible from any direction of egress travel. Exit signs must be illuminated at all times and provided with a system to insure 90 minute illumination in case of power outage. Exit signs to comply with section 1013.1 of the IBC building code. Exit signs are not required in areas where a single exit is acceptable. Provide a landing at egress doors 44" long and the width of the door wide with no more than a 1/2" high threshold per IBC 1010.1.6 and 1010.1.7 Exit signs, exit lights and egress landings to be supplied and installed by non-Wick contractor.
11. Heating, Ventilation and Air Conditioning: NOT part of this plan set and shall be as approved by local building officials.
12. Plumbing: NOT part of this plan set and shall be installed in accordance with any local codes.
13. Electrical: NOT part of this plan set and shall be installed in accordance with the National Electrical Code and any local codes.
14. Heating Equipment & Water Heaters: NOT part of this plan set and shall be as approved by local building officials.
15. Lighting: This building will NOT have lighting installed until State approval is acquired.
16. Provide portable fire extinguishers per section IBC 906
17. This is a S-1 Occupancy, Type 5B construction.
18. This building will be used for a Commercial Storage.

Garage/Shop (no Living Quarters)

50 PSF Ground Snow Load
115 MPH Ultimate Wind Speed
2000 PSF Presumptive Soil Bearing

Plan Set

Wick Buildings®

Engineering Office:
405 Walter Road,
Mazomanie, Wisconsin 53560
Phone: 608-795-2294
Fax: 608-795-2534
Web Site: www.wickbuildings.com

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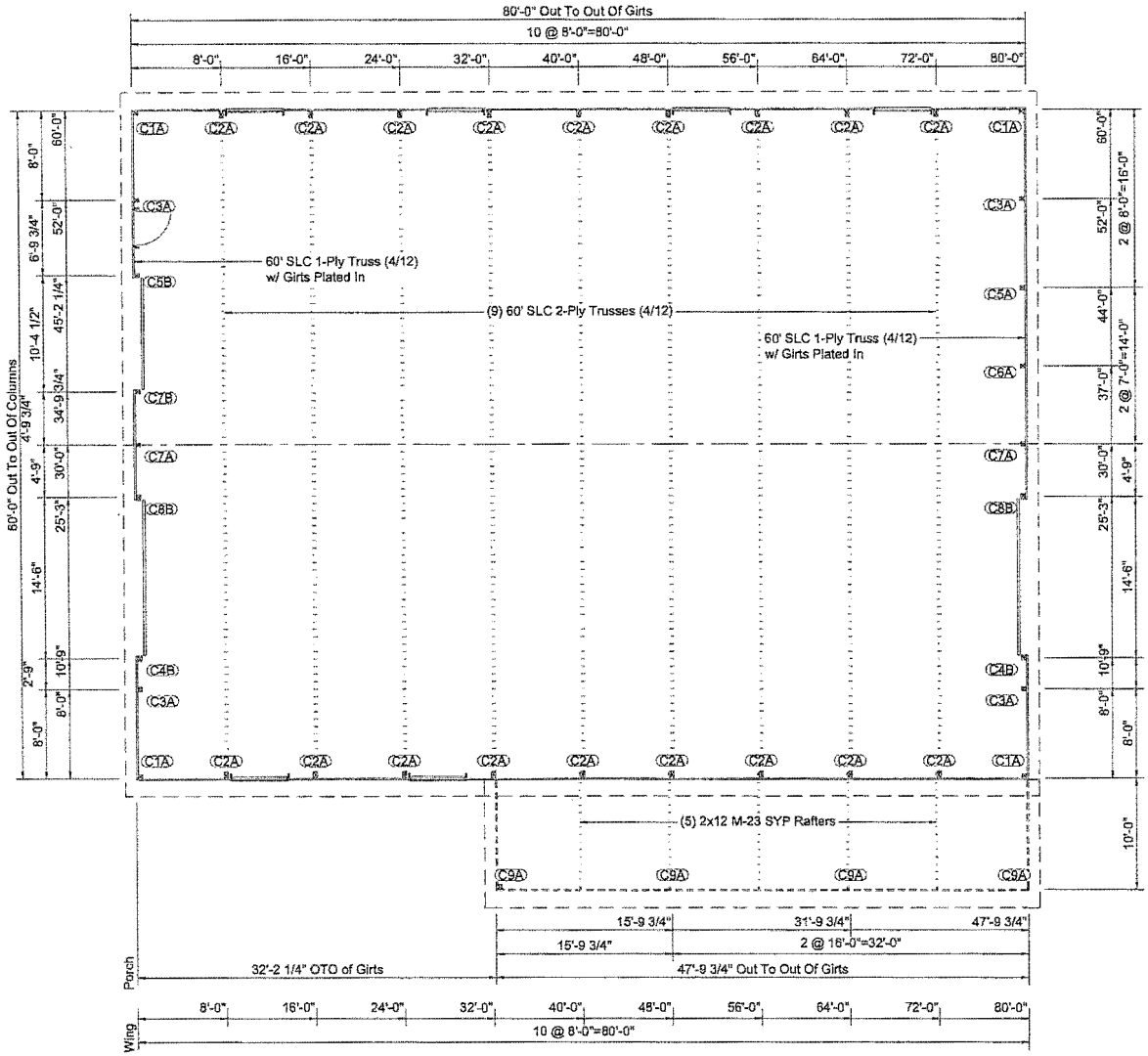
Church of Saint Paul
Plan Set Notes

Drawn By: JDK	Job No.: 250351M	View:
Scale: 24		Page: 2
Rev. Date:	Org. Date: 08-13-25	File: G:\...\250351.dwg



Typical 2-Ply Truss to 3-Ply Column Placement

DIAGONALS
Out to Out of Columns
60'-0" x 79'-9" = 99'-9 1/2"
Out to Out of Girts
60'-3" x 80'-0" = 100'-1 3/4"

Note: The columns and footings for this building are not designed to support a mezzanine / deck.

N
Plan North

Garage/Shop (no Living Quarters)	50 PSF Ground Snow Load 115 MPH Ultimate Wind Speed 2000 PSF Presumptive Soil Bearing	Wick Buildings®	Engineering Office: 405 Walter Road, Mazomanie, Wisconsin 53560 Phone: 608-795-2294 Fax: 608-795-2534 Web Site: www.wickbuildings.com
Plan Set		This building is designed to Wick Building's specifications and materials. This plan can only be used to build a Wick Building. The seal is not valid for any other building construction or material.	Rev. Date: / Org. Date: 08-08-25

Church of Saint Paul
Column and Truss Layout

Drawn By: JDK	Job No.: 250351M	View: Col / Truss
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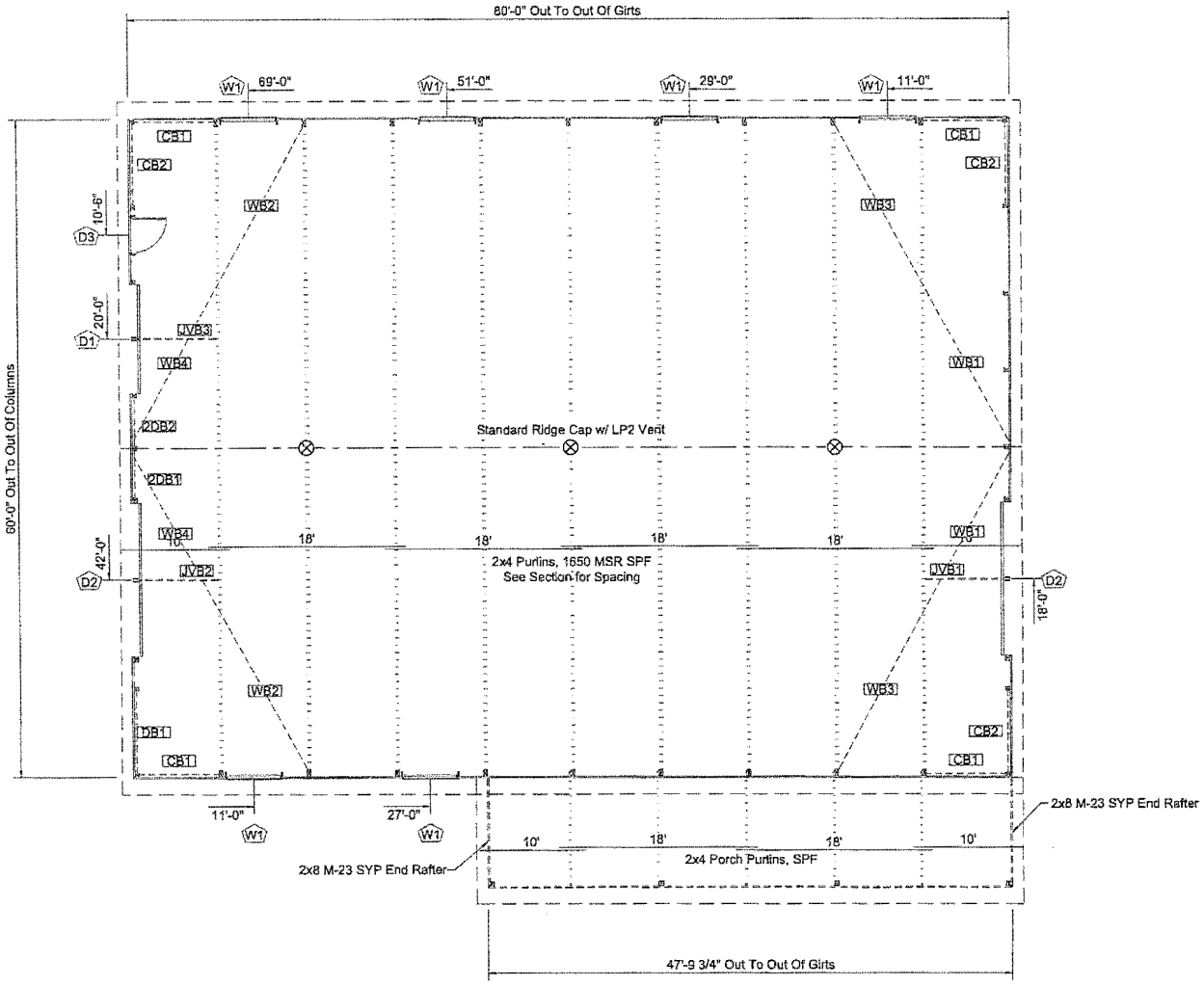

Door Schedule		Bottom Elev.	Qty
Overhead Door Frameout			
D1	Endwall 10'-0" x 10'-0"	100'-4"	1
D2	Endwall 14'-0" x 14'-0"	100'-4"	2
Walk Door - AJ 7100 EZ-Fit - Keyed Alike			
D3	3068 Solid LHIS Burnished Slate w/ Deadbolt w/FW	100'-4"	1
Window Schedule		**Header Ht.**	**Qty**
Window Frameout			
W1	5'-0" x 2'-0"	115'-0"	6
All Interior Doors By Others			

N
Plan North

General Notes
- Field Verify Location With Customer: Walk Door(s) +/- 6" In Bay Shown
- Field Verify Location With Customer: Window Frameout(s) +/- 6" In Bay Shown
- Field Verify Location With Customer: Attic Door
- Standard 40" High Wainscoting, Full Perimeter
- House Wrap Infiltration Barrier, Full Perimeter Plus Gable
- 2x6 Ceiling Runners @ 72"o.c., Full Ceiling
- Liner Steel, Full Ceiling
- 18" AH Vented Sidewall Overhang(s) w/ Insulation Stop
- 12" AH Solid Endwall Overhang(s)
- Remove Porch Ceiling
- Remove Inside & Outside Y-Braces
- See Steel Layout / Elevations For Roof Stitching

Bracing Legend
Refer To Individual Detail
- WS# 2x4 SPF Wind Bracing
- CB# 2x4 SPF Corner Bracing
- JVB# Jack & Vertical Bracing
- DB# 2x4 SPF Diagonal Bracing
- 2DB# 2x4 SPF 2-Bay Diagonal Bracing
- ⊗ D-Ring Ridge Safety Anchor

Column Schedule						Hole
Col #	Qty	Description	Len	ECE	Footing	Depth
C1	4	3-PLY 2X6 FT S	22'	-	Composite Ø16"x1 1/2"	4'-1"
C2	18	3-PLY 2X8 PT M	22'	-	Ø30"x14" Poured	5'-1"
C3	4	3-PLY 2X6 FT M	22'	8'	Composite Ø16"x1 1/2"	4'-1"
C4	2	4-PLY 2X6 FT M	22'	8'	Composite Ø16"x1 1/2"	4'-1"
C5	2	3-PLY 2X6 FT M	22'	10'	Composite Ø16"x1 1/2"	4'-1"
C6	1	3-PLY 2X6 FT M	22'	12'	Composite Ø16"x1 1/2"	4'-1"
C7	3	3-PLY 2X6 FT M	22'	14'	Composite Ø16"x1 1/2"	4'-1"
C8	2	4-PLY 2X6 FT M	22'	14'	Composite Ø16"x1 1/2"	4'-1"
C9	4	3-PLY 2X6 FT S PORCH	16'	-	Composite Ø20"x2 1/2"	3'-11"
Column Anchors - Column Tag Example (C1A)						
A	(2) 2x4x8" Treated Anchors					
B	(4) 2x4x8" Treated Anchors					
3.8 Cu. Yd. of Concrete for Poured Footings by Non-Wick Contractor						

Garage/Shop (no Living Quarters)

50 PSF Ground Snow Load
115 MPH Ultimate Wind Speed
2000 PSF Presumptive Soil Bearing

Plan Set

Wick Buildings®

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405 Walter Road,
Mazomanie, Wisconsin 53560
Phone: 608-795-2294
Fax: 608-795-2534
Web Site: www.wickbuildings.com

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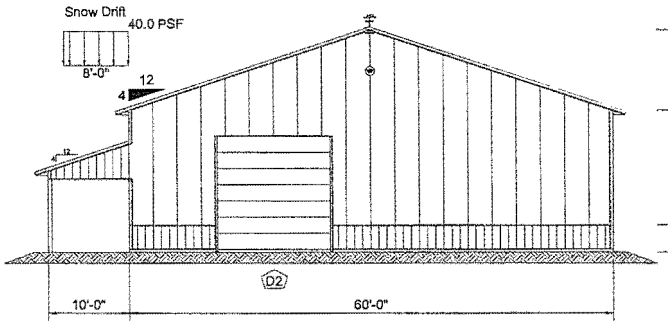
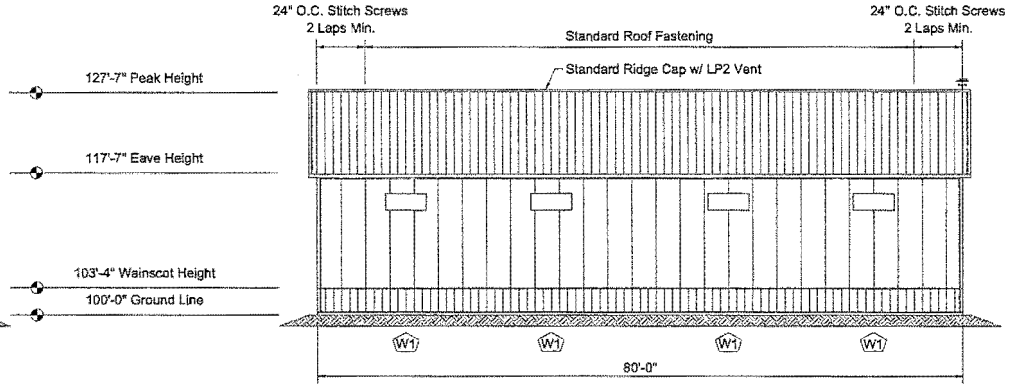
Rev. Date:
Org. Date: 08-08-25

Church of Saint Paul
Floor Plan

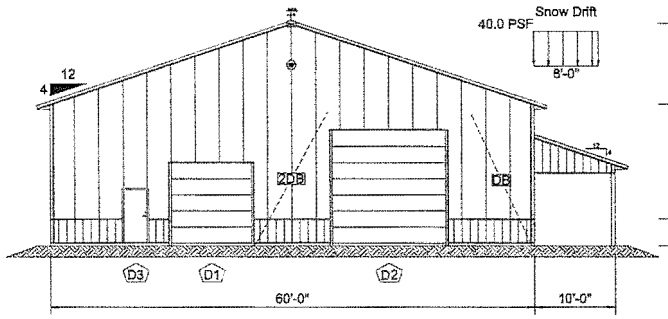
Drawn By: JDK	Job No.: 250351M	View: Floor Plan
Scale: 128	Scale = 1'=3/32"	Page: 4
File: G:\...\250351.dwg		



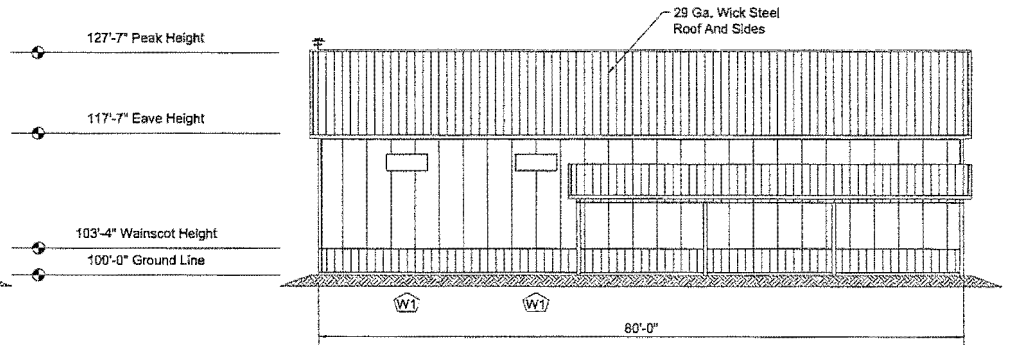
East Elevation



North Elevation



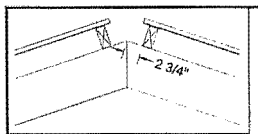
West Elevation



South Elevation

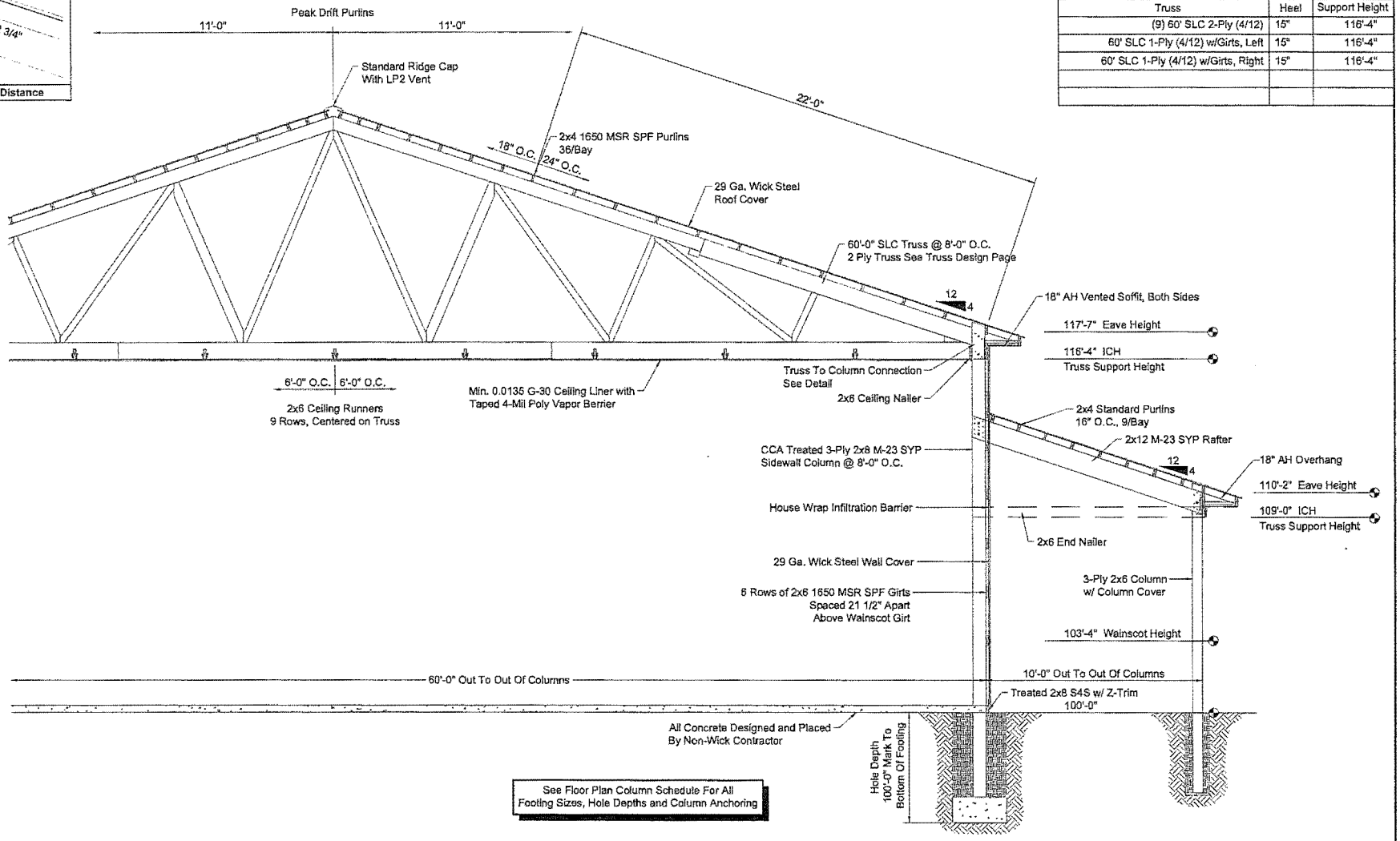
Color Schedule
Roof: Crinkle Burn Slate
Soffit: Burnished Slate
Wall: Suede
Wainscot: Burnished Slate

Garage/Shop (no Living Quarters)	50 PSF Ground Snow Load 115 MPH Ultimate Wind Speed 2000 PSF Presumptive Soil Bearing	Wick Buildings	Engineering Office: 405 Walter Road, Mazomanie, Wisconsin 53560 Phone: 608-795-2294 Fax: 608-795-2534 Web Site: www.wickbuildings.com	Church of Saint Paul Elevations
Plan Set				Drawn By: JDK / Job No.: 250351M / View: Elevation
				Scale: Do Not Scale / Page: 5
		This building is designed to Wick Building's specifications and materials. This plan can only be used to build a Wick Building. The seal is not valid for any other building construction or material.	Rev. Date: / Org. Date: 08-08-25	File:



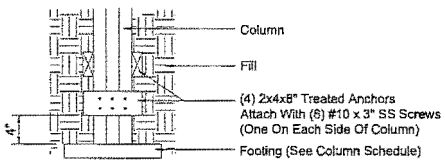
Peak Purlin Offset Distance

Truss Support Height (Interior Clear Height)		
Truss	Heel	Support Height
(9) 60' SLC 2-Ply (4/12)	15"	116'-4"
60' SLC 1-Ply (4/12) w/Girts, Left	15"	116'-4"
60' SLC 1-Ply (4/12) w/Girts, Right	15"	116'-4"

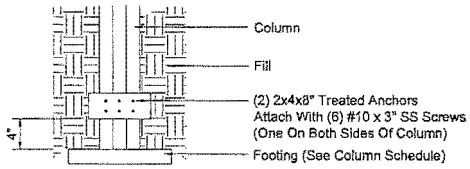


Garage/Shop (no Living Quarters)	50 PSF Ground Snow Load 115 MPH Ultimate Wind Speed 2000 PSF Presumptive Soil Bearing	Wick Buildings®	Engineering Office: 405 Walter Road, Mazomanie, Wisconsin 53560 Phone: 608-795-2294 Fax: 608-795-2534 Web Site: www.wickbuildings.com	Church of Saint Paul Section
Plan Set		This building is designed to Wick Building's specifications and materials. This plan can only be used to build a Wick Building. The seal is not valid for any other building construction or material.	Rev. Date: / Org. Date: 08-08-25	Drawn By: JDK / Job No.: 250351M / View: Section Scale: 54 / DO NOT SCALE / Page: 6 File: G:\...\250351.dwg

(4) 2x4x8" Treated Anchors



(2) 2x4x8" Treated Anchors



Notes:

Backfilling Holes:
- Tamp bottom of hole before placing footing.
- Tamp dirt in 8" lifts as dirt is being added to hole.

Hole Depth is given from 100'-0" mark to bottom of footing.

Install Composite Footings with solid side down.

Garage/Shop (no Living Quarters)	50 PSF Ground Snow Load 115 MPH Ultimate Wind Speed 2000 PSF Presumptive Soil Bearing

Plan Set

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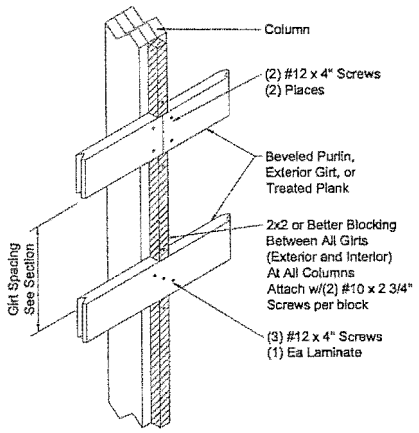
Rev. Date:

Org. Date: 08-13-25

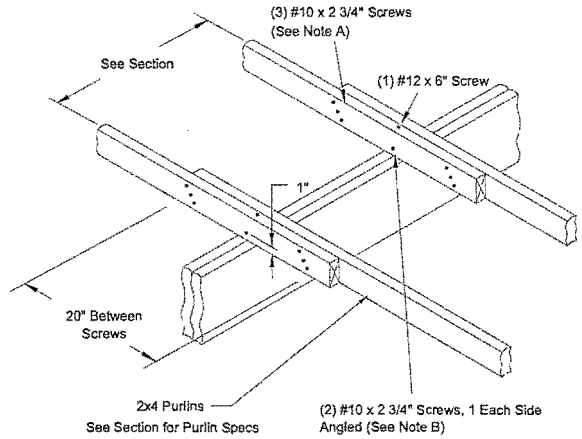
Church of Saint Paul
Column Anchoring

Drawn By: JDK	Job No.: 250351M	View:
Scale: 32		Page: 7
File:		



Exterior Girt Fastening

No Scale



Notes:

A) At the first truss in from each end, purlins must be fastened with (4) screws each end. All other splices must be fastened with (3) screws each end.

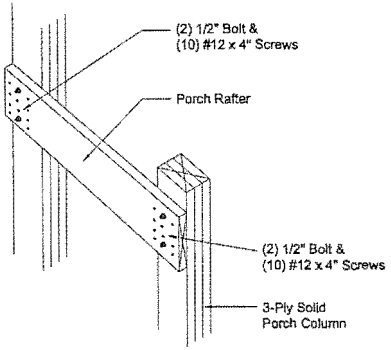
B) It is recommended that screws be fastened at an angle of thirty degrees with the piece and started approximately one-third the length of the screw from the edge of the piece.

C) See purlin layout on floor plan for purlin lengths.

D) Center all splices over trusses.

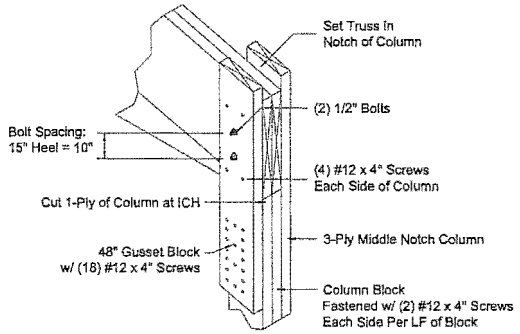
2x4 Purlin On Edge to 2-Ply Truss

No Scale



Porch Rafter Below Eave Connection

No Scale



2-Ply Truss to 3-Ply Column with Gusset Block

No Scale

Garage/Shop (no Living Quarters)	50 PSF Ground Snow Load 115 MPH Ultimate Wind Speed 2000 PSF Presumptive Soil Bearing

Plan Set

Wick Buildings

Engineering Office:
405 Walter Road,
Mazomanie, Wisconsin 53560
Phone: 608-795-2294
Fax: 608-795-2534
Web Site: www.wickbuildings.com

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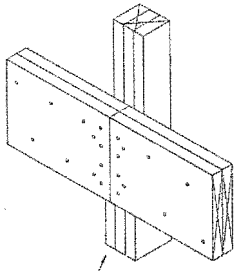
Rev. Date:

Org. Date: 08-08-25

Church of Saint Paul
Structural Connections

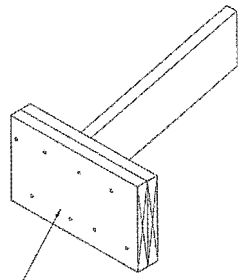
Drawn By: JDK	Job No.: 250351M	View:
Scale: 32		Page: 8
File:		

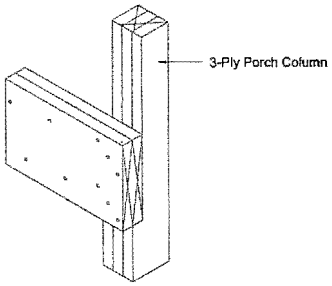
Note:
Notch Column & Rafter 1 1/2" For One Ply Of The Header To Bear On Column

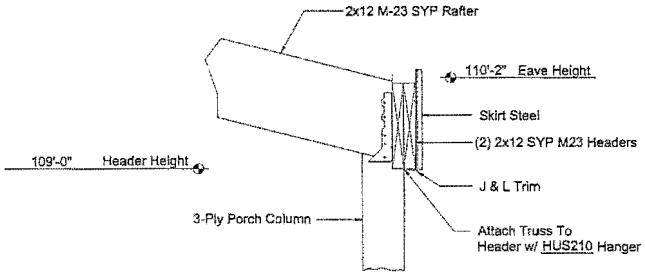


Header To Column Connection (Per End Of Header)
6 #12 x 6" Screws, Both Header Plies To Column
24 Total #12 x 6" Screws For All Column Connections

Header To Column Connection (Per End Of Header)
6 .22 X 6" SDSW Screws, Both Header Plies To Column
24 Total SDSW Screws For All Column Connections



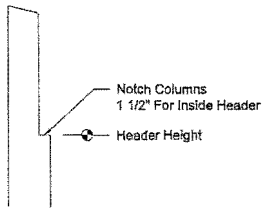




Simpson HUS210 Hanger Attachment:
(10) 10d Nails Into Truss
(30) 1 1/4" Washerless Nails Into Header

Simpson HUS210 Hanger Attachment:
(10) 2 1/2" Positive Placement Nails Into Truss
(30) 1 1/2" Positive Placement Nails Into Header

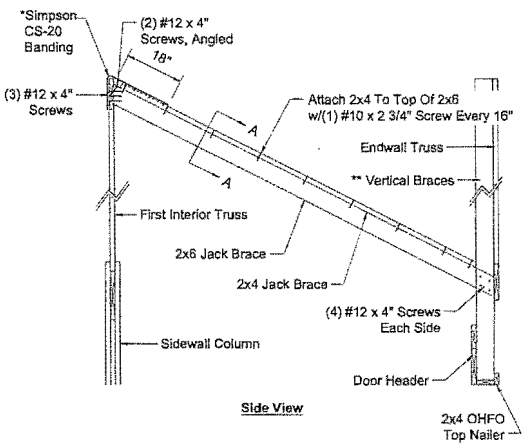
Section @ Header



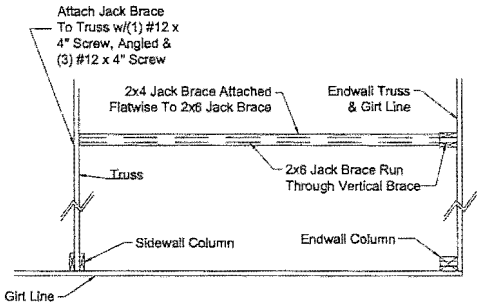
COLUMNS TO BE FULLY TREATED

Garage/Shop (no Living Quarters)	50 PSF Ground Snow Load 115 MPH Ultimate Wind Speed 2000 PSF Presumptive Soil Bearing	Wick Buildings®	Engineering Office: 405 Walter Road, Mazomanie, Wisconsin 53560 Phone: 608-795-2294 Fax: 608-795-2534 Web Site: www.wickbuildings.com	Church of Saint Paul Porch Header
Plan Set		This building is designed to Wick Building's specifications and materials. This plan can only be used to build a Wick Building. The seal is not valid for any other building construction or material.	Rev. Date: 08-08-25 / Org. Date:	Drawn By: JDK / Job No.: 250351M / View: Porch Header Scale: 16 / DO NOT SCALE / Page: 9 File: G:\...\PorchHeader.dwg

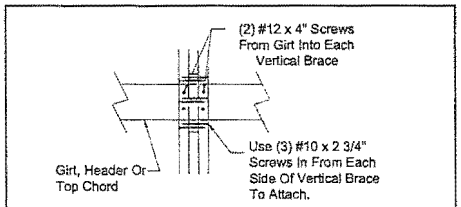
Jack & Vertical Bracing
(For Overhead Doors)



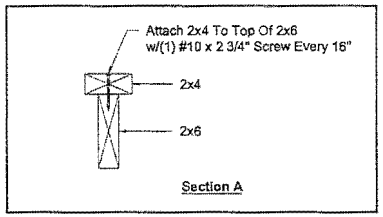
Side View



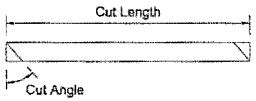
Floor Plan View



Vertical Brace To Girts, Headers & Top Chord



Section A



Refer to Floor Plan for Jack Brace Locations.

*Steel Banding: Use Simpson CS-20 Steel Banding 36" Long. Extend Banding 18" Down Jack Bracing & To Edge Of Top Chord Of Truss. Nail w/ (7) 1 1/4" Washerless Nails Along Top 2x4 Of Jack Bracing & Top Chord Of Truss.

** Vertical Brace: (2) 2x6 Verticals To Top Of Top Chord Of Truss With 2x6x9" Scrap Block 24" O.C. Between Vertical Braces

Jack Bracing Is Not Needed On Buildings With Ceilings Or Ceiling Runners.

JB - Jack Brace and JVB - Jack & Vertical Brace Schedule

Tag ID	Locations	Boards Required	2x6 Jack Cut Length	2x6 Cut Angle	2x4 Jack Cut Length	Jack CL Distance Btm Chord	Jack CL Distance Top Chord	Boards Required	Vertical Braces
JVB1	1	1	10'-4"	39°	8'-9"	18'-0"	18'-11 3/4"	2	2x6x9'-0 3/4"
JVB2	1	1	10'-5 1/4"	39°	8'-10 1/2"	18'-0"	18'-11 3/4"	2	2x6x9'-0 3/4"
JVB3	1	1	10'-10 1/2"	42°	9'-3"	20'-0"	21'-1"	2	2x6x13'-8 3/4"

Garage/Shop (no Living Quarters)

50 PSF Ground Snow Load
115 MPH Ultimate Wind Speed
2000 PSF Presumptive Soil Bearing

Plan Set

Wick Buildings®

Engineering Office:
405 Walter Road,
Mazomanie, Wisconsin 53560
Phone: 608-795-2294
Fax: 608-795-2534
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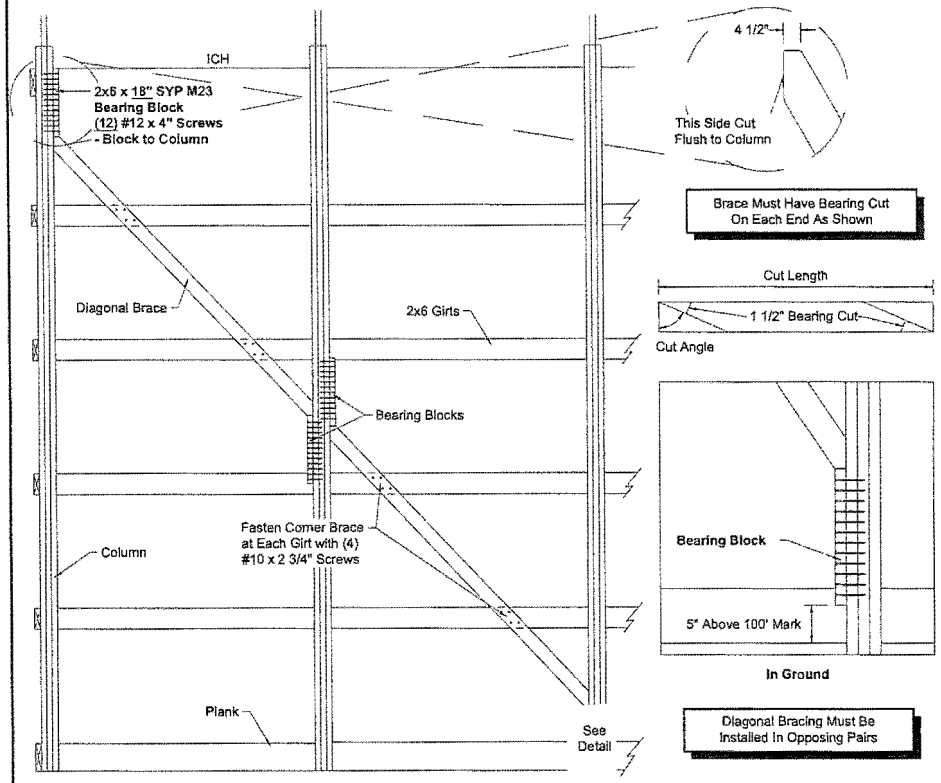
Rev. Date:

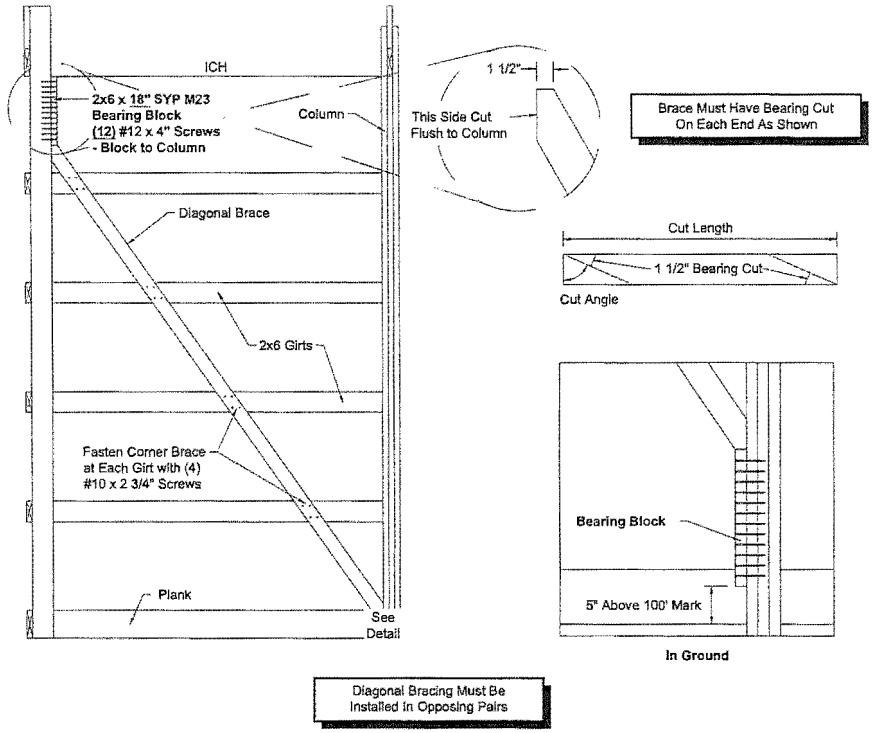
Org. Date: 08-13-25

Church of Saint Paul
Jack Bracing

Drawn By: JDK	Job No.: 250351M	View: JVB
Scale: 50	DO NOT SCALE	Page: 10
File: G:\...\OD- Jack Bracing.dwg		



[2DB] 2-Bay Diagonal Bracing



[DB] Diagonal Bracing

2x4 SPF Diagonal Bracing Schedule				
Tag ID	Locations	Boards Required	Cut Length	Cut Angle
2DB1	1	1	7'-9 7/8"	54°
2DB2	1	1	8'-0 1/2"	54°

2x4 SPF Diagonal Bracing Schedule				
Tag ID	Locations	Boards Required	Cut Length	Cut Angle
DB1	1	1	15'-3 1/4"	60°

Garage/Shop (no Living Quarters)

50 PSF Ground Snow Load
115 MPH Ultimate Wind Speed
2000 PSF Presumptive Soil Bearing

Plan Set

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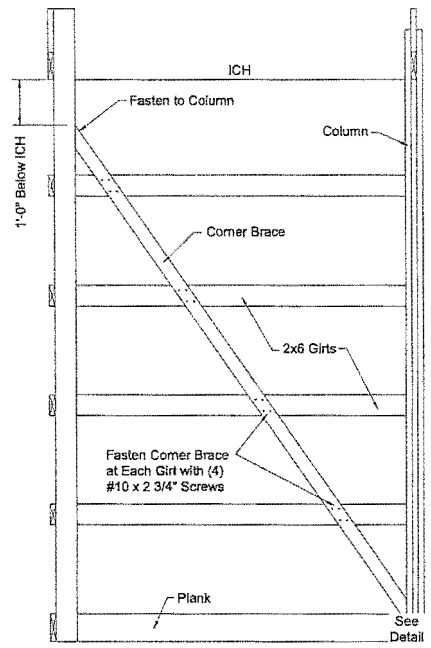
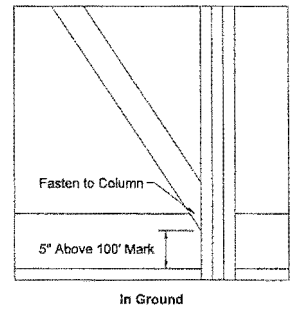
Church of Saint Paul
Structural Wall Bracing

Drawn By: JDK	Job No.: 250351M	View:
Scale:	Do Not Scale	Page: 11
File:		





Corner Bracing Is Recommended To Be Installed In Opposing Pairs

CB Corner Bracing

2x4 SPF Corner Bracing Schedule				
Tag ID	Locations	Boards Required	Cut Length	Cut Angle
CB1	4	4	16'-6 7/8"	63°
CB2	3	3	16'-8"	62°

Garage/Shop (no Living Quarters)

50 PSF Ground Snow Load
115 MPH Ultimate Wind Speed
2000 PSF Presumptive Soil Bearing

Plan Set

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Rev. Date:

Org. Date: 08-13-25

Church of Saint Paul
Construction Wall Bracing

Drawn By: JDK | Job No.: 250351M | View:

Scale: Do Not Scale | Page: 12

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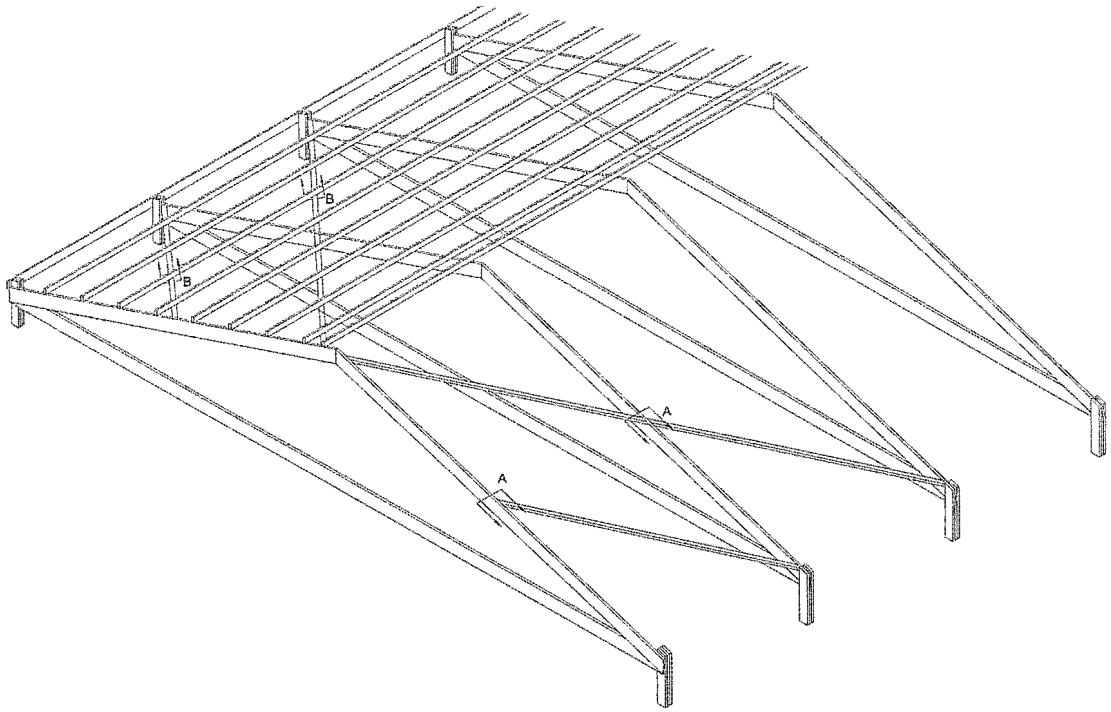
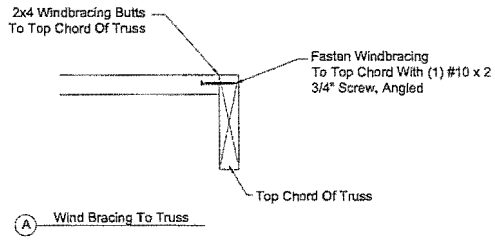
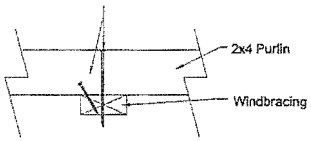


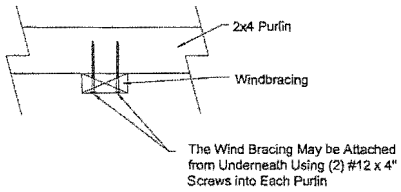


(A) Wind Bracing To Truss

Attach Wind Bracing To Every Purlin With (1) #12 x 6" Screw Through The Top Of The Purlin Into The Wind Bracing And With (1) #10 x 2 3/4" Screw, Angled From The Purlin Into The Wind Bracing.

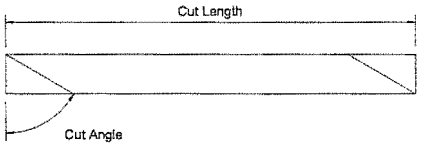


(B) Wind Bracing To Purlin-Option 1



(B) Wind Bracing To Purlin-Option 2

2x4 SPF Wind Bracing Schedule				
WB#	Locations	Boards Required	Cut Length	Cut Angle
WB1	2	2	17'-1"	62°
WB2	2	2	17'-1 1/2"	62°
WB3	2	2	17'-2 3/4"	62°
WB4	2	2	17'-3"	62°



NOTE:
Follow The Wind Bracing Layout As Shown On The Floor Plan.

Garage/Shop (no Living Quarters)

50 PSF Ground Snow Load
115 MPH Ultimate Wind Speed
2000 PSF Presumptive Soil Bearing

Plan Set

Wick Buildings®

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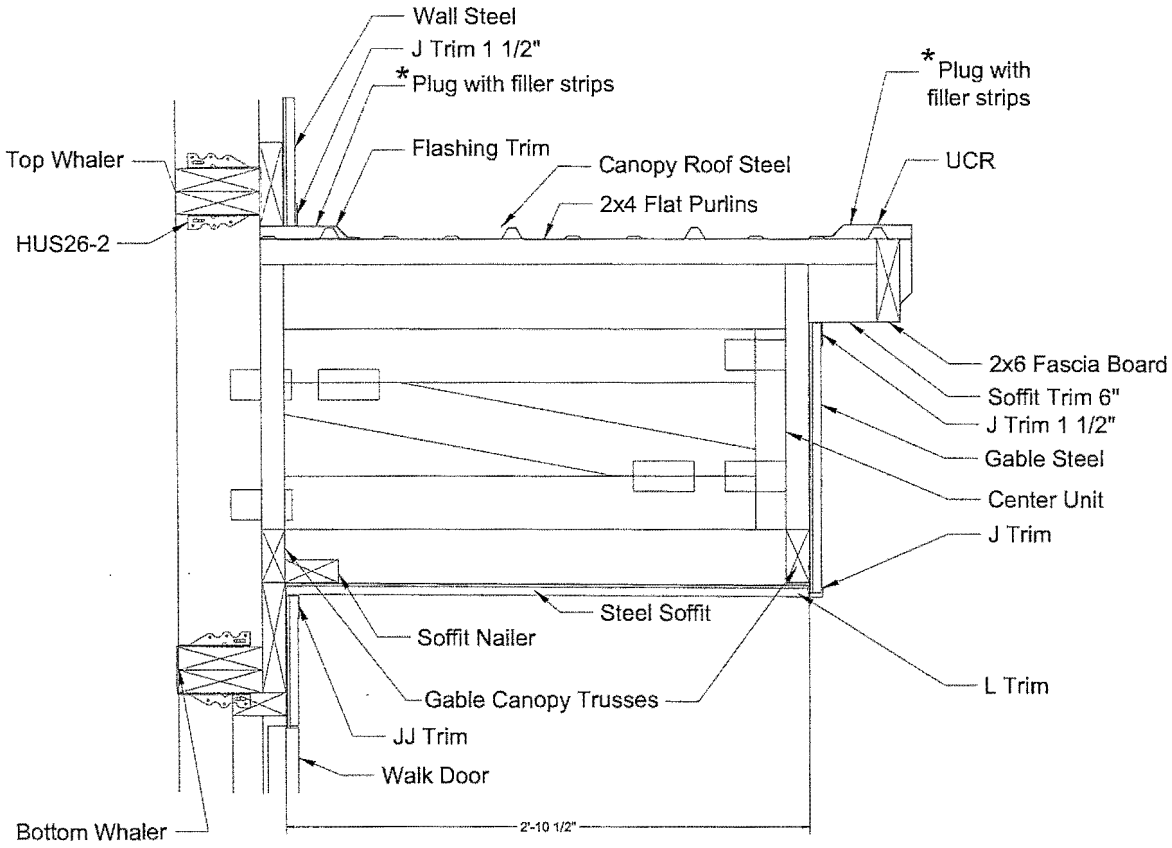
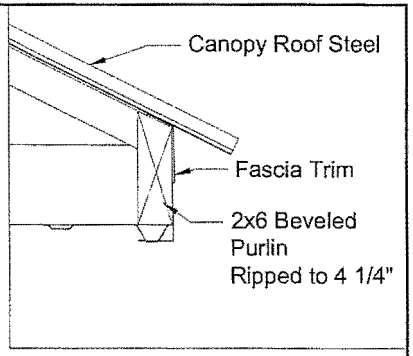
Org. Date: 08-13-25

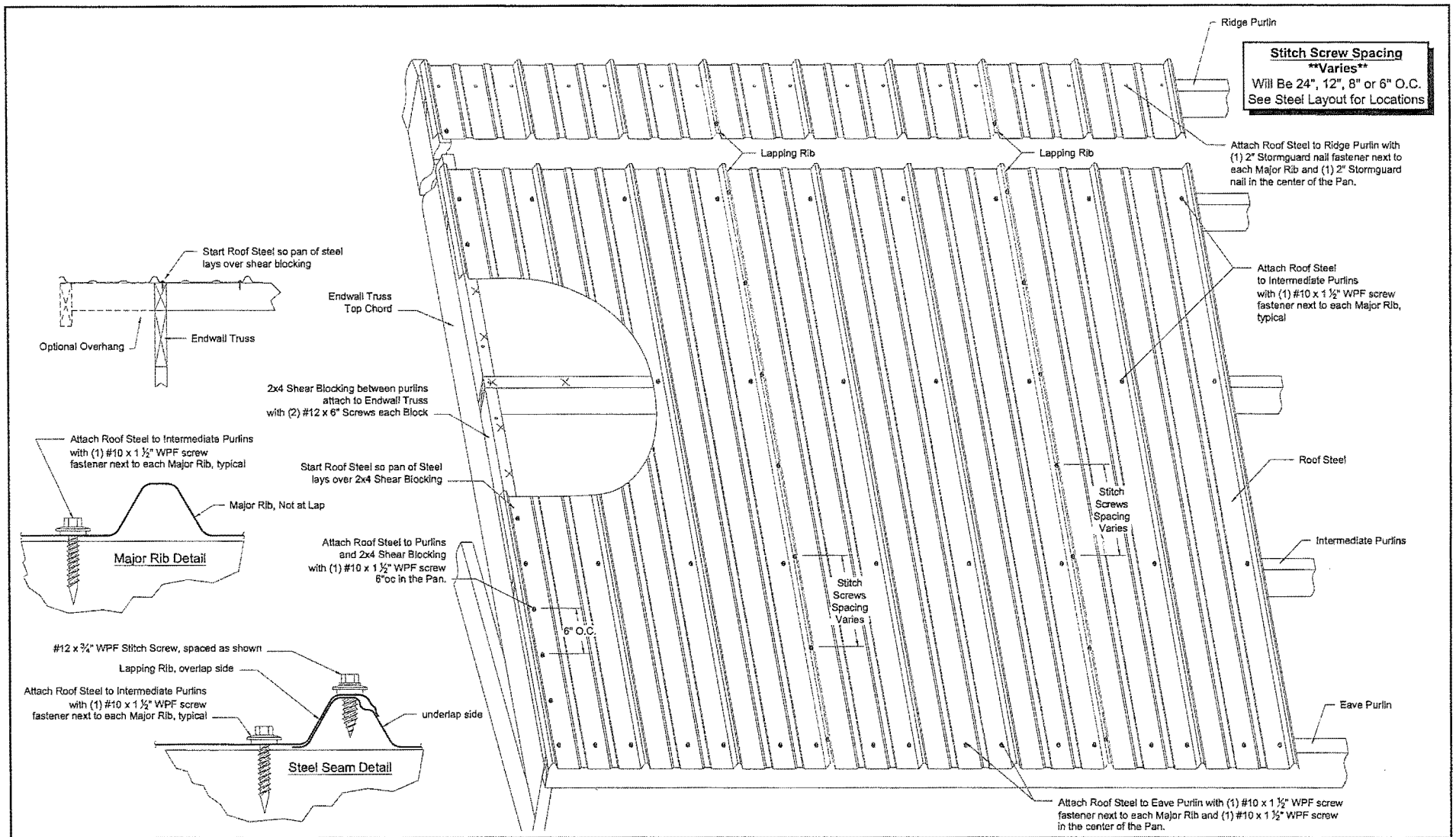
Church of Saint Paul
Wind Bracing

Drawn By: JDK	Job No.: 250351M	View: ...Wind Bracing
Scale: 112	DO NOT SCALE	Page: 13
File:		

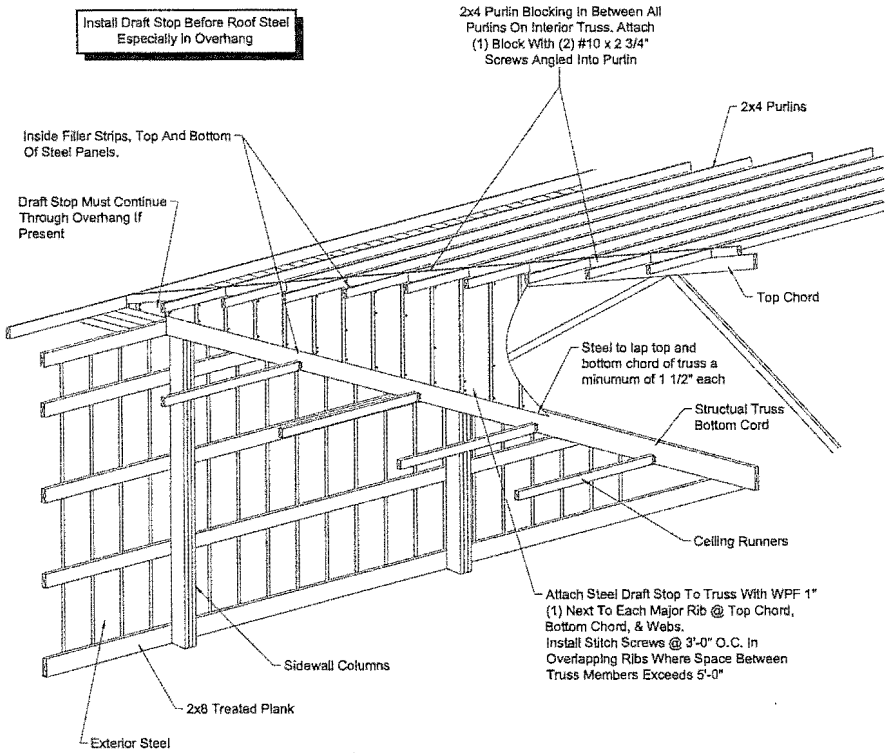




Garage/Shop (no Living Quarters)	50 PSF Ground Snow Load 115 MPH Ultimate Wind Speed 2000 PSF Presumptive Soil Bearing	Wick Buildings	Engineering Office: 405 Walter Road, Mazomanie, Wisconsin 53560 Phone: 608-795-2294 Fax: 608-795-2534 Web Site: www.wickbuildings.com	Church of Saint Paul Gable Canopy
Plan Set		This building is designed to Wick Building's specifications and materials. This plan can only be used to build a Wick Building. The seal is not valid for any other building construction or material.	Rev. Date: / Org. Date: 08-13-25	Drawn By: JDK / Job No.: 250351M / View: Gable Canopy Scale: 8 / Scale = 1'=1 1/2" / Page: 14 File: G:\...\250351.dwg



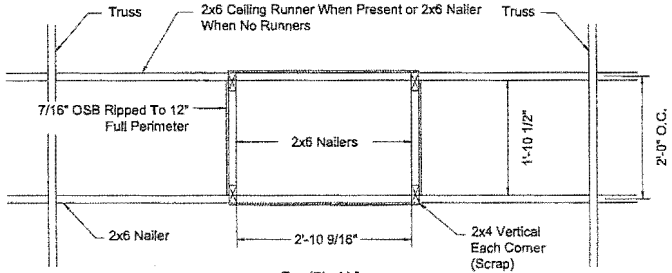
Garage/Shop (no Living Quarters)	50 PSF Ground Snow Load 115 MPH Ultimate Wind Speed 2000 PSF Presumptive Soil Bearing	Wick Buildings	Church of Saint Paul Roof Steel Diaphragm Detail
Plan Set		Engineering Office: 405 Walter Road, Mazomanie, Wisconsin 53560 Phone: 608-795-2294 Fax: 608-795-2534 Web Site: www.wickbuildings.com	Drawn By: JDK · Job No.: 250351M · View: Dia_Roof_Stl Scale: 12 · DO NOT SCALE · Page: 15
		This building is designed to Wick Building's specifications and materials. This plan can only be used to build a Wick Building. The seal is not valid for any other building construction or materials.	Rev. Date: · Org. Date: 08-13-25 · File: Std Details/OD - Stitch Screws.dwg



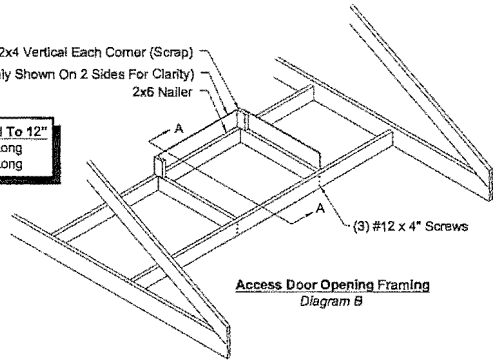
ADS **Attic Draft Stop** - Constructed of Wick Liner Steel Truss Cover, 2x4 Purlin Blocking and Have an Access Into Each Attic Compartment

No Trims Required For Attic Draft Stops

Note An Alternative To Two Attic Access Doors Is One Door In Ceiling And A Passage Way Door Through The Attic Draft Stop Wall (Minimum Opening Size of 20"x30" With A Minimum of 29 GA. Steel Door) *To Be Supplied And Installed By Non-Wick Contractor*

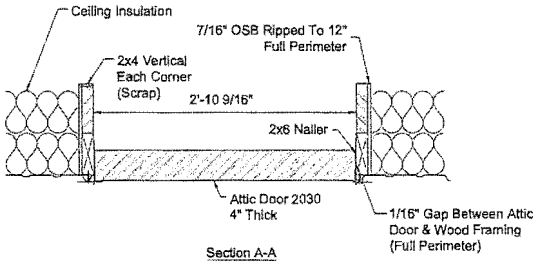


Top (Plan) View
Diagram A



7/16" OSB Ripped To 12"
(2) 3'-1 9/16" Long
(2) 1'-10 1/2" Long

Access Door Opening Framing
Diagram B



Section A-A

Included With Attic Door
Screw Pack Information: (16) Painted Pancake Head #10 x 2" Galvanized #2 Phillips Drive - Used In The Outer Frame 9" O.C. Maximum Spacing

Ideally Keep A Full Rib On Each Side Of The Opening. Frame May Also Be Installed Directly To The Ceiling Framing.

Installation Instructions:
1. Frame Attic Opening Using 2x6 Nailers Provided. Use A Ceiling Runner As An Attic Door Nailer If Provided. See Diagram A.
2. Rip (1) 4'x4' Panel Of 7/16" OSB Into (4) 12" Pieces & Cut To Specified Lengths. Install As Noted In Diagram B.
3. Install Ceiling Liner.
4. Install Door (See Optional Side Arm Installation Detail If Applicable)

Engineering Send:
(3) 2x6x(Bay Size) Nailers
(1) 7/16" OSB 4'x4' Precut
(1) Attic Access Door

Garage/Shop (no Living Quarters)	50 PSF Ground Snow Load 115 MPH Ultimate Wind Speed 2000 PSF Presumptive Soil Bearing	Wick Buildings®	Engineering Office: 405 Walter Road, Mazomanie, Wisconsin 53560 Phone: 608-795-2294 Fax: 608-795-2534 Web Site: www.wickbuildings.com	Church of Saint Paul Attic Details
Plan Set		This building is designed to Wick Building's specifications and materials. This plan can only be used to build a Wick Building. The seal is not valid for any other building construction or material.	Rev. Date: 08-13-25 / Org. Date:	Drawn By: JDK / Job No.: 250351M / View: Attic Details Scale: 48 / DO NOT SCALE / Page: 16 File: G:\...\OD-Attic Details.dwg

Job	Truss	Truss Type	Qty	Ply	Joe Langfeld Job#:250351
TRUSS DESIGN	250351A	TRIPLE FINK	10	2	60' SLC (4/12) Job Reference (optional)

Wick Buildings, Inc, Mazomanie, WI

8.630 s Apr 24 2025 MiTek Industries, Inc. Tue Jul 1 18:48:07 2025 Page 1
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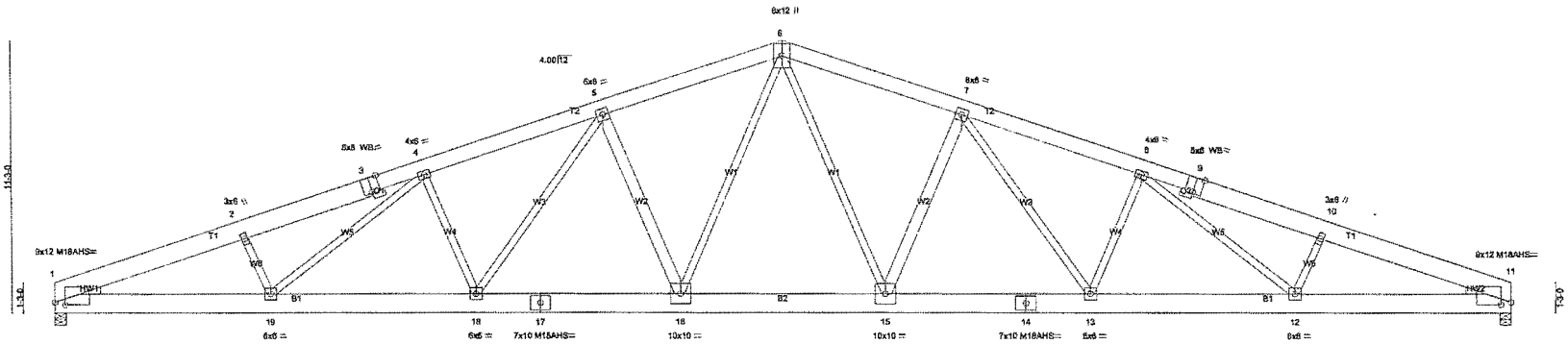


Plate Offsets (X,Y)-- [1:0-5-0,0-1-4], [3:0-4-0,Edge], [9:0-4-0,Edge], [11:0-5-0,0-1-4]

LOADING (psf)		SPACING-	8-0-0	CSI.		DEFL.	in	(loc)	l/defl	L/d	PLATES	GRIP
TCLL (roof)	20.0	Plate Grip DOL	1.15	TC	0.55	Vert(LL)	-0.91	15-16	>790	240	MT20	197/144
Snow (Pf/Pg)	39.4/50.0	Lumber DOL	1.15	BC	0.88	Vert(CT)	-1.10	15-16	>655	180	M18AHS	186/179
TCDL	4.0	Rep Stress Incr	NO	WB	0.73	Horz(CT)	0.29	11	n/a	n/a		
BCLL	0.0	Code	IBC2021/TPI2014	Matrix-MS							Weight: 1138 lb	FT = 20%
BCDL	4.0											

LUMBER-
TOP CHORD 2x10 SP M 23 "Except"
T2: 2x8 SP M 23
BOT CHORD 2x10 SP M 23
WEBS 2x4 SPF 1650F 1.5E "Except"
W2: 2x6 SPF 1650F 1.5E
OTHERS 2x4 SPF 1650F 1.5E
WEDGE
Left: 2x4 SPF 1650F 1.5E , Right: 2x4 SPF 1650F 1.5E

BRACING-
TOP CHORD 2-0-0 oc purlins (4-1-2 max.).
BOT CHORD Rigid ceiling directly applied or 8-9-13 oc bracing.

REACTIONS. (size) 1=0-5-8 (min. 0-4-11), 11=0-5-8 (min. 0-4-11)
Max Horz 1=-646(LC 13)
Max Uplift 1=-3274(LC 15), 11=-3274(LC 15)
Max Grav 1=11372(LC 1), 11=11372(LC 1)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 1-26=-25892/9581, 2-26=-25231/9613, 2-3=-25010/9597, 3-4=-24499/9634, 4-27=-23668/9252, 5-27=-23192/9274, 5-28=-19590/7942, 6-29=-19169/7983, 6-29=-19169/7983, 7-29=-19590/7942, 7-30=-23192/9274, 8-30=-23667/9252, 8-9=-24499/9634, 9-10=-25010/9597, 10-31=-25231/9613, 11-31=-25892/9580
BOT CHORD 1-19=-8709/23912, 18-19=-8232/23080, 17-18=-6970/19971, 16-17=-6970/19971, 15-16=-5373/16254, 14-15=-6932/19971, 13-14=-6932/19971, 12-13=-8201/23080, 11-12=-8747/23912
WEBS 2-19=-1283/685, 4-19=-675/656, 4-18=-2847/1278, 5-18=-1572/3931, 5-16=-6387/2168, 6-16=-2172/6608, 6-15=-2172/6608, 7-15=-6387/2168, 7-13=-1572/3931, 8-13=-2847/1278, 8-12=-675/656, 10-12=-1283/685

JOINT STRESS INDEX
1 = 0.85, 2 = 0.17, 3 = 0.69, 4 = 0.51, 5 = 0.67, 6 = 0.71, 7 = 0.67, 8 = 0.51, 9 = 0.69, 10 = 0.17, 11 = 0.85, 12 = 0.22, 13 = 0.65, 14 = 0.71, 15 = 0.69, 16 = 0.69, 17 = 0.71, 18 = 0.65 and 19 = 0.22

NOTES- (12-14)
1) 2-ply truss to be connected together with 10d (0.131"x3") nails as follows:
Top chords connected as follows: 2x10 - 2 rows staggered at 0-9-0 oc, 2x8 - 2 rows staggered at 0-9-0 oc.
Bottom chords connected as follows: 2x10 - 2 rows staggered at 0-9-0 oc.
Webs connected as follows: 2x4 - 1 row at 0-9-0 oc, 2x6 - 2 rows staggered at 0-9-0 oc.
2) All loads are considered equally applied to all plies, except if noted as front (F) or back (B) face in the LOAD CASE(S) section. Ply to ply connections have been provided to distribute only loads noted as (F) or (B), unless otherwise indicated.
3) This truss has been checked for uniform roof live load only, except as noted.
4) Wind: ASCE 7-16; Vult=115mph (3-second gust) Vasd=91mph; TCDL=2.4psf; BCDL=0.0psf; h=25ft; B=45ft; L=60ft; eave=7ft; Cat. II; Exp C; Enclosed; MWFRS (directional) and C-C Exterior(2E) 0-0-0 to 6-0-0, Interior(1) 6-0-0 to 30-0-0, Exterior(2R) 30-0-0 to 36-0-0, Interior(1) 36-0-0 to 60-0-0 zone; cantilever left and right exposed ; end vertical left and right exposed;C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
5) TCLL: ASCE 7-16; Pr=20.0 psf (roof LL: Lum DOL=1.15 Plate DOL=1.15); Pg=50.0 psf; Ps=39.4 psf (Lum DOL=1.15 Plate DOL=1.15); Is=1.0; Rough Cat C; Partially Exp.; Ce=1.0; Cs=0.94; Ct=1.20; Unobstructed slippery surface
6) Roof design snow load has been reduced to account for slope.
7) Unbalanced snow loads have been considered for this design.
8) WARNING: This long span truss requires extreme care and experience for proper and safe handling and erection. For general handling and erection guidance, see Guide to Good Practice for Handling, Installing & Bracing of Metal Plate Connected Wood Trusses ("BCSI"), jointly produced by SBCA and TPI. The building owner or the owner's authorized agent shall contract with a qualified registered design professional for the design and inspection of the temporary installation restraint/bracing and the permanent individual truss member restraint/bracing. MiTek assumes no responsibility for truss manufacture, handling, erection, or bracing.
9) Dead loads shown include weight of truss. Top chord dead load of 5.0 psf (or less) is not adequate for a shingle roof. Architect to verify adequacy of top chord dead load.
10) All plates are MT20 plates unless otherwise indicated.
11) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 3274 lb uplift at joint 1 and 3274 lb uplift at joint 11.
12) MiTek Truss Plates have been approved by ICC-ES Evaluation Services. ICC-ES Report Number: ESR-1988 (MT20 & MT18SHS)
13) This Truss Design is representative of the truss you will recieve in your building. The actual plates and lumber sizes may vary, but the loadings listed on this drawing will be met or exceeded.
14) T-Braces (when present) may be placed on either the top or bottom of the web member.

LOAD CASE(S) Standard

Wick Buildings

Excerpts from Article 9 of the Ham Lake City Code

...

9-220 <u>Mercantile Districts</u> The land uses described in Article 9-220 are intended to be applicable to developments which utilize subsurface sewage treatment systems (SSTS), and to developments which use approved combined sewage treatment systems. All building permits and Certificates of Occupancy in the Mercantile Districts shall require the review and approval of the City Council, after review and recommendation by the Planning Commission, excepting building permits and/or certificates of occupancy being issued for an alteration to an existing structure under circumstances in which the land use will be unchanged, and in which the alteration will not materially affect parking requirements, stormwater runoff, traffic, sewage treatment needs or aesthetics.

9-220.1 <u>Standards Common to All Mercantile Districts</u>

The following standards shall apply to all of the mercantile districts as listed in Article 9-220.

a) **Paving** All parking lots, drives and surfaces upon which the general public and employees shall have access shall be paved according to specifications to be established by the city's engineer;

b) **Drainage** Surface water drainage and ponding needs shall be implemented in the manner directed by the city's engineer;

c) **Landscaping** Landscaping shall be implemented in the manner provided in Article 11-1800;

d) **Setbacks for Paved Areas** There shall be a ten-foot setback between any lot line and the back of curb of any parking lot or driveway, and a six-foot setback between the back of curb of any parking lot and any building;

e) **Buffering** When any mercantile land use is located adjacent to a residential area, it shall be screened by opaque fencing, vegetation, or both;

f) **Refuse Containers** Refuse containers shall be stored in locations which are completely screened from outside view; hazardous materials shall be stored and disposed of in the manner provided by law;

g) **Parking Lots and Lighting** Off-street parking shall be provided for the general public and employees. The *Zoning Officer* shall maintain a schedule of parking requirements, to be ratified from time to time by resolution of the City Council, to serve as the general guideline for the establishment of parking requirements, subject to modification by the City Council where merited. Security lighting shall be permitted, and may be required on review of site plans, but shall be directed away from adjacent properties. No light or

combination of lights that cast light upon a Residential Land Use shall exceed 4-foot candle meter reading as measured at the residential property line. All measurements shall be made after dark at the property line or edge of roadway.

h) **Off-Street Loading** All deliveries and bulk pickups of merchandise, inventory and supplies shall be made to loading facilities preferably located in the rear of the building, which loading facilities shall be sufficient to enable the prompt and safe transfer of goods.

i) **Signage** All signage shall conform to the provisions of Article 11-300.

j) **Special Considerations** Notwithstanding the limitations as to building styles, construction types and exterior treatments, the City Council, after Planning Commission review, may depart from strict adherence to the standards found in Article 9-220, where special conditions merit such departure, and where certain standards are met. Such special conditions and standards may include, without limitation, the following items.

i) The departure is not being requested for purely economic reasons;

ii) The nature of the business is such that it requires a specific type of building construction in order to improve the business function, such as requirements for sunlight, specialty equipment, interior lighting or the like;

iii) The business is a permitted or conditional use in the zoning district;

iv) The applicant proposes the usage of special aesthetic treatments which provide a superior exterior view, such as landscaping, vegetation screening, berming, or the like;

v) The property contains unusual topography, mature vegetation or other features which can be preserved or enhanced to produce an overall superior appearance;

vi) The property contains unusual accessibility problems to or from adjacent roadways;

vii) The applicant offers to implement more stringent design limitations in certain site plan features than would normally be required, in exchange for being

permitted less stringent design limitations in other site plan features.

k) **Outside Storage** Outside storage and activities for areas zoned CD-3, CD-4, Industrial Park (I-P) and Light Industrial (I-1) shall be as specifically detailed in the Code Sections dealing with those land uses (Articles 9-220.4 through 9-220.7). For areas zoned CD-1 and CD-2, the following provisions shall apply to outside storage, excepting Fireworks sales and storage, which are governed by the provisions of Article 9-330.6. **Unless specifically permitted by this Article 220.1(k), no Outside Storage shall be allowed in any area zoned CD-1 or CD-2.**

1) <u>Definitions</u>

aa) **Outside Storage** – personal property (not fixtures) that are located within the Approved Property Lines of any parcel bearing a CD zoning classification, but which are found outside of an enclosed, roofed building (including temporary structures). Outside Storage does not include Refuse Containers, customer vehicles, employee vehicles parked while the employee is on duty, delivery vehicles while in the process of delivery or pickup, construction materials or vehicles being used in an active construction project on the parcel, legal signs or banners, or legal temporary structures. Except where specifically excepted, Outside Storage does include inventory of the business occupying the parcel.

bb) **Inventory** - goods, except Vehicle Inventory, that are offered for sale in the ordinary course of business of any business occupying the parcel. For auto repair shops, inventory shall also be deemed to mean passenger vehicles or pickup trucks awaiting repair services.

cc) **Vehicle Inventory** – Automobiles, Trucks, Trailers, Manufactured Homes, Recreational Vehicles, Campers, Camper Tops, Truck Toppers, Boats or other wheeled conveyances that are offered for retail sale at a legal business location whose primary business is the retail sale of one or more of the above items. Rental equipment that may be offered for sale is not Vehicle Inventory. Vehicle Inventory that bears obvious signs that the vehicle is not presently capable of being legally operated or conveyed on a public road is not Vehicle Inventory, including, but not limited to vehicles lacking wheels or inflated tires, operable drive train components, broken windows or lights, required current vehicle registration, missing body parts, such as fenders, doors, hood lids, trunk lids, bumpers, lights or trim.

dd) **Aesthetically Screened Outside Storage** - Inventory or Vehicle Inventory behind an opaque barrier constructed of masonry or brick, attached to and matching or complementary to the main building, and of sufficient height and design so as to give the appearance that the barrier is a part of the main building. No object shall be stored inside of such a barrier if the object protrudes above the height of the barrier. Any gates through the barrier shall be opaque and of aesthetic design.

ee) **Limited Outdoor Displays** - Temporary displays of merchandise which are normally sold or displayed from within an enclosed retail store location, but which are temporarily placed not more than ten feet from an outside wall of the main retail sales building during business hours, and then returned to inside storage during non-business hours."

ff) **Improvement Stores** – Businesses that have as their primary source of revenue the retail sale of plants, seeds, landscaping supplies, produce, or yard statuary.

gg) **24-Hour Convenience Stores** – Businesses that sell gasoline at retail, and, from the same store location, also sell groceries, auto supplies, sundries, over-the-counter medications and personal products, sundries and other items for human consumption, and which remain open for business at all times of every day.

hh) **Approved Property Lines** – Are the outside perimeter of the real estate parcel or parcels which were shown on the site plan used for the initial municipal approval of a certificate of occupancy or conditional use permit for a particular operation.

ii) **Pool Stores** – retail stores that engage in the retail sales of above ground or below ground recreational swimming pools that contain electric filtration devices providing water circulation and filtration in the pool, and under conditions where an inventory of above ground or in ground swimming pools is maintained, connected by water and electricity to a source originating in a permanent retail building located on the same parcel. A Pool Store shall not be considered a retail store for the purposes of determining permitted uses under Article 9-220.2 (b) or 9-220.3(b).

jj) **Screened Outside Storage** – is Inventory or Vehicle Inventory behind an opaque barrier constructed of wood, metal, plastic, masonry, brick or earthen berm, or which is behind an opaque barrier composed of existing buildings or other structures on the property, or which is behind a semi-opaque barrier of vegetation that substantially conceals the storage from outside view.

2) **Permitted Outside Storage**

aa) Vehicle Inventory is permitted Outside Storage on any CD-1 or CD-2 parcel in connection with a business that is legally permitted to sell Vehicle Inventory. If specifically permitted by the conditions of any Conditional Use Permit or Temporary Conditional Use Permit for any such parcel, vehicles that do not meet the definition of Vehicle Inventory may also be permitted Outside Storage.

bb) Aesthetically Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel in connection with the new construction of a main commercial building on the parcel.

cc) Limited Outdoor Displays are permitted Outside Storage in both the CD-1 and CD-2 districts. If the business is a 24-Hour Convenience Store, the Limited Outdoor Display need not be moved indoors, but the business shall at all times maintain a clear pedestrian path on sidewalks that is at least 36 inches in width.

dd) Inventory is permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales but must be separately identified on the initial site plan submitted with the initial request for certificate of occupancy or conditional use permit, and must be stored only in conformance with that site plan. Bins or containers housing the Inventory shall also be permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales as shall be other items necessarily incident to the storage, maintenance or protection of the Inventory.

ee) No Outside Storage shall be permitted for any business unless the storage is within the Approved Property Lines.

ff) Pool Stores may display above ground or below ground swimming pools as Permitted Outside Storage only on property under conditional use permit, subject to conditions to be established by the City Council, which must include, at a minimum, the following:

1) Pool water must be maintained in a sanitary condition;

2) Below ground pools must be surrounded by code-compliant fencing;

3) Above ground pools must be constructed in a code-compliant method relative to either fencing or sufficient elevation to prevent accidental entry into the pool;

4) Adequate security fencing around the storage display area must be installed to discourage after-hours entry into the pool storage area;
5) Reasonable screening from outside view shall be installed;
6) All sources of water and electricity shall be connected to the pools in a code-compliant manner;
7) Only pools that are intended for use with circulating filters shall be permitted outside; no "kiddy pools", wading pools or inflatable pools shall be permitted to be displayed outside.
8) Winter storage of outside pools shall be done in a manner that covers the pool surface and prevents the accidental entry into the pool;

gg) Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel involving pre-existing main buildings or structures that:

1) Historically utilized outside storage in connection with business operating on the property, and which uses were never abandoned;
2) Do not involve replacement or major remodeling of the existing structures, but utilizes the existing structures for the business to be operated;

Approval of Screened Outside Storage is discretionary with the City Council.

hh) **Revocation** All permits and certificates of occupancy issued in the mercantile districts are subject to revocation under the provisions of Article 9-240.

...

9-220.4 <u>Commercial Development III (CD-3)</u>

The CD-3 zones are areas of the City that are located outside of the TH 65 Corridor, which are suitable for certain institutional actives; neighborhood retail, or which operate under historic permits, and which involve no outside storage of supplies, equipment or inventory excepting motor vehicles used in the business (unless specifically allowed by historic permit) and except as stated below:

a) <u>Permitted Uses (Including uses that are ancillary to the main use)</u>

- Campgrounds (may include outside storage of firewood, equipment, picnic tables and other items common to a campground environment)
- Churches, including ancillary structures such as classrooms, offices, recreational facilities, parsonages or other dwellings for occupancy by church staff
- Convenience Stores including outdoor displays and inventory
- Financial Institutions
- Governmental, Business and Professional Offices
- Land Uses Specifically Authorized by Development
- Agreements in effect in whole or in part prior to January 1, 2000
- Licensed Day Care Centers
- Medical Clinics, including general medicine, specialty medicine, dental, optical and chiropractic
- Off Sale Liquor Stores
- Personal Services, including Beauty Shops and Barber Shops
- Petroleum Products Sales including outdoor displays and inventory
- Plant Nurseries, Garden Centers and Produce Markets (including limited outdoor display)
- Veterinary Clinics

b) <u>Conditional Uses</u>

- Cemeteries owned by a church and located on the same or adjacent parcel upon which the church is located, provided said parcel or parcels are under common ownership by the church.

Docusign Envelope ID: 9C870605-0E48-4E0E-BDC3-0E0D57CFA7E2

RECEIVED
JUL 31 2025
By: .....

CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE
Ham Lake, MN 55304
Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 7/31/2025 **Date of Receipt** 8-1-25

Receipt # 103256 **Amount $** 750.00

Meeting Appearance Dates:

Planning Commission 10-13-2025 **City Council** _____

Please check request(s):

- ☐ Metes & Bounds Conveyance
- ☐ Sketch Plan
- ☐ Preliminary Plat Approval*
- ☐ Final Plat Approval
- ☐ Rezoning*
- ☐ Multiple Dog License*
- ☐ Commercial Building Permit
- ☐ Certificate of Occupancy
- ☐ Home Occupation Permit
- ☐ Conditional Use Permit (New)*
- ☐ Conditional Use Permit (Renewal)
- ☑ Other Commercial Site Plan Review

NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.

Development/Business Name: Dercon Construction Services, Inc.

Address/Location of property: ~~XXXXX~~ 14961 Aberdeen St NE, Ham Lake, MN 55304

Legal Description of property: Lot 1, Block 2, Fox Tail Ridge

PIN # 20-32-23-43-0011 **Current Zoning** CD-2 **Proposed Zoning** CD-2

Notes: 11,331 sq ft office warehouse

Applicant's Name: Brian Larson

Business Name: Classic Construction Services

Address 18542 Ulysses Street NE

City East Bethel **State** MN **Zip Code** 55011

Phone 763-434-8870 **Cell Phone** 612-719-7926 **Fax** 763-434-7120

Email address _____

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE Brian Larson **DATE** 7/31/2025

****

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____ **PROPERTY TAXES CURRENT YES NO**

City Council _____ **Any Active/Deferred Assessments YES NO**

Docusign Envelope ID: 9C870605-0E48-4E0E-BDC3-0E0D57CFA7E2

CITY OF HAM LAKE
ACKNOWLEDGMENT OF RESPONSIBILITY
TO REIMBURSE EXPENSES

The undersigned, Brian Larson **, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:**

New Commercial Site Plan Review

Type of Application

acknowledges that the sum of $ 750.00 **, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.**

Applicant Signature Brian Larson **Dated** 7/31/2025

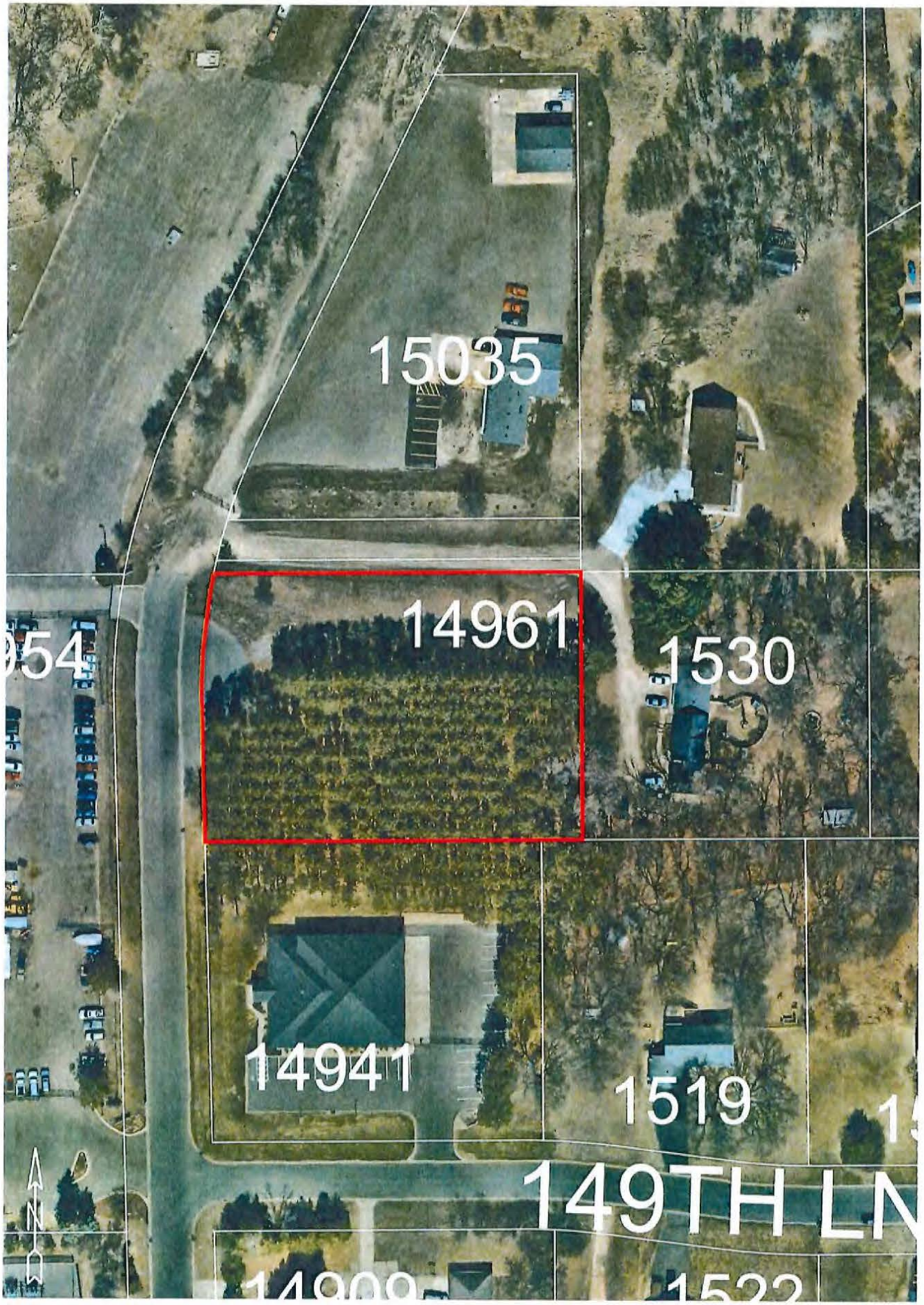
The following statement must be signed if the applicant is not the property owner:

Dean Marquette **, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.**

I am aware of the application being submitted by the applicant and approve the request.

DocuSigned by:

Property Owner Signature Dean Marquette 88CE198648C64FB... **Dated** 7/31/2025



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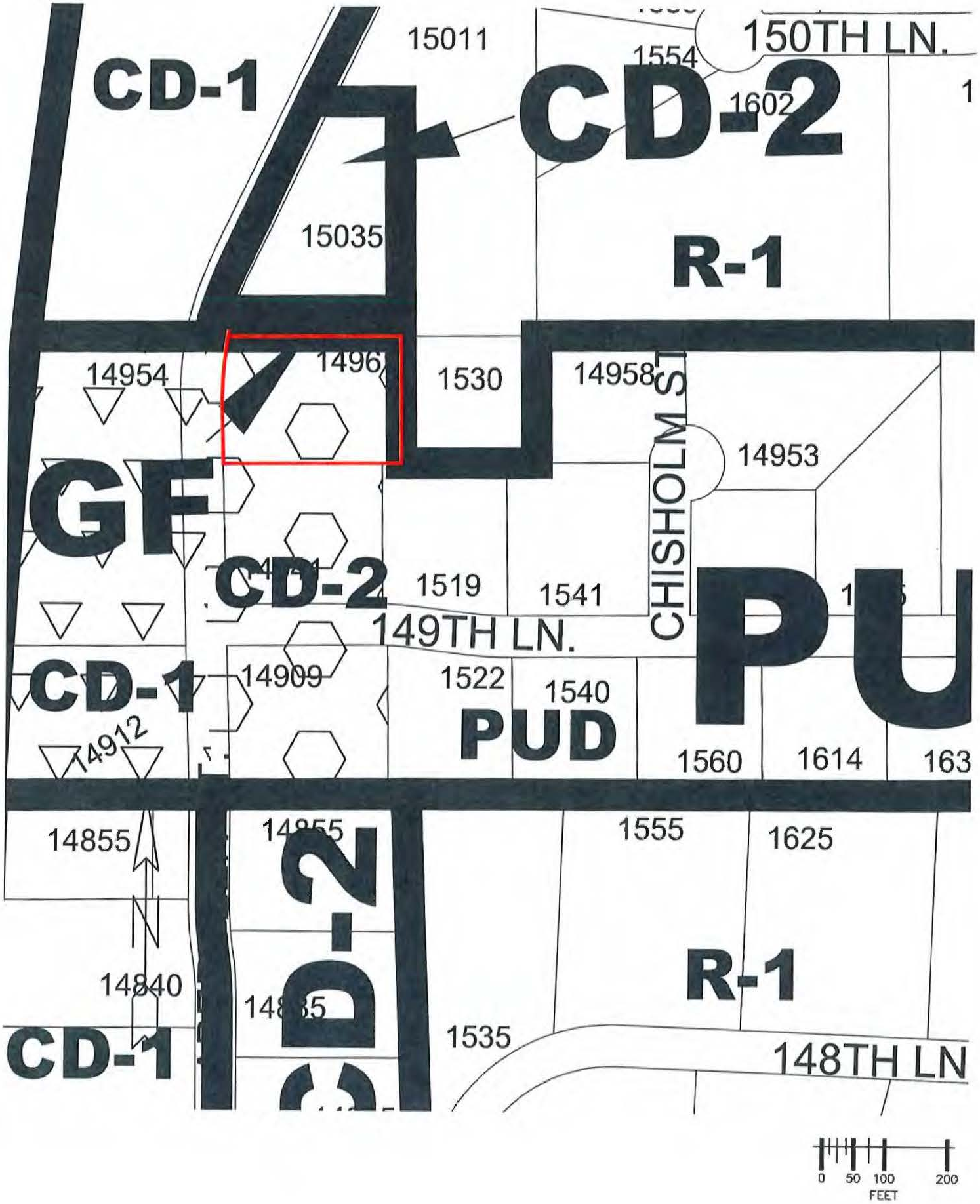
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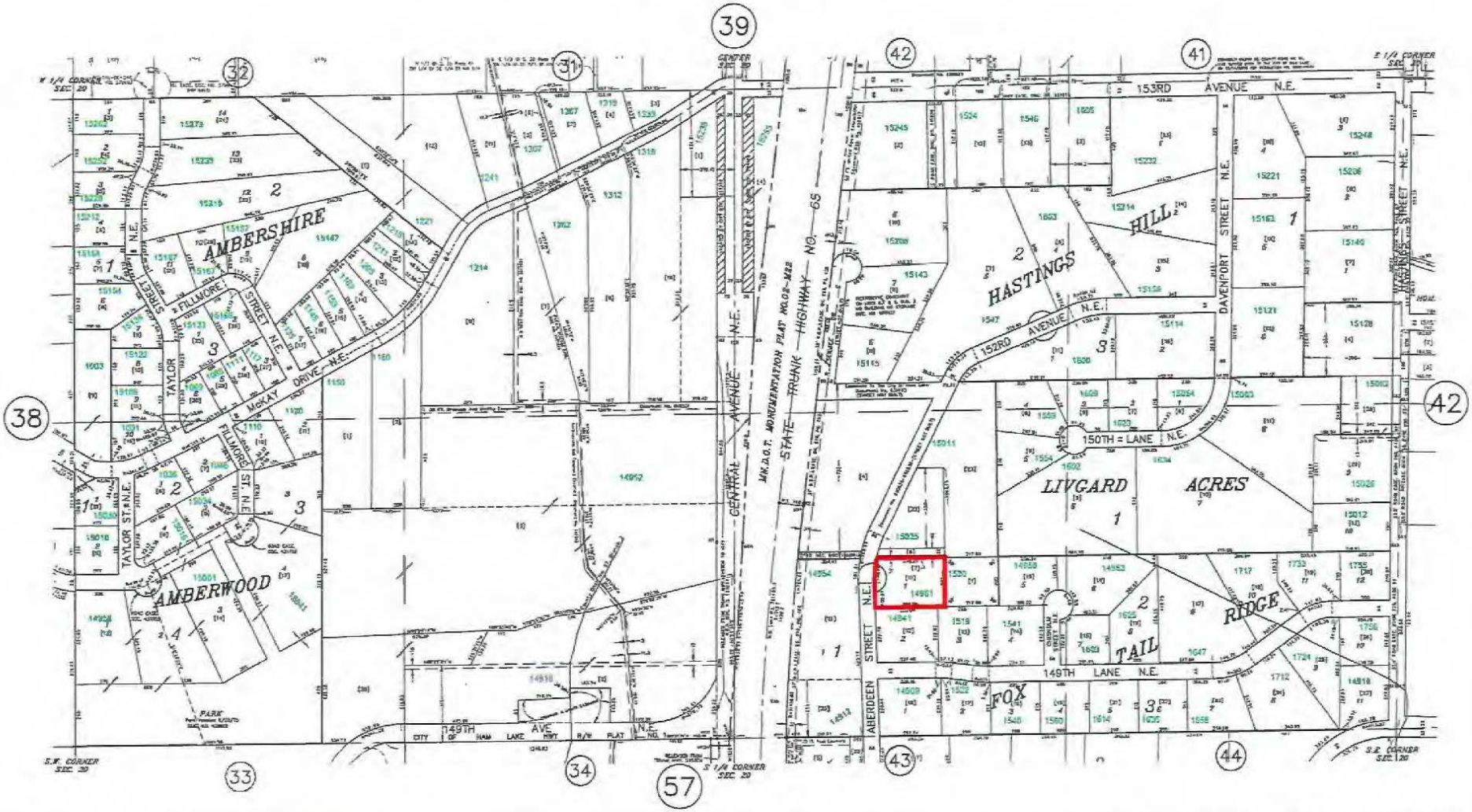
S 1/2 SECTION 20, T. 32, R. 23

CITY OF HAM LAKE



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ANOKA COUNTY SURVEYOR
W E

GRAPHIC SCALE
200 0 100 200
SCALE IN FEET

ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11
23	24	13	14
31	31	42	41

NORTH HALF OF SECTION
SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter Quarter	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

Business Name: Dercon Construction
Address: xxxx Aberdeen St. NE, Ham Lake, MN
Prepared For: City of Ham Lake – Commercial Site Plan Review
Date: 7/31/2025

Business Type:
Dercon Construction is a residential remodeling contractor offering interior and exterior design-build services, including kitchens, bathrooms, lower levels, additions, decks, porches, windows, roofing, and siding.

Nature of Operations:
The building will serve as our main office for administration, design, project management, and client meetings. It will also include light storage and staging for upcoming remodeling projects.

Storage Needs:
Materials stored on-site will include plumbing fixtures, electrical components, cabinetry, millwork, doors, and windows. These will be staged temporarily prior to delivery to job sites.

Employees:
The facility will support ~15 employees, including office staff, designers, sales, and field supervisors. Most field crews report directly to job sites, with occasional use of the facility.

Hours of Operation: Mon–Fri, 7:30 AM – 5:30 PM

Customer/Client Traffic:
Client visits will be by appointment only, averaging 1–3 per day. This is not a retail space and will not have walk-in traffic.

Use of Site:

- Office & meeting space for planning and management
- Light storage and staging of remodeling materials
- Employee and company vehicle parking
- Occasional material deliveries via box trucks or trailers

RFC Engineering, Inc.

13635 Johnson Street NE
Ham Lake, MN 55304

Office (763) 862-8000
Fax (763) 862-8042

Memorandum

Date: October 9, 2025

To: Planning Commissioners

From: David A. Krugler, City Engineer

Subject: Dercon Construction Commercial, LLC

Introduction:
The proposed 11,377 square-foot Dercon Construction Commercial building is located on the 1.67-acre Lot 1, Block 2, Fox Tail Ridge parcel. The parcel is zoned PUD with Commercial Development Tier 2 (CD-2) underlying use. Attached are a 100-scale aerial photo, a 200-scale zoning map and a 400-scale half section map for reference.

Discussion:
The Title Sheet, Legend, Existing Conditions and Removal Plan, Grading, Drainage, and Erosion Control Plan, Utility Plan, Details & Notes, Stormwater Pollution Prevention Program, Architectural Site Plan, Enlarged Site Plan and Landscape Plan received October 3rd address prior review comments.

The attached Landscape Plan shows trees surrounding the proposed building. Per Article 11-1853(B) of the City Code, decorative trees shall be planted along the right-of-way lines of adjacent public roadways and adjacent to residential property. Article 11-1860 allows for case-by-case evaluation of landscape requirements for commercial land approval and "...strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan". The proposed plans show an eight-foot black vinyl coated chain link fence with black vinyl inserts to be installed along the east side of the property. A determination is needed as to whether the proposed fencing and landscaping is adequate adjacent to the public roadway and residential property or if additional screening should be required.

There is an existing cul-de-sac located at the northwest corner of the parcel, at the northern terminus of Aberdeen Street. As shown in the attached exhibit, the right-of-way for the cul-de-sac was dedicated north of 150th Avenue and not south of 150th Avenue, as indicated by the cul-de-sac location on the aerial exhibit. The cul-de-sac construction error occurred when the Fox Tail Ridge development was platted, resulting in the cul-de-sac being constructed in the incorrect location relative to right-of-way originally dedicated in 1985. The developer has elected to allow the cul-de-sac to remain in its current location.

Additionally, there is an existing dedicated easement located at the northeast corner of the parcel along 150th Avenue. The City currently has no plans to construct 150th Avenue between Aberdeen Street and the cul-de-sac easement shown at the northeast corner of the parcel, and the developer has elected not to utilize this roadway for access. An encroachment agreement will therefore be required to allow site improvements to exist within the easement.

The Dercon Construction Commercial building project was conditionally approved by the Coon Creek Watershed District (CCWD) Board of Managers at their August 25th meeting. The Notice of Application Status is attached. A CCWD permit is required before grading operations can commence. A Minnesota Pollution Control Agency National Pollutant Discharge Elimination System Construction Stormwater Permit is also required before grading operations can commence because the disturbed area is over one-acre.

Recommendation:
It is recommended that the Dercon Construction Commercial site plan be recommended for approval, including the determination if the proposed screening is adequate.

Meeting Date: October 13, 2025

CITY OF HAM LAKE
STAFF REPORT

To: **Members of the Planning Commission**

From: **Mark Jones, Building and Zoning Official**

Subject: **Dercon Construction Services, Inc. request for Commercial Site Plan Approval to construct an Office Warehouse building at 14961 Aberdeen Street NE**

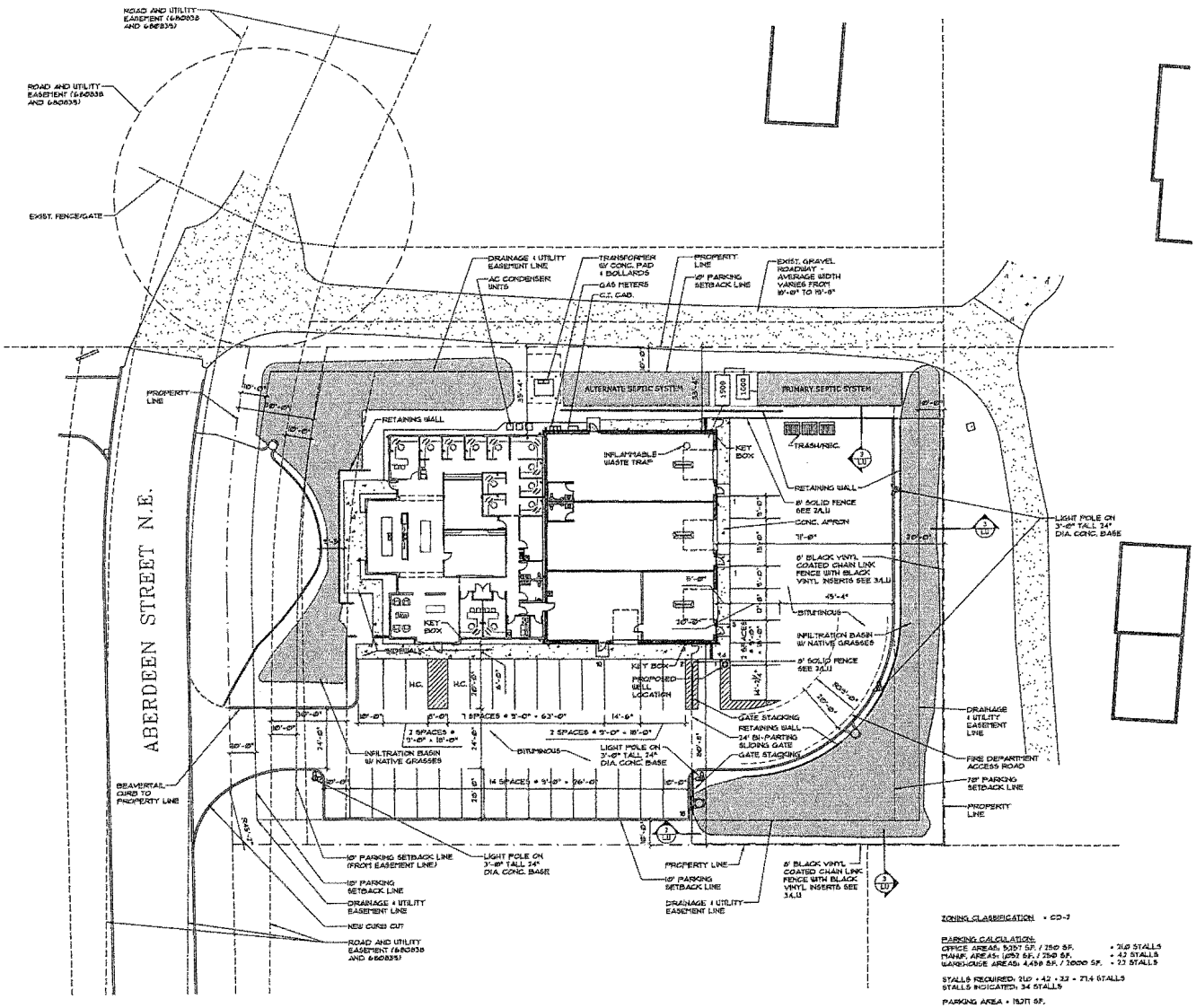
Introduction/Discussion:
Dercon Construction Services, Inc. is a residential remodeling contractor offering interior and exterior design-build services, including kitchens, bathrooms, lower levels, additions, decks, porches, windows, roofing, and siding. Dercon Construction is looking to construct a 10,767 square foot office/warehouse building at 14961 Aberdeen Street NE in which an area of 5,028 square feet will serve as main office for administration, design, project management, and client meetings and an area of 5,739 square feet will serve as warehouse space for light storage and staging for upcoming remodeling projects.

The property is zoned Commercial Development Tier 2 (CD-2). Office Warehouses are an approved use in the CD-2 zoning district. Fifteen employees, including office staff, designers, sales, and field supervisors will work at the site. Most field crews report directly to job sites. Field crews will have occasional need to use the building. Activity at the site will consist of administrative activity and light storage and staging of remodeling materials. Hours of operation will be Monday through Friday from 7:30 am to 5:30 pm. Customer/client traffic will average 1-3 visits per day and will be by appointment only. The building will not have any retail space and will not have walk-in traffic. Truck traffic, for delivery of material, will be by box trucks or trailers.

The exterior finish of the building meets City Code requirements. The plans show an area to be enclosed by an 8-foot solid, and 8-foot vinyl coated chain link fence east of the building. The septic area has been designed to accommodate use for full occupancy of the building (53 people).

Recommendation:
I recommend approval of the commercial site plan for the construction of a 10,767 square-foot office warehouse building, as requested by Dercon Construction Services, Inc., with the following conditions:

1) Obtaining a Coon Creek Watershed District permit and National Pollutant Discharge Elimination System (NPDES) permit before groundwork can begin.
2) The building is for office/warehouse use only.
3) Trucks unloading or loading shall not block any portion of Aberdeen Street NE at any time.
4) No on-street parking is allowed.
5) No outside storage.
6) All fencing is to meet City Code.
7) All trash containers are to be screened as required by City Code.
8) Screening is to be provided in areas abutting residential property as required by Article 11-1853(A) of City Code.
9) Screening material must be approved by the Building Official.
10) Meeting all State, County and City requirements.



1/AL SITE PLAN
1"=20'-0"

NORTH

ZONING CLASSIFICATION = CD-2

PARKING CALCULATION:
OFFICE AREAS: 5,357 S.F. / 250 S.F. = 21.4 STALLS
MANUF. AREAS: 1,052 S.F. / 250 S.F. = 4.2 STALLS
WAREHOUSE AREAS: 4,498 S.F. / 2000 S.F. = 2.3 STALLS

STALLS REQUIRED: 21.0 + 4.2 + 2.3 = 27.4 STALLS
STALLS INDICATED: 34 STALLS

PARKING AREA = 15,071 S.F.

BUILDING AREA:
BUILDING FOOTPRINT = 11,315 S.F.
BUILDING AREA = 12,767 S.F.

Rosa Architectural Group Inc.

1084 Sterling Street
St. Paul, Minnesota 55119
tel: 651-386-7971
email: rosarchgrp@msn.com

DERCON FACILITY

HAM LAKE, MN

CLASSIC CONSTRUCTION

PH: 763-434-8870
18542 ULYSSES ST. NE
EAST BETHEL, MN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME _____
SIGNATURE _____
DATE _____ REG. NO. _____

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME RUSSELL R. ROSA
SIGNATURE Russell Rosa
DATE 1/30/2025 REG. NO. 18039

PROJECT NUMBER:	22520
DATE:	JULY 30, 2025
DRAWN BY:	JL
CHECKED BY:	RR
REVISIONS:	8/22/25, 10/3/25

SITE PLAN

A1.1

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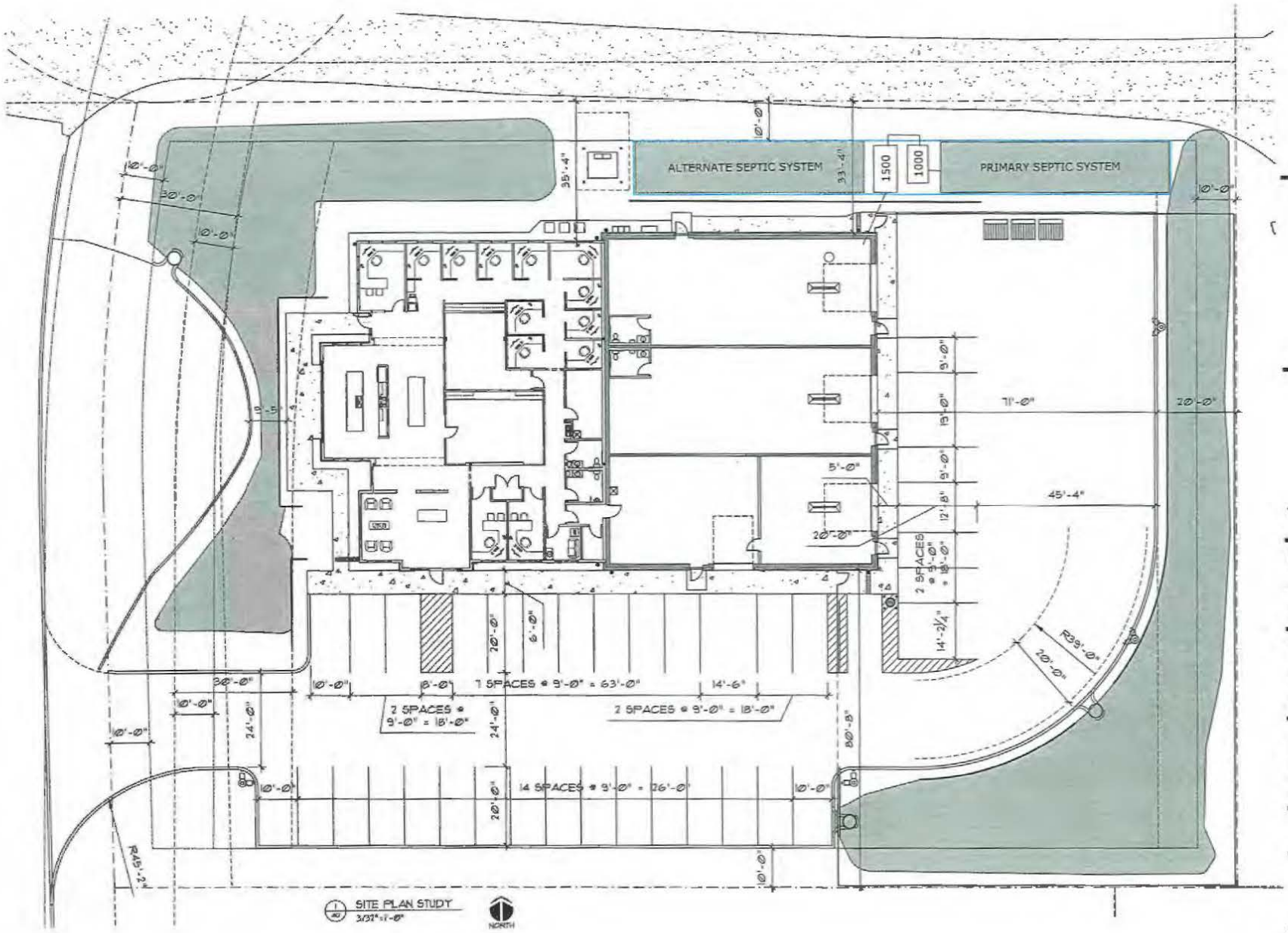

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PRINT NAME: _____
SIGNATURE: _____
DATE: _____ REG. NO.: _____

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PRINT NAME: RUSSELL R. ROSA
SIGNATURE: Russ Rosa
DATE: 7/30/2025 REG. NO.: 18039

PROJECT NUMBER:	22520
DATE:	JULY 30, 2025
DRAWN BY:	JL
CHECKED BY:	RR
REVISIONS:	8/22/25, 10/3/25

ENLARGED SITE PLAN

A1.2

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DERCON CONSTRUCTION COMMERCIAL BUILDING

TITLE SHEET, LEGEND, EXISTING CONDITIONS & REMOVAL PLAN

HAM LAKE, MINNESOTA

LEGEND *

- EXISTING OVERHEAD ELECTRIC
- EXISTING UNDERGROUND TELEPHONE
- EXISTING UNDERGROUND CABLE
- EXISTING UNDERGROUND FIBER
- EXISTING UNDERGROUND ELECTRIC
- EXISTING TELEPHONE PEDESTAL
- EXISTING ELECTRICAL PEDESTAL
- EXISTING CABLE PEDESTAL
- EXISTING FIBER BOX
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING STORM SEWER
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER
- EXISTING FORCEMAIN
- EXISTING STORM MANHOLE
- EXISTING CATCH BASIN
- EXISTING FLARED-END SECTION
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING WELL
- EXISTING SANITARY SEWER MANHOLE
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING SPOT ELEVATION (MATCH INTO GUTTER)
- EXISTING BITUMINOUS
- EXISTING TREES
- EXISTING TREE TO BE REMOVED
- SURFACE DRAINAGE DIRECTION
- EXISTING FENCE
- EXISTING RETAINING WALL
- EXISTING WETLAND
- BORING
- PROPOSED WATER PIPE
- PROPOSED SANITARY SEWER PIPE
- PROPOSED STORM SEWER PIPE
- PROPOSED CRANKTUBE AND CLEAN-OUT
- PROPOSED ELECTRIC SERVICE *
- PROPOSED GAS SERVICE *
- PROPOSED TELEPHONE SERVICE *
- PROPOSED STORM MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED FLARED-END SECTION
- PROPOSED GATE VALVE
- PROPOSED HYDRANT
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION (GUTTER LINE, BITUMINOUS SURFACE, OR GROUND MARKS UNLESS OTHERWISE INDICATED)
- PROPOSED SILT FENCE
- PROPOSED DIRECTION OF DRAINAGE
- PROPOSED BITUMINOUS
- PROPOSED SEED W/ STABILIZATION BLANKET
- PROPOSED INLET PROTECTION
- PROPOSED HEAVY-DUTY PAVEMENT
- PROPOSED BUNKNOT
- PROPOSED RETAINING WALL
- BITUMINOUS PAVEMENT REMOVAL
- CONCRETE SIDEWALK REMOVAL
- PROPOSED CONCRETE SIDEWALK
- PROPOSED TRASHREC
- PROPOSED RAIN GUARDIAN
- PROPOSED LIGHT POLE
- PROPOSED BCS WITH WEIR WALL
- PROPOSED DOWNSPOUT
- PROPOSED DOWNSPOUT INTO TRENCH THROUGH SIDEWALK

* NOT ALL SYMBOLS ARE APPLICABLE.

GENERAL NOTES

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.

CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.

THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING SANITARY SEWER, STORM SEWER, AND WATER MAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.

INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.

ALL UTILITIES THAT WILL BE OWNED AND MAINTAINED BY THE CITY AFTER CONSTRUCTION SHALL BE BUILT TO CITY STANDARDS.

THE CONTRACTOR SHALL NOTIFY CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO THE INTERRUPTION OF ANY SEWER OR WATER SERVICES TO EXISTING HOMES OR BUSINESSES.

THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FROM THE CITY PRIOR TO ANY WORK.

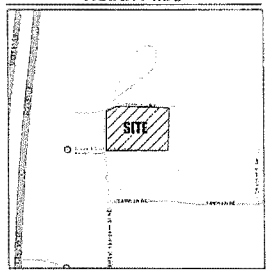
STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

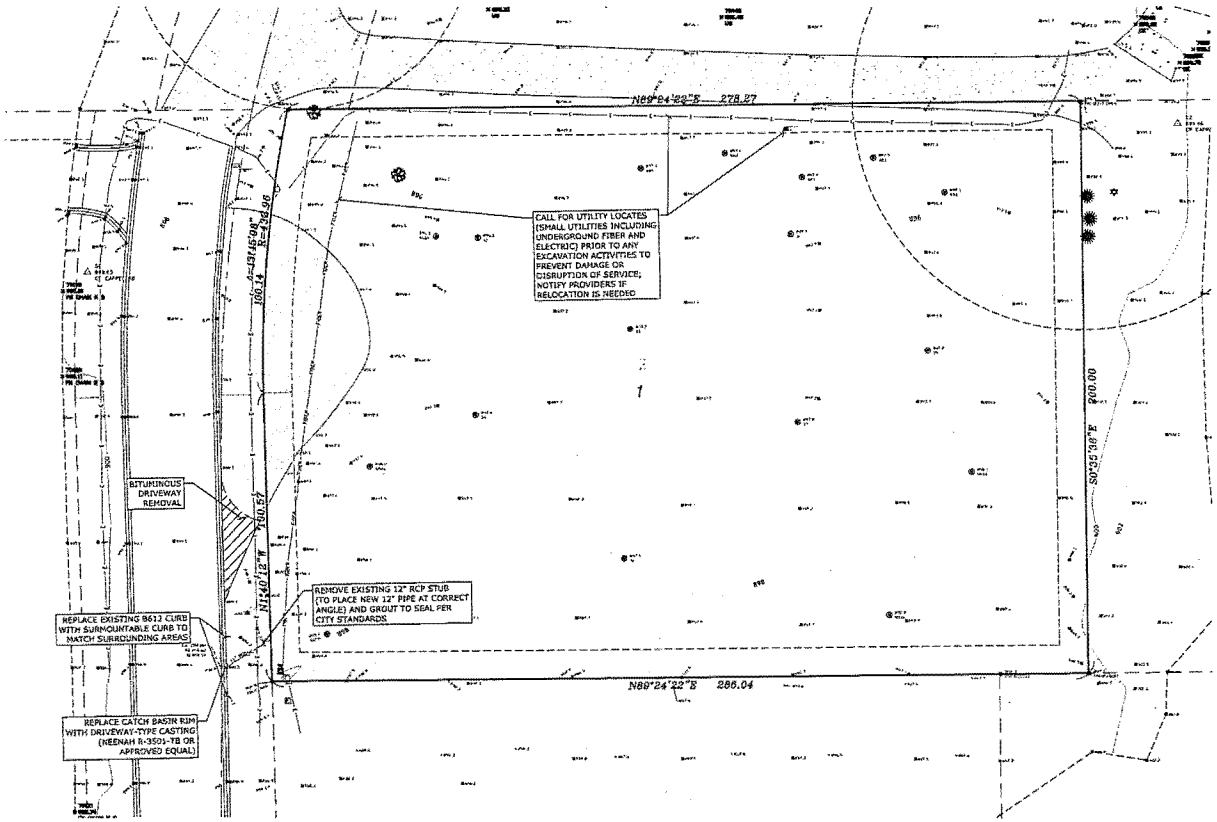
ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

811 below. Call before you dig.

VICINITY MAP



NOT TO SCALE



SHEET INDEX

C0 TITLE SHEET, LEGEND, EXISTING CONDITIONS, AND REMOVAL PLAN
C1 GRADING, DRAINAGE & EROSION CONTROL PLAN
C2 UTILITY PLAN
C3.1 DETAILS & NOTES
C3.2 DETAILS & NOTES
C4.1 STORM WATER POLLUTION PREVENTION PLAN
C4.2 STORM WATER POLLUTION PREVENTION PLAN

SCALE: 1 IN = 20 FT (24" X 36")

NORTH

SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
8770 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PhONE: (651) 361-8210
FAX: (651) 361-8701

DRAWN BY:	CHECK BY:
LKCA	CVA
JOB NO: 24-2101	DATE: 06-24-25

NO	DATE	DESCRIPTION
1	07/17/25	REVISED PER CITY COMMENTS
2	09/22/25	REVISED PER SURVEY SHOTS
3		
4		
5		
6		
7		
8		

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

GLADE M. ABUSOWAIT

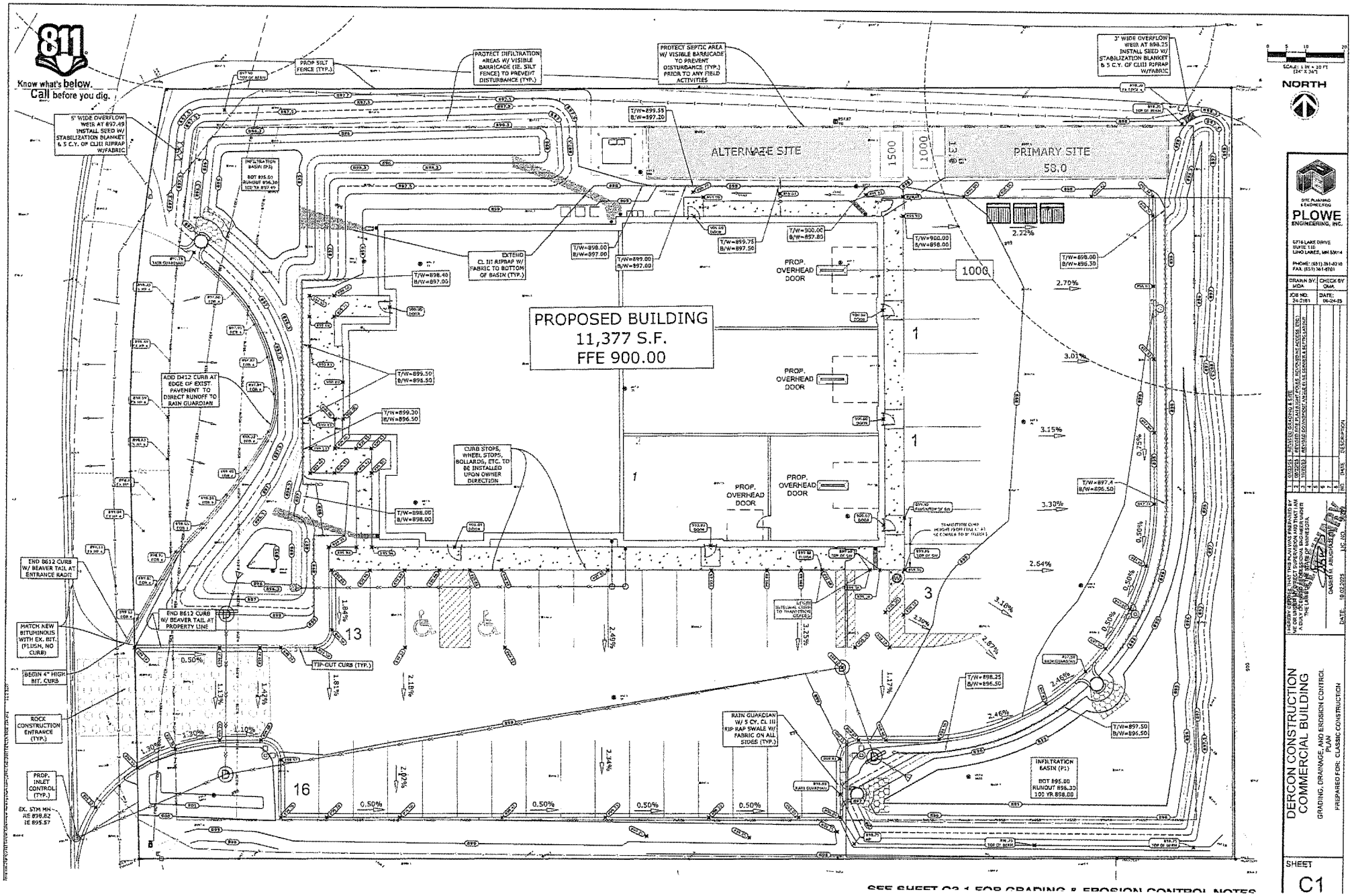
DATE: 10.07.2025 LIC. NO. 56.86

DERCON CONSTRUCTION COMMERCIAL BUILDING

TITLE SHEET, LEGEND, EXISTING CONDITIONS, AND REMOVAL PLAN

PREPARED FOR: CLASSIC CONSTRUCTION

SHEET C0



SEE SHEET C3.1 FOR GRADING & EROSION CONTROL NOTES

PLOWE ENGINEERING, INC.
SITE PLANNING & ENGINEERING
5715 LAKE DRIVE SUITE 110 LINO LAKES, MN 55014
PHONE: (651) 361-8210 FAX: (651) 361-8701

DRAWN BY: WDA	CHECK BY: DMA
JOB NO.: 24-2161	DATE: 06-24-25

NO.	DATE	DESCRIPTION
1	07/23/25	REVISED GRADING & SITE
2	08/25/25	REVISED SITE PLAN, LIGHT POLES, RECIPROCAL ACCESS, ETC.
3	10/09/25	REVISED ENVIRONMENT AREAS & SITE GRADES & ELEVATIONS

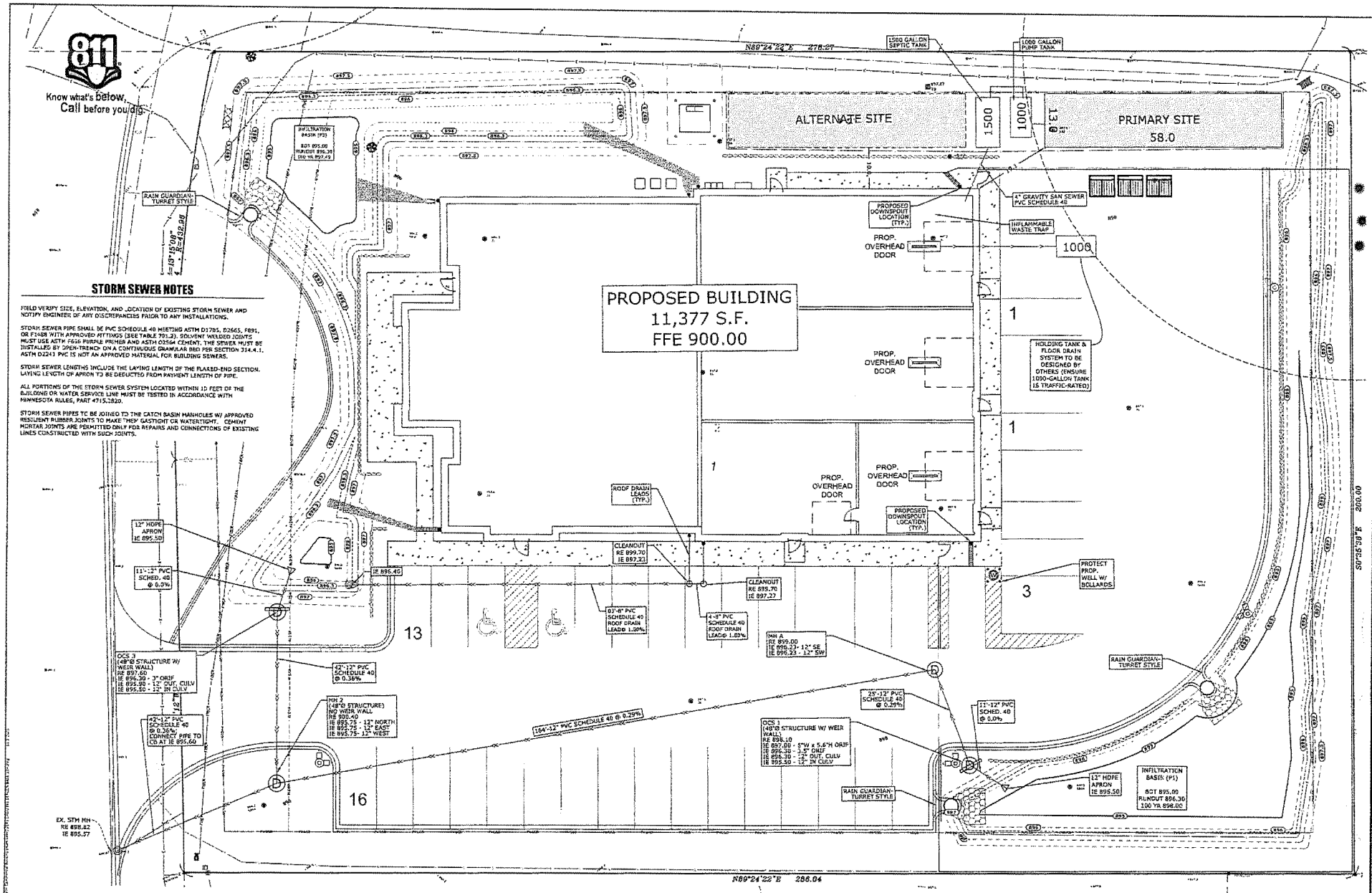
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
DARREN R. ABUSPOLE
DATE: 10.02.2025 LIC. NO. 44812

DERCON CONSTRUCTION COMMERCIAL BUILDING

GRADING, DRAINAGE, AND EROSION CONTROL PLAN

PREPARED FOR: CLASSIC CONSTRUCTION

SHEET C1



STORM SEWER NOTES

FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

STORM SEWER PIPE SHALL BE PVC SCHEDULE 40 MEETING ASTM D1785, D2665, F891, OR F1488 WITH APPROVED FITTINGS (SEE TABLE 701.3). SOLVENT WELDED JOINTS MUST USE ASTM F656 PURPLE PRIMER AND ASTM D2564 CEMENT. THE SEWER MUST BE INSTALLED BY OPEN-TRENCH ON A CONTINUOUS GRANULAR BED PER SECTION 314.4.1. ASTM D2241 PVC IS NOT AN APPROVED MATERIAL FOR BUILDING SEWERS.

STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF APRON TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.

ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820.

STORM SEWER PIPES TO BE JOINED TO THE CATCH BASIN MANHOLES W/ APPROVED RESILIENT RUBBER JOINTS TO MAKE THEM GASTIGHT OR WATERTIGHT. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

SEPTIC SYSTEM & CONNECTION TO WELL DESIGN BY OTHERS. SEE DESIGNER'S DESIGN AND NOTES FOR ADDITIONAL DETAILS.

ALL PERMITS, INCLUDING BUT NOT LIMITED TO PERMITS FROM CITY OF MAHLAKE, COON CREEK WATERSHED, AND THE MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY, SHALL BE OBTAINED PRIOR TO ORDERING OF MATERIAL AND STARTING OF CONSTRUCTION. NO INSTALLATION OF UTILITIES SHALL BE PERMITTED UNTIL ALL APPLICABLE PERMITS ARE RECEIVED BY CONTRACTOR. INSTALLATION OF UTILITIES SHALL BE CONDUCTED TO MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY STANDARDS AND CITY STANDARDS AS IDENTIFIED IN THE PUBLIC WORKS/ENGINEERING STANDARDS.

INSTALLATION OF UTILITIES SHALL BE CONDUCTED TO MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY STANDARDS AND CITY STANDARDS AS IDENTIFIED IN THE PUBLIC WORKS/ENGINEERING STANDARDS.

SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701

DRAWN BY: JCA | CHECK BY: CNA
JOB NO: 24-2181 | DATE: 06-24-25

NO	DATE	DESCRIPTION
1	07/07/25	REVISED UTILITY PLAN
2	08/05/25	REVISED UTILITY PLAN FOR LIGHT POLE LOCATIONS
3	10/03/25	ADDED DATA TO THE OCS 3
4		
5		
6		

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
CASEY N. ABUSHOUSHEH
DATE: 10.07.2025 LIC. NO. 56.89

DERCON CONSTRUCTION COMMERCIAL BUILDING

UTILITY PLAN

PREPARED FOR: CLASSIC CONSTRUCTION

SHEET C2

SITE SEQUENCING

- PRIOR TO ANY GRADING OPERATIONS, THE CONTRACTOR SHALL INSTALL ROCK CONSTRUCTION ENTRANCE (LOCATIONS TO BE DETERMINED - COORDINATE WITH OWNER) AND PERIMETER SILT FENCE AS SHOWN ON PLAN. (CONTACT CITY TO INSPECT EROSION CONTROL MEASURES PRIOR TO GRADING OPERATIONS, IF NECESSARY.) ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.
- THE CONTRACTOR SHALL PROVIDE ALL SOD, SEED, MULCH AND FERTILIZER WHICH SHALL CONFORM WITH THE FOLLOWING MNDOT SPECIFICATIONS AS MODIFIED BELOW.

ITEM		MNDOT SPECIFICATION/NOTES
SOD		3878
SEED **		3876
* FOR TURF ESTABLISHMENT		
	COMMERCIAL TURF	MNDOT MIX 25-131 (220 LBS/ACRE)
	RESIDENTIAL TURF	MNDOT MIX 25-131 (120 LBS/ACRE)
TEMPORARY	FALL COVER	MNDOT MIX 21-112 (100 LBS/ACRE)
	SPRING/SUMMER	MNDOT MIX 21-111 (100 LBS/ACRE)
	SOIL-BUILDING COVER	MNDOT MIX 21-113 (110 LBS/ACRE)
	1-2 YEARS COVER	MNDOT MIX 22-111 (30.5 LBS/ACRE)
	2-5 YEARS COVER	MNDOT MIX 22-112 (40 LBS/ACRE)
MULCH		3882 (TYPE 1 - DISC ANCHORED)
FERTILIZER		3881
WOOD FIBER BLANKET		3885 (CATEGORY 2)

* MOW A MINIMUM OF ONCE PER 2 WEEKS
** SEEDED AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.

- ALL EXPOSED SOILS & STOCKPILES MUST HAVE TEMPORARY EROSION CONTROL PROTECTION OR PERMANENT COVER WITHIN 24 HOURS OF INACTIVITY.
- THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO ALL ADJACENT PROPERTY LINES AND MAKE SURE THE EROSION CONTROL PRACTICES INPLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION. SILT FENCE TO BE REMOVED ONLY AFTER COMPLETION OF BUILDING CONSTRUCTION AND UPON ESTABLISHMENT OF VEGETATION.
- THE CONTRACTOR SHALL PROVIDE WOOD FIBER BLANKET FOR ALL AREAS OF CONCENTRATED FLOW AND FOR ALL SLOPES 3:1 OR GREATER.
- PROTECT ALL STORM WATER MANAGEMENT FACILITIES FROM CONSTRUCTION RUN-OFF. CONTRACTOR TO INSTALL AND CONSTRUCT SAID FACILITIES ONCE SITE HAS BEEN STABILIZED.
- IF ANY SLOPES APPEAR TO BE FAILING, THE CONTRACTOR SHALL PROVIDE ADDITIONAL SILT FENCE, BIOROLLS AND EROSION CONTROL BLANKET AS NEEDED.
- THE CONTRACTOR SHALL FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS.
- THE CONTRACTOR SHALL SOD ALL DISTURBED DRAINAGE AREAS, INCLUDING SWALES & OVERFLOWS.
- UPON GRADING COMPLETION THE CONTRACTOR SHALL PROVIDE NATIVE TOPSOIL WITH SOD OR SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN 48 HOURS OF FINAL GRADING.
- EXCESS SOIL SHOULD BE TREATED LIKE OTHER EXPOSED SOIL AND STABILIZED WITHIN 72 HOURS. ANY SOIL STOCKPILES ARE TO HAVE SILT FENCE PLACED ON DOWNSTREAM SIDES.
- IF A STREET, ALLEY, SIDEWALK OR OTHER PUBLIC PLACE SHOULD BECOME SOILED OR LITTERED, THE CONTRACTOR SHALL CAUSE SUCH SOILING OR LITTERING TO BE CLEANED UP BY SWEEPING NOT LATER THAN THE END OF THE WORKING DAY IN WHICH SUCH SOILING OR LITTERING SHALL HAVE OCCURRED OR BEEN OBSERVED.

OTHER POLLUTION CONTROL MEASURES

CONSTRUCTION WASTE MATERIALS - ALL WASTE MATERIALS GENERATED AS A RESULT OF SITE CONSTRUCTION SHALL BE COLLECTED AND REMOVED ACCORDING TO ALL LOCAL AND/OR STATE WASTE MANAGEMENT REGULATIONS BY A LICENSED SOLID WASTE MANAGEMENT COMPANY. THE CONTRACTOR WILL ENSURE THAT ALL SITE PERSONNEL ARE INSTRUCTED IN THESE PRACTICES.

HAZARDOUS WASTES - ALL HAZARDOUS WASTE MATERIALS SHALL BE STORED PROPERLY TO PREVENT SPILLS AND VANDALISM. WHEN NECESSARY, HAZARDOUS WASTES WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL AND/OR STATE REGULATION OR BY THE MANUFACTURER.

SANITARY WASTE - ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS BY A LOCAL, LICENSED WATER MANAGEMENT COMPANY, AS REQUIRED BY LOCAL REGULATION.

OFFSITE VEHICLE TRACKING - A ROCK CONSTRUCTION ENTRANCE HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. IF A STREET, ALLEY, SIDEWALK OR OTHER PUBLIC PLACE SHOULD BECOME SOILED OR LITTERED, THE CONTRACTOR SHALL CAUSE SUCH SOILING OR LITTERING TO BE CLEANED UP BY SWEEPING NOT LATER THAN THE END OF THE WORKING DAY IN WHICH SUCH SOILING OR LITTERING SHALL HAVE OCCURRED OR BEEN OBSERVED. DUMP TRUCKS HAULING LOOSE MATERIALS (SAND, TOPSOIL, ETC.) TO AND/OR FROM THE SITE SHALL BE COVERED WITH A TARPAULIN.

VEHICLE CLEANING - NO ENGINE DEGREASING IS ALLOWED ON-SITE. EXTERNAL WASHING OF VEHICLES TO BE CONFINED TO A DEFINED AREA ("BONE YARD") ON-SITE. CONTRACTOR TO PROVIDE DESIGNATED TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. WASHOUT AREA IS TO BE A MINIMUM OF 50' FROM DITCHES, PONDS, OR OTHER STORMWATER FEATURES. ALL LIQUID AND SOLID WASTE GENERATED BY WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER (E.G. COMPACTED CLAY LINER, IMPERMEABLE GEO-MEMBRANE) AND DISPOSED OF PROPERLY.

SPILL PREVENTION AND CONTROL - ALL VEHICLES WILL BE CHECKED FOR LEAKING OIL AND FLUIDS. VEHICLES LEAKING FLUIDS WILL NOT BE ALLOWED ON-SITE. SPILL KITS WILL BE STORED ON-SITE AND ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. SPENT ABSORBENT MATERIALS AND RAGS WILL BE HAULED OFF-SITE IMMEDIATELY AFTER THE SPILL IS CLEANED UP AND PROPERLY DISPOSED OF. SPILL PREVENTION AND CONTROL MEASURES SHALL BE IMPLEMENTED ONCE CONSTRUCTION BEGINS.

SOIL STOCKPILES - INSTALL SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AROUND ALL TEMPORARY SOIL STOCKPILES. SOILS AND STOCKPILES MUST BE STABILIZED WITHIN 24 HOURS OF INACTIVITY. LOCATE SOIL OR DIRT STOCKPILES SUCH THAT DOWNSLOPE DRAINAGE LENGTH IS NO LESS THAN 8 M (25 FEET) FROM THE TOE OF THE PILE TO A SURFACE WATER, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER. IF REMAINING FOR MORE THAN 7 DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. DURING STREET REPAIR, COVER CONSTRUCTION SOIL OR DIRT STOCKPILES LOCATED CLOSER THAN 8 M (25 FEET) TO A ROADWAY OR DRAINAGE CHANNEL WITH TARPS, AND PROTECT STORM SEWER INLETS WITH SILT SOCKS OR STAKED SILT FENCE.

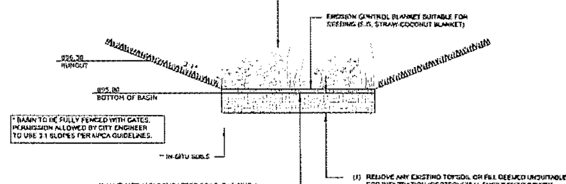
PROVIDE WIMCO (OR APPROVED EQUAL) FOR INLET PROTECTION AT ALL EXISTING STORM SEWER INLETS THAT WILL RECEIVE RUN-OFF DURING CONSTRUCTION. INLET PROTECTION TO REMAIN IN-PLACE UNTIL AT LEAST 70% OF SITE VEGETATION HAS BEEN ESTABLISHED.

CONTRACTOR TO PROVIDE DESIGNATED CONCRETE TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. KEEP WASHOUT AREAS AS FAR AS PRACTICAL FROM STORM DRAINS, DITCHES AND PONDS. DO NOT ALLOW RUN-OFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE. AFTER WASTE CONCRETE IS SET, BREAK-UP AND DISPOSE OF PROPERLY.

THE CONTRACTOR MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. THE CONTRACTOR MAY DISCHARGE FROM THE TEMPORARY OR PERMANENT SEDIMENTATION BASINS TO SURFACE WATERS IF THE BASIN WATER HAS BEEN VISUALLY CHECKED TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED IN THE BASIN AND THAT NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF THE WATER CANNOT BE DISCHARGED TO A SEDIMENTATION BASIN PRIOR TO ENTERING THE SURFACE WATER, IT MUST BE TREATED WITH THE APPROPRIATE BMPS, SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE RECEIVING WATER OR DOWNSTREAM PROPERTIES.

NOTES
1. MARK-OFF BASIN AREA (E.G. FENCING, SILT FENCE, ETC.) TO PREVENT CONSTRUCTION TRAFFIC FROM ENTERING BASIN AREA.
2. USE LOW-IMPACT, EARTH MOVING EQUIPMENT (WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT-EQUIPMENT WITH TURF-TYPE TIRES) WITHIN BASIN.
3. PROTECT BASIN FROM RUN-OFF DURING CONSTRUCTION ACTIVITIES
4. DO NOT EXCAVATE BASIN TO FINAL GRADE UNTIL UPSTREAM DRAINAGE AREAS HAVE BEEN STABILIZED.
5. REMOVE ANY TOPSOIL AND/OR UNSUITABLE SOILS WITHIN INFILTRATION BASIN FOOTPRINT. ANY SEDIMENT THAT IS WASHED INTO THE BASIN SHALL BE REMOVED.
6. NO MIXING OF SANDY SOILS ALLOWED IN BASIN AREA.
7. EXCAVATE BASIN TO FINAL GRADE ONLY UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREAS. ALLEVIATE ANY COMPACTED SOILS DUE TO FINAL GRADING OPERATIONS PRIOR TO SEEDING

AFTER INFILTRATION BASIN AREA HAS BEEN EXCAVATED TO FINAL GRADE, PERFORM A DOUBLE-RING INFILTROMETER TEST TO VERIFY INFILTRATION CAPACITY OF IN-SITU SOILS.



* BASIN TO BE FULLY FENCED WITH GATES. PERMISSION ALLOWED BY CITY ENGINEER TO USE 2:1 SLOPES PER MPCA GUIDELINES.

** ALLEVIATE ANY COMPACTED SOILS (BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW, RIPPER OR SUBSOILER) TO A DEPTH NECESSARY TO ALLEVIATE COMPACTION

(1) REMOVE ANY EXISTING TOPSOIL OR FILL DEEMED UNSUITABLE FOR INFILTRATION (GEOTECHNICAL ENGINEER TO REVIEW ON-SITE SOILS)
(2) IN AREAS OF FILL, PLACE SALVAGED ON-SITE SANDY SOILS SUITABLE FOR INFILTRATION WITH <5% FINES (AS DETERMINED BY GEOTECHNICAL ENGINEER)

NOTE: MIX IN SALVAGED ON-SITE TOPSOIL INTO TOP 6" (MAX.) OF INFILTRATION AREA

INFILTRATION BASIN (P1)
N.T.S.

NOTES
1. MARK-OFF BASIN AREA (E.G. FENCING, SILT FENCE, ETC.) TO PREVENT CONSTRUCTION TRAFFIC FROM ENTERING BASIN AREA.
2. USE LOW-IMPACT, EARTH MOVING EQUIPMENT (WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT-EQUIPMENT WITH TURF-TYPE TIRES) WITHIN BASIN.
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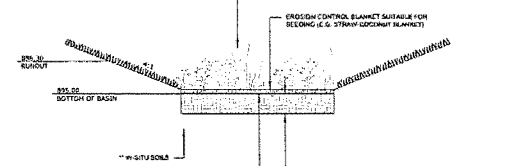


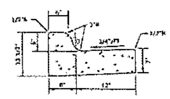
** ALLEVIATE ANY COMPACTED SOILS (BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW, RIPPER OR SUBSOILER) TO A DEPTH NECESSARY TO ALLEVIATE COMPACTION

(1) REMOVE ANY EXISTING TOPSOIL OR FILL DEEMED UNSUITABLE FOR INFILTRATION (GEOTECHNICAL ENGINEER TO REVIEW ON-SITE SOILS)
(2) IN AREAS OF FILL, PLACE SALVAGED ON-SITE SANDY SOILS SUITABLE FOR INFILTRATION WITH <5% FINES (AS DETERMINED BY GEOTECHNICAL ENGINEER)

NOTE: MIX IN SALVAGED ON-SITE TOPSOIL INTO TOP 6" (MAX.) OF INFILTRATION AREA

INFILTRATION BASIN (P3)
N.T.S.

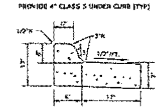
PROVIDE 4" CLASS 5 UNDER CURB (TYP)



NOTE: FOR MECHANICALLY LAID CURB, SHOE MAY BE TILTED.

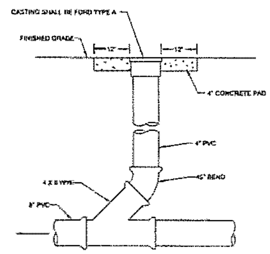
B612 CONCRETE CURB & GUTTER
NOT TO SCALE

PROVIDE 4" CLASS 5 UNDER CURB (TYP)



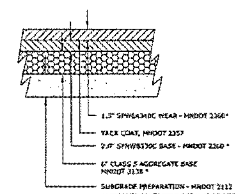
NOTE: FOR MECHANICALLY LAID CURB, SHOE MAY BE TILTED.

B612 CONCRETE CURB & GUTTER (TIP-OUT)
NOT TO SCALE



NOTES:
- ALL JOINTS SHALL BE SOLVENT WELD EXCEPT AS NOTED.
- ALL PIPE TO BE PVC SCHEDULE 40

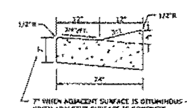
X/CY STORM CLEAN-OUT
N.T.S.



PAVING SHALL CONFORM TO THE LATEST EDITION OF MNDOT'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY'S STANDARDS FOR STREET AND UTILITY CONSTRUCTION.

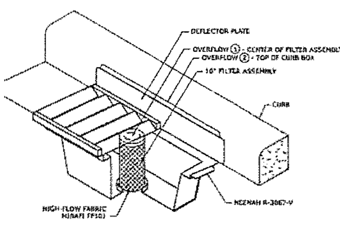
* PAVING SECTION SHALL BE REVIEWED AND APPROVED BY HAUGO GEOTECHNICAL SERVICES OR ANOTHER GEOTECHNICAL ENGINEER PRIOR TO ANY INSTALLATIONS.

BITUMINOUS PAVEMENT - LIGHT DUTY
NOT TO SCALE

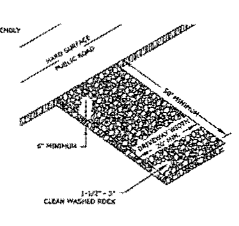


7" WHEN ADJACENT SURFACE IS BITUMINOUS - WHEN ADJACENT SURFACE IS CONCRETE USE SAME THICKNESS AS SLAB.

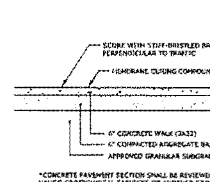
D412 CONCRETE CURB & GUTTER
NOT TO SCALE



WIMCO INLET PROTECTION
NOT TO SCALE



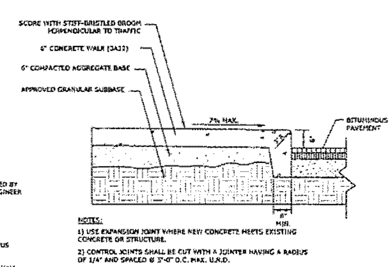
ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE



*CONCRETE PAVEMENT SECTION SHALL BE REVIEWED AND APPROVED BY HAUGO GEOTECHNICAL SERVICES OR ANOTHER GEOTECHNICAL ENGINEER PRIOR TO ANY INSTALLATIONS.

NOTES:
1) USE EXPANSION JOINT WHERE NEW CONCRETE MEETS EXISTING CONCRETE OR STRUCTURE.
2) CONTROL JOINTS SHALL BE CUT WITH A JOINTER HAVING A RADIUS OF 1/4" AND SPACED @ 5'-0" O.C. MAX. U.N.O.
3) EXPANSION JOINTS SHALL BE SPACED AT 20'-0" O.C. MAX. AND SHALL CONSIST OF A 1/2" PRE-FORMED JOINT FILLER.
4) ANTI-SPALLING COMPOUND SHALL BE APPLIED TO CONCRETE SURFACES.

TYPICAL CONCRETE SIDEWALK
NOT TO SCALE



NOTES:
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4) ANTI-SPALLING COMPOUND SHALL BE APPLIED TO CONCRETE SURFACES.

INTEGRAL CURB AND GUTTER
NOT TO SCALE

SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701

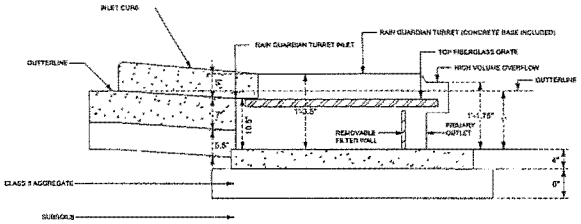
DRAWN BY: MGA	CHECK BY: OMA
JOB NO: 24-2181	DATE: 06-04-25

NO.	DATE	DESCRIPTION
1	07/22/25	REMOVED P2 BASIN
2	09/23/25	ADDED PAVEMENT THICKNESS PER CITY COMMENTS
3		
4		
5		
6		
7		
8		

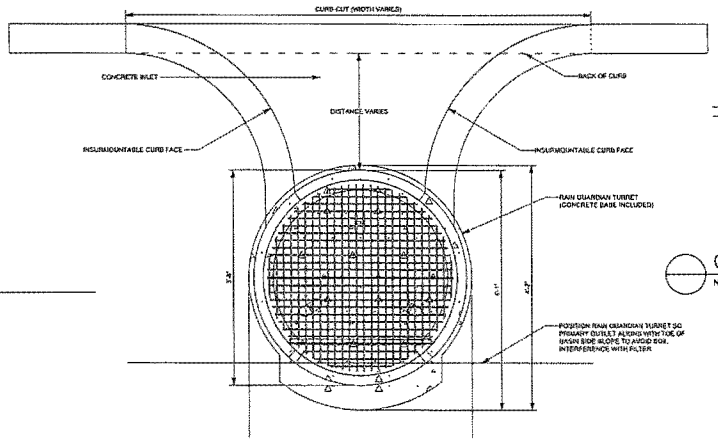
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
QASEM M. ABUGHAZALEH
DATE: 10.02.2025 LIC NO. 56299

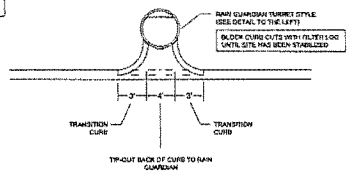
DERCON CONSTRUCTION COMMERCIAL BUILDING
DETAILS & NOTES
PREPARED FOR: CLASSIC CONSTRUCTION

SHEET C3.1

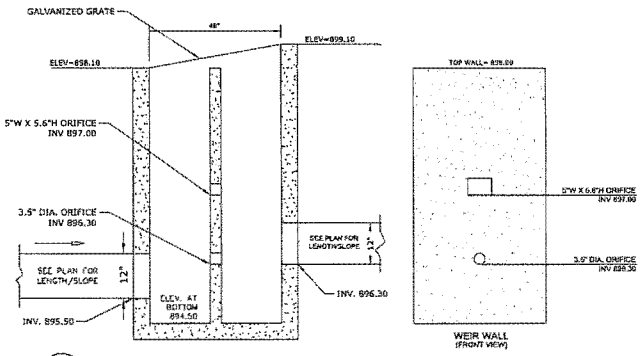


RAIN GUARDIAN - TURRET STYLE
N.T.S.





CURB CUTS @ RAIN GUARDIAN
N.T.S.



POND 1 OUTLET STRUCTURE (OCS 1)
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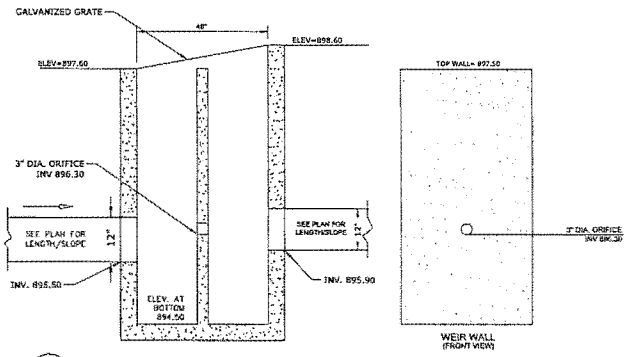

POND 3 OUTLET STRUCTURE (OCS 3)
N.T.S.

SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
6778 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701

DRAWN BY: MGA	CHECK BY: DMA
JOB NO. 24-2181	DATE. 06-24-25

NO.	DATE	DESCRIPTION
1	07/23/25	REVISED OCS DETAILS
2		
3		
4		
5		
6		
7		
8		

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

GASSER D. ABUCHOLEB
DATE: 10.02.2025 LIC. NO. 46

DERCON CONSTRUCTION
COMMERCIAL BUILDING
DETAILS & NOTES
PREPARED FOR: CLASSIC CONSTRUCTION

SHEET
C3.2

4.1 TERMINATION OF COVERAGE. [MINN. R. 7090]

4.2 PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ALL TERMINATION CONDITIONS LISTED IN SECTION 13 ARE COMPLETE. [MINN. R. 7090]

4.3 PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE, INCLUDING PERMIT RESPONSIBILITY FOR ROADS (E.G., STREET SWEEPING) AND STORMWATER INFRASTRUCTURE FINAL CLEAN OUT, OR TRANSFERRING PORTIONS OF A SITE TO ANOTHER PARTY. THE PERMITTEES' COVERAGE UNDER THIS PERMIT TERMINATES AT MIDNIGHT ON THE SUBMISSION DATE OF THE NOT. [MINN. R. 7090]

4.4 PERMITTEES MAY TERMINATE PERMIT COVERAGE PRIOR TO COMPLETION OF ALL CONSTRUCTION ACTIVITY IF THEY MEET ALL OF THE FOLLOWING CONDITIONS:

A. CONSTRUCTION ACTIVITY HAS CEASED FOR AT LEAST 90 DAYS; AND

B. AT LEAST 90 PERCENT (BY AREA) OF ALL ORIGINALLY PROPOSED CONSTRUCTION ACTIVITY HAS BEEN COMPLETED AND PERMANENT COVER HAS BEEN ESTABLISHED ON THOSE AREAS; AND

C. ON AREAS WHERE CONSTRUCTION ACTIVITY IS NOT COMPLETE, PERMANENT COVER HAS BEEN ESTABLISHED; AND

D. THE SITE COMPLIES WITH ITEM 13.3 THROUGH 13.7.

AFTER PERMIT COVERAGE IS TERMINATED UNDER THIS ITEM, ANY SUBSEQUENT DEVELOPMENT ON THE REMAINING PORTIONS OF THE SITE WILL REQUIRE PERMIT COVERAGE IF THE SUBSEQUENT DEVELOPMENT ITSELF OR AS PART OF THE REMAINING COMMON PLAN OF DEVELOPMENT OR SALE WILL RESULT IN LAND DISTURBING ACTIVITIES OF ONE (1) OR MORE ACRES IN SIZE. [MINN. R. 7090]

4.5 PERMITTEES MAY TERMINATE COVERAGE UPON MPCA APPROVAL AFTER SUBMITTING INFORMATION DOCUMENTING THE OWNER CANCELED THE PROJECT. [MINN. R. 7090]

6.1 SWPPP AMENDMENTS. [MINN. R. 7090]

6.2 ONE OF THE INDIVIDUALS DESCRIBED IN ITEM 21.2.A OR ITEM 21.2.B OR ANOTHER QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS. [MINN. R. 7090]

6.3 PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPS AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER. [MINN. R. 7090]

6.4 PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPS AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES (E.G., NUISANCE CONDITIONS AS DEFINED IN MINN. R. 7050.0210, SUBP. 2) OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDL. [MINN. R. 7050.0210]

7.1 BMP SELECTION AND INSTALLATION. [MINN. R. 7090]

7.2 PERMITTEES MUST SELECT, INSTALL, AND MAINTAIN THE BMPS IDENTIFIED IN THE SWPPP AND IN THIS PERMIT IN AN APPROPRIATE AND FUNCTIONAL MANNER AND IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES. [MINN. R. 7090]

8.1 EROSION PREVENTION PRACTICES. [MINN. R. 7090]

8.2 BEFORE WORK BEGINS, PERMITTEES MUST DELINEATE THE LOCATION OF AREAS NOT TO BE DISTURBED. [MINN. R. 7090]

8.3 PERMITTEES MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES. WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING). [MINN. R. 7090]

8.4 PERMITTEES MUST STABILIZE ALL EXPOSED SOIL AREAS, INCLUDING STOCKPILES. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY HAS CEASED. STABILIZATION IS NOT REQUIRED ON CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES. STABILIZATION IS NOT REQUIRED ON TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) BUT PERMITTEES MUST PROVIDE SEDIMENT CONTROLS AT THE BASE OF THE STOCKPILE. [MINN. R. 7090]

8.5 FOR PUBLIC WATERS THAT THE MINNESOTA DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPAWNING TIME FRAMES, PERMITTEES MUST COMPLETE STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 200 FEET OF THE WATER'S EDGE, AND THAT DRAIN TO THESE WATERS, WITHIN 24 HOURS DURING THE RESTRICTION PERIOD. [MINN. R. 7090]

8.6 PERMITTEES MUST STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAR FEET OF TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES THAT DRAIN WATER FROM THE SITE WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE. PERMITTEES MUST COMPLETE STABILIZATION OF REMAINING PORTIONS OF TEMPORARY OR PERMANENT DITCHES OR SWALES WITHIN 14 CALENDAR DAYS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE AND CONSTRUCTION IN THAT PORTION OF THE DITCH TEMPORARILY OR PERMANENTLY CEASES. [MINN. R. 7090]

8.7 TEMPORARY OR PERMANENT DITCHES OR SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION (WITH PROPERLY DESIGNED ROCK-DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. PERMITTEES MUST STABILIZE THESE AREAS WITHIN 24 HOURS AFTER THEIR USE AS A SEDIMENT CONTAINMENT SYSTEM CEASES. [MINN. R. 7090]

8.8 PERMITTEES MUST NOT USE MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES WITHIN ANY PORTION OF THE NORMAL WETTED PERIMETER OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE SECTION WITH A CONTINUOUS SLOPE OF GREATER THAN 2 PERCENT. [MINN. R. 7090]

8.9 PERMITTEES MUST PROVIDE TEMPORARY OR PERMANENT ENERGY DISSIPATION AT ALL PIPE OUTLETS WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR PERMANENT STORMWATER TREATMENT SYSTEM. [MINN. R. 7090]

8.10 PERMITTEES MUST NOT DISTURB MORE LAND (I.E., PHASING) THAN CAN BE EFFECTIVELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH SECTION 11. [MINN. R. 7090]

9.1 SEDIMENT CONTROL PRACTICES. [MINN. R. 7090]

9.2 PERMITTEES MUST ESTABLISH SEDIMENT CONTROL BMPS ON ALL DOWNGRADIENT PERIMETERS OF THE SITE AND DOWNGRADIENT AREAS OF THE SITE THAT DRAIN TO ANY SURFACE WATER, INCLUDING CURB AND GUTTER SYSTEMS. PERMITTEES MUST LOCATE SEDIMENT CONTROL PRACTICES UPGRADIENT OF ANY BUFFER ZONES. PERMITTEES MUST INSTALL SEDIMENT CONTROL PRACTICES BEFORE ANY UPGRADIENT LAND-DISTURBING ACTIVITIES BEGIN AND MUST KEEP THE SEDIMENT CONTROL PRACTICES IN PLACE UNTIL THEY ESTABLISH PERMANENT COVER. [MINN. R. 7090]

9.3 IF DOWNGRADIENT SEDIMENT CONTROLS ARE OVERLOADED, BASED ON FREQUENT FAILURE OR EXCESSIVE MAINTENANCE REQUIREMENTS, PERMITTEES MUST INSTALL ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPS TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN ITEM 6.3. [MINN. R. 7090]

9.4 TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK-CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS. [MINN. R. 7090]

9.5 A FLOATING SILT CURTAIN PLACED IN THE WATER IS NOT A SEDIMENT CONTROL BMP TO SATISFY ITEM 9.2 EXCEPT WHEN WORKING ON A SHORELINE OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY (E.G., INSTALLATION OF RIP RAP ALONG THE SHORELINE) IN THAT AREA IS COMPLETE, PERMITTEES MUST INSTALL AN UPLAND PERIMETER CONTROL PRACTICE IF EXPOSED SOILS STILL DRAIN TO A SURFACE WATER. [MINN. R. 7090]

9.6 PERMITTEES MUST RE-INSTALL ALL SEDIMENT CONTROL PRACTICES ADJUSTED OR REMOVED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES, IMMEDIATELY AFTER THE SHORT-TERM ACTIVITY IS COMPLETED. PERMITTEES MUST RE-INSTALL SEDIMENT CONTROL PRACTICES BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE. [MINN. R. 7090]

9.7 PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMPS DURING CONSTRUCTION UNTIL THEY ESTABLISH PERMANENT COVER ON ALL AREAS WITH POTENTIAL FOR DISCHARGING TO THE INLET. [MINN. R. 7090]

9.8 PERMITTEES MAY REMOVE INLET PROTECTION FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (E.G. STREET FLOODING/FREEZING) IS IDENTIFIED BY THE PERMITTEES OR THE JURISDICTIONAL AUTHORITY (E.G., CITY/COUNTY/TOWNSHIP/MINNESOTA DEPARTMENT OF TRANSPORTATION ENGINEER). PERMITTEES MUST DOCUMENT THE NEED FOR REMOVAL IN THE SWPPP. [MINN. R. 7090]

9.9 PERMITTEES MUST PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AT THE BASE OF STOCKPILES ON THE DOWNGRADIENT PERIMETER. [MINN. R. 7090]

9.10 PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL BUFFERS OR SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER. [MINN. R. 7090]

9.11 PERMITTEES MUST INSTALL A VEHICLE TRACKING BMP TO MINIMIZE THE TRACK OUT OF SEDIMENT FROM THE CONSTRUCTION SITE OR ONTO PAVED ROADS WITHIN THE SITE. [MINN. R. 7090]

9.12 PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMPS ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING ONTO THE STREET. [MINN. R. 7090]

9.13 PERMITTEES MUST INSTALL TEMPORARY SEDIMENT BASINS AS REQUIRED IN SECTION 14. [MINN. R. 7090]

9.14 IN ANY AREAS OF THE SITE WHERE FINAL VEGETATIVE STABILIZATION WILL OCCUR, PERMITTEES MUST RESTRICT VEHICLE AND EQUIPMENT USE TO MINIMIZE SOIL COMPACTION. [MINN. R. 7090]

9.15 PERMITTEES MUST PRESERVE TOPSOIL ON THE SITE, UNLESS INFEASIBLE. [MINN. R. 7090]

9.16 PERMITTEES MUST DIRECT DISCHARGES FROM BMPS TO VEGETATED AREAS UNLESS INFEASIBLE. [MINN. R. 7090]

9.17 PERMITTEES MUST PRESERVE A 50 FOOT NATURAL BUFFER OR, IF A BUFFER IS INFEASIBLE ON THE SITE, PROVIDE REDUNDANT (DOUBLE) PERIMETER SEDIMENT CONTROLS WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECT'S EARTH DISTURBANCES AND STORMWATER FLOWS TO THE SURFACE WATER. PERMITTEES MUST INSTALL PERIMETER SEDIMENT CONTROLS AT LEAST 5 FEET APART UNLESS LIMITED BY LACK OF AVAILABLE SPACE. NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS. IF PRESERVING THE BUFFER IS INFEASIBLE, PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. SHEET PILING IS A REDUNDANT PERIMETER CONTROL IF INSTALLED IN A MANNER THAT RETAINS ALL STORMWATER. [MINN. R. 7090]

9.18 PERMITTEES MUST USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR SUPPLIER. THE PERMITTEES MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION AND MUST DIRECT TREATED STORMWATER TO A SEDIMENT CONTROL SYSTEM FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE. [MINN. R. 7090]

10.1 DEWATERING AND BASIN DRAINING. [MINN. R. 7090]

10.2 PERMITTEES MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENT BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. PERMITTEES MAY DEWATER TO SURFACE WATERS IF THEY VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF PERMITTEES CANNOT DISCHARGE THE WATER TO A SEDIMENTATION BASIN PRIOR TO ENTERING A SURFACE WATER, PERMITTEES MUST TREAT IT WITH APPROPRIATE BMPS SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE SURFACE WATER OR DOWNSTREAM PROPERTIES. [MINN. R. 7050.0210]

10.3 IF PERMITTEES MUST DISCHARGE WATER CONTAINING OIL OR GREASE, THEY MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENTS PADS) PRIOR TO DISCHARGE. [MINN. R. 7090]

10.4 PERMITTEES MUST DISCHARGE ALL WATER FROM DEWATERING OR BASIN-DRAINING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE EROSION OR SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS OR INUNDATION OF WETLANDS IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS THAT CAUSES SIGNIFICANT ADVERSE IMPACT TO THE WETLAND. [MINN. R. 7090]

10.5 IF PERMITTEES USE FILTERS WITH BACKWASH WATER, THEY MUST HAUL THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION. [MINN. R. 7090]

11.1 INSPECTIONS AND MAINTENANCE. [MINN. R. 7090]

11.2 PERMITTEES MUST ENSURE A TRAINED PERSON, AS IDENTIFIED IN ITEM 21.2.B, WILL INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/2 INCH IN 24 HOURS. [MINN. R. 7090]

11.3 PERMITTEES MUST INSPECT AND MAINTAIN ALL PERMANENT STORMWATER TREATMENT BMPS. [MINN. R. 7090]

11.4 PERMITTEES MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPS AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL NONFUNCTIONAL BMPS WITH FUNCTIONAL BMPS BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY UNLESS ANOTHER TIME FRAME IS SPECIFIED IN ITEM 11.5 OR 11.6. PERMITTEES MAY TAKE ADDITIONAL TIME IF FIELD CONDITIONS PREVENT ACCESS TO THE AREA. [MINN. R. 7090]

11.5 DURING EACH INSPECTION, PERMITTEES MUST INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS BUT NOT CURB AND GUTTER SYSTEMS, FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. PERMITTEES MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. PERMITTEES MUST COMPLETE REMOVAL AND STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. PERMITTEES MUST USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF OBTAINING ACCESS. PERMITTEES ARE RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS. [MINN. R. 7090]

11.6 PERMITTEES MUST INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS, STREETS AND CURB AND GUTTER SYSTEMS WITHIN AND ADJACENT TO THE PROJECT FOR SEDIMENTATION FROM EROSION OR TRACKED SEDIMENT FROM VEHICLES. PERMITTEES MUST REMOVE SEDIMENT FROM ALL PAVED SURFACES WITHIN ONE (1) CALENDAR DAY OF DISCOVERY OR, IF APPLICABLE, WITHIN A SHORTER TIME TO AVOID A SAFETY HAZARD TO USERS OF PUBLIC STREETS. [MINN. R. 7090]

11.7 PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE. [MINN. R. 7090]

11.8 PERMITTEES MUST DRAIN TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE THE SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME. [MINN. R. 7090]

11.9 PERMITTEES MUST ENSURE THAT AT LEAST ONE INDIVIDUAL PRESENT ON THE SITE (OR AVAILABLE TO THE PROJECT SITE IN THREE (3) CALENDAR DAYS) IS TRAINED IN THE JOB DUTIES DESCRIBED IN ITEM 21.2.B. [MINN. R. 7090]

11.10 PERMITTEES MAY ADJUST THE INSPECTION SCHEDULE DESCRIBED IN ITEM 11.2 AS FOLLOWS:

A. INSPECTIONS OF AREAS WITH PERMANENT COVER CAN BE REDUCED TO ONCE PER MONTH, EVEN IF CONSTRUCTION ACTIVITY CONTINUES ON OTHER PORTIONS OF THE SITE; OR

B. WHERE SITES HAVE PERMANENT COVER ON ALL EXPOSED SOIL AND NO CONSTRUCTION ACTIVITY IS OCCURRING ANYWHERE ON THE SITE, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH AND, AFTER 12 MONTHS, MAY BE SUSPENDED COMPLETELY UNTIL CONSTRUCTION ACTIVITY RESUMES. THE MPCA MAY REQUIRE INSPECTIONS TO RESUME IF CONDITIONS WARRANT; OR

C. WHERE CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, INSPECTIONS MAY BE SUSPENDED. INSPECTIONS MUST RESUME WITHIN 24 HOURS OF RUNOFF OCCURRING, OR UPON RESUMING CONSTRUCTION, WHICHEVER COMES FIRST. [MINN. R. 7090]

11.11 PERMITTEES MUST RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES WITHIN 24 HOURS OF BEING CONDUCTED AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP. THESE RECORDS MUST INCLUDE:

A. DATE AND TIME OF INSPECTIONS; AND

B. NAME OF PERSONS CONDUCTING INSPECTIONS; AND

C. ACCURATE FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED; AND

D. CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES); AND

E. DATE OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCHES IN 24 HOURS, AND THE AMOUNT OF RAINFALL FOR EACH EVENT. PERMITTEES MUST OBTAIN RAINFALL AMOUNTS BY EITHER A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ONSITE, A WEATHER STATION THAT IS WITHIN ONE (1) MILE OF YOUR LOCATION, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARIES; AND

F. IF PERMITTEES OBSERVE A DISCHARGE DURING THE INSPECTION, THEY MUST RECORD AND SHOULD PHOTOGRAPH AND DESCRIBE THE LOCATION OF THE DISCHARGE (I.E., COLOR, ODOR, SETTLED OR SUSPENDED SOLIDS, OIL SHEEN, AND OTHER OBVIOUS INDICATORS OF POLLUTANTS); AND

G. ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED IN SECTION 6 WITHIN SEVEN (7) CALENDAR DAYS. [MINN. R. 7090]

12.1 POLLUTION PREVENTION MANAGEMENT MEASURES. [MINN. R. 7090]

12.2 PERMITTEES MUST PLACE BUILDING PRODUCTS AND LANDSCAPE MATERIALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. PERMITTEES ARE NOT REQUIRED TO COVER OR PROTECT PRODUCTS WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED TO STORMWATER. [MINN. R. 7090]

12.3 PERMITTEES MUST PLACE PESTICIDES, FERTILIZERS AND TREATMENT CHEMICALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. [MINN. R. 7090]

12.4 PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, (INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE. [MINN. R. 7090]

12.5 PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN. R. CH. 7035. [MINN. R. 7035]

12.6 PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER. PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041. [MINN. R. 7041]

12.7 PERMITTEES MUST TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED INCLUDING THE USE OF DRIP PANS OR ABSORBENTS UNLESS INFEASIBLE. PERMITTEES MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. PERMITTEES MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. 115.061, USING DRY CLEAN UP MEASURES WHERE POSSIBLE. [MINN. STAT. 115.061]

12.8 PERMITTEES MUST LIMIT VEHICLE EXTERIOR WASHING AND EQUIPMENT TO A DEFINED AREA OF THE SITE. PERMITTEES MUST CONTAIN RUNOFF FROM THE WASHING AREA IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND MUST DISPOSE WASTE FROM THE WASHING ACTIVITY PROPERLY. PERMITTEES MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS. [MINN. R. 7090]

12.9 PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. PERMITTEES MUST PROPERLY DISPOSE LIQUID AND SOLID WASTES IN COMPLIANCE WITH MPCA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY. [MINN. R. 7035, MINN. R. 7090]

13.1 PERMIT TERMINATION CONDITIONS. [MINN. R. 7090]

13.2 PERMITTEES MUST COMPLETE ALL CONSTRUCTION ACTIVITY AND MUST INSTALL PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOT. VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR THE BASE OF A SAND FILTER. [MINN. R. 7090]

13.3 PERMITTEES MUST CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEM OF ANY ACCUMULATED SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS IN SECTION 15 THROUGH 19 AND IS OPERATING AS DESIGNED. [MINN. R. 7090]

13.4 PERMITTEES MUST REMOVE ALL SEDIMENT FROM CONVEYANCE SYSTEMS PRIOR TO SUBMITTING THE NOT. [MINN. R. 7090]

13.5 PERMITTEES MUST REMOVE ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPS PRIOR TO SUBMITTING THE NOT. PERMITTEES MAY LEAVE BMPS DESIGNED TO DECOMPOSE ON-SITE IN PLACE. [MINN. R. 7090]

13.6 FOR RESIDENTIAL CONSTRUCTION ONLY, PERMIT COVERAGE TERMINATES ON INDIVIDUAL LOTS IF THE STRUCTURES ARE FINISHED AND TEMPORARY EROSION PREVENTION AND DOWNGRADIENT PERIMETER CONTROL IS COMPLETE, THE RESIDENCE SELLS TO THE HOMEOWNER, AND THE PERMITTEE DISTRIBUTES THE MPCA'S "HOMEOWNER FACT SHEET" TO THE HOMEOWNER. [MINN. R. 7090]

13.7 FOR CONSTRUCTION PROJECTS ON AGRICULTURAL LAND (E.G., PIPELINES ACROSS CROPLAND), PERMITTEES MUST RETURN THE DISTURBED LAND TO ITS PRECONSTRUCTION AGRICULTURAL USE PRIOR TO SUBMITTING THE NOT. [MINN. R. 7090]

14.1 TEMPORARY SEDIMENT BASINS. [MINN. R. 7090]

14.2 WHERE TEN (10) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, PERMITTEES MUST PROVIDE A TEMPORARY SEDIMENT BASIN TO PROVIDE TREATMENT OF THE RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTERS SURFACE WATERS. PERMITTEES MAY CONVERT A TEMPORARY SEDIMENT BASIN TO A PERMANENT BASIN AFTER CONSTRUCTION IS COMPLETE. THE TEMPORARY BASIN IS NO LONGER REQUIRED WHEN PERMANENT COVER HAS REDUCED THE ACREAGE OF DISTURBED SOIL TO LESS THAN TEN (10) ACRES DRAINING TO A COMMON LOCATION. [MINN. R. 7090]

14.3 THE TEMPORARY BASIN MUST PROVIDE LIVE STORAGE FOR A CALCULATED VOLUME OF RUNOFF FROM A TWO (2)-YEAR, 24-HOUR STORM FROM EACH ACRE DRAINED TO THE BASIN OR 1,800 CUBIC FEET OF LIVE STORAGE PER ACRE DRAINED, WHICHEVER IS GREATER. [MINN. R. 7090]

14.4 WHERE PERMITTEES HAVE NOT CALCULATED THE TWO (2)-YEAR, 24-HOUR STORM RUNOFF AMOUNT, THE TEMPORARY BASIN MUST PROVIDE 3,600 CUBIC FEET OF LIVE STORAGE PER ACRE OF THE BASINS' DRAINAGE AREA. [MINN. R. 7090]

14.5 PERMITTEES MUST DESIGN BASIN OUTLETS TO PREVENT SHORT-CIRCUITING AND THE DISCHARGE OF FLOATING DEBRIS. [MINN. R. 7090]

14.6 PERMITTEES MUST DESIGN THE OUTLET STRUCTURE TO WITHDRAW WATER FROM THE SURFACE TO MINIMIZE THE DISCHARGE OF POLLUTANTS. PERMITTEES MAY TEMPORARILY SUSPEND THE USE OF A SURFACE WITHDRAWAL MECHANISM DURING FROZEN CONDITIONS. THE BASIN MUST INCLUDE A STABILIZED EMERGENCY OVERFLOW TO PREVENT FAILURE OF POND INTEGRITY. [MINN. R. 7090]

14.7 PERMITTEES MUST PROVIDE ENERGY DISSIPATION FOR THE BASIN OUTLET WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER. [MINN. R. 7090]

14.8 PERMITTEES MUST LOCATE TEMPORARY BASINS OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONE REQUIRED IN ITEM 23.11. [MINN. R. 7090]

14.9 PERMITTEES MUST CONSTRUCT THE TEMPORARY BASINS PRIOR TO DISTURBING 10 OR MORE ACRES OF SOIL DRAINING TO A COMMON LOCATION. [MINN. R. 7090]

14.10 WHERE A TEMPORARY SEDIMENT BASIN MEETING THE REQUIREMENTS OF ITEM 14.3 THROUGH 14.9 IS INFEASIBLE, PERMITTEES MUST INSTALL EFFECTIVE SEDIMENT CONTROLS SUCH AS SMALLER SEDIMENT BASINS AND/OR SEDIMENT TRAPS, SILT FENCES, VEGETATIVE BUFFER STRIPS OR ANY APPROPRIATE COMBINATION OF MEASURES AS DICTATED BY INDIVIDUAL SITE CONDITIONS. IN DETERMINING WHETHER INSTALLING A SEDIMENT BASIN IS INFEASIBLE, PERMITTEES MUST CONSIDER PUBLIC SAFETY AND MAY CONSIDER FACTORS SUCH AS SITE SOILS, SLOPE, AND AVAILABLE AREA ON-SITE, PERMITTEES MUST DOCUMENT THIS DETERMINATION OF INFEASIBILITY IN THE SWPPP. [MINN. R. 7090]

15.1 PERMANENT STORMWATER TREATMENT SYSTEM. [MINN. R. 7090]

15.2 PERMITTEES MUST DESIGN THE PROJECT SO ALL STORMWATER DISCHARGED FROM THE PROJECT DURING AND AFTER CONSTRUCTION ACTIVITIES DOES NOT CAUSE A VIOLATION OF STATE WATER QUALITY STANDARDS, INCLUDING NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS OR ON DOWNSLOPE PROPERTIES, OR A SIGNIFICANT ADVERSE IMPACT TO WETLANDS CAUSED BY INUNDATION OR DECREASE OF FLOW. [MINN. R. 7090]

15.3 PERMITTEES MUST DESIGN AND CONSTRUCT A PERMANENT STORMWATER TREATMENT SYSTEM TO TREAT THE WATER QUALITY VOLUME IF THE PROJECT'S ULTIMATE DEVELOPMENT REPLACES VEGETATION AND/OR OTHER PERVIOUS SURFACES CREATING A NET INCREASE OF ONE (1) OR MORE ACRES OF CUMULATIVE IMPERVIOUS SURFACE. [MINN. R. 7090]

15.4 PERMITTEES MUST CALCULATE THE WATER QUALITY VOLUME AS ONE (1) INCH TIMES THE NET INCREASE OF IMPERVIOUS SURFACES CREATED BY THE PROJECT. [MINN. R. 7090]

15.5 PERMITTEES MUST FIRST CONSIDER VOLUME REDUCTION PRACTICES ON-SITE (E.G., INFILTRATION OR OTHER) WHEN DESIGNING THE PERMANENT STORMWATER TREATMENT SYSTEM. IF THIS PERMIT PROHIBITS INFILTRATION AS DESCRIBED IN ITEM 16.14 THROUGH ITEM 16.21, PERMITTEES MAY CONSIDER A WET SEDIMENTATION BASIN, FILTRATION BASIN OR REGIONAL POND. THIS PERMIT DOES NOT CONSIDER WET SEDIMENTATION BASINS AND FILTRATION SYSTEMS TO BE VOLUME REDUCTION PRACTICES. [MINN. R. 7090]

15.6 FOR PROJECTS WHERE THE FULL VOLUME REDUCTION REQUIREMENT CANNOT BE MET ON-SITE, (E.G., THE SITE HAS INFILTRATION PROHIBITIONS), PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. [MINN. R. 7090]

15.7 PERMITTEES MUST DISCHARGE THE WATER QUALITY VOLUME TO A PERMANENT STORMWATER TREATMENT SYSTEM PRIOR TO DISCHARGE TO A SURFACE WATER. FOR PURPOSES OF THIS ITEM, SURFACE WATERS DO NOT INCLUDE MAN-MADE DRAINAGE SYSTEMS THAT CONVEY STORMWATER TO A PERMANENT STORMWATER TREATMENT SYSTEM. [MINN. R. 7090]

15.8 WHERE THE PROXIMITY TO BEDROCK PRECLUDES THE INSTALLATION OF ANY OF THE PERMANENT STORMWATER TREATMENT PRACTICES REQUIRED BY SECTIONS 15 THROUGH 19, PERMITTEES MUST INSTALL OTHER TREATMENT SUCH AS GRASSED SWALES, SMALLER PONDS, OR GRIT CHAMBERS, PRIOR TO THE DISCHARGE OF STORMWATER TO SURFACE WATERS. [MINN. R. 7090]

15.9 FOR LINEAR PROJECTS WHERE PERMITTEES CANNOT TREAT THE ENTIRE WATER QUALITY VOLUME WITHIN THE EXISTING RIGHTOF-WAY, PERMITTEES MUST MAKE A REASONABLE ATTEMPT TO OBTAIN ADDITIONAL RIGHT-OF-WAY, EASEMENT OR OTHER PERMISSION FOR STORMWATER TREATMENT DURING THE PROJECT PLANNING PROCESS. DOCUMENTATION OF THESE ATTEMPTS MUST BE IN THE SWPPP. PERMITTEES MUST STILL CONSIDER VOLUME REDUCTION PRACTICES FIRST AS DESCRIBED IN ITEM 15.5. IF PERMITTEES CANNOT OBTAIN ADDITIONAL RIGHT-OF-WAY, EASEMENT OR OTHER PERMISSION, THEY MUST MAXIMIZE THE TREATMENT OF THE WATER QUALITY VOLUME PRIOR TO DISCHARGE TO SURFACE WATERS. [MINN. R. 7090]

16.1 INFILTRATION SYSTEMS. [MINN. R. 7090]

16.2 INFILTRATION OPTIONS INCLUDE, BUT ARE NOT LIMITED TO: INFILTRATION BASINS, INFILTRATION TRENCHES, RAINWATER GARDENS, BIORETENTION AREAS WITHOUT UNDERDRAINS, SWALES WITH IMPERMEABLE CHECK DAMS, AND NATURAL DEPRESSIONS. IF PERMITTEES UTILIZE AN INFILTRATION SYSTEM TO MEET THE REQUIREMENTS OF THIS PERMIT, THEY MUST INCORPORATE THE DESIGN PARAMETERS IN ITEM 16.3 THROUGH ITEM 16.21. PERMITTEES MUST FOLLOW THE INFILTRATION PROHIBITION IN ITEM 16.14 ANYTIME AN INFILTRATION SYSTEM IS DESIGNED, INCLUDING THOSE NOT REQUIRED BY THIS PERMIT. [MINN. R. 7090]

16.3 PERMITTEES MUST DESIGN INFILTRATION SYSTEMS SUCH THAT PRE-EXISTING HYDROLOGIC CONDITIONS OF WETLANDS IN THE VICINITY ARE NOT IMPACTED (E.G., INUNDATION OR BREACHING A PERCHED WATER TABLE SUPPORTING A WETLAND). [MINN. R. 7090]

16.4 PERMITTEES MUST NOT EXCAVATE INFILTRATION SYSTEMS TO FINAL GRADE, OR WITHIN THREE (3) FEET OF FINAL GRADE, UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED UNLESS THEY PROVIDE RIGOROUS EROSION PREVENTION AND SEDIMENT CONTROLS (E.G., DIVERSION BERMS) TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE INFILTRATION AREA. [MINN. R. 7090]

16.5 WHEN EXCAVATING AN INFILTRATION SYSTEM TO WITHIN THREE (3) FEET OF FINAL GRADE, PERMITTEES MUST STAKE OFF AND MARK THE AREA SO HEAVY CONSTRUCTION VEHICLES OR EQUIPMENT DO NOT COMPACT THE SOIL IN THE INFILTRATION AREA. [MINN. R. 7090]

16.6 PERMITTEES MUST USE A PRETREATMENT DEVICE SUCH AS A VEGETATED FILTER STRIP, FOREBAY, OR WATER QUALITY INLET (E.G., GRIT CHAMBER) TO REMOVE SOLIDS, FLOATING MATERIALS, AND OIL AND GREASE FROM THE RUNOFF, TO THE MAXIMUM EXTENT PRACTICABLE, BEFORE THE SYSTEM ROUTES STORMWATER TO THE INFILTRATION SYSTEM. [MINN. R. 7090]

16.7 PERMITTEES MUST DESIGN INFILTRATION SYSTEMS TO PROVIDE A WATER QUALITY VOLUME (CALCULATED AS AN INSTANTANEOUS VOLUME) OF ONE (1) INCH OF RUNOFF, OR ONE (1) INCH MINUS THE VOLUME OF STORMWATER TREATED BY ANOTHER SYSTEM ON THE SITE, FROM THE NET INCREASE OF IMPERVIOUS SURFACES CREATED BY THE PROJECT. [MINN. R. 7090]

16.8 PERMITTEES MUST DESIGN THE INFILTRATION SYSTEM TO DISCHARGE ALL STORMWATER (INCLUDING STORMWATER IN EXCESS OF THE WATER QUALITY VOLUME) ROUTED TO THE SYSTEM THROUGH THE UPPERMOST SOIL SURFACE OR ENGINEERED MEDIA SURFACE WITHIN 48 HOURS. PERMITTEES MUST ROUTE ADDITIONAL FLOWS THAT CANNOT INFILTRATE WITHIN 48 HOURS TO BYPASS THE SYSTEM THROUGH A STABILIZED DISCHARGE POINT. [MINN. R. 7090]

16.9 PERMITTEES MUST PROVIDE A MEANS TO VISUALLY VERIFY THE INFILTRATION SYSTEM IS DISCHARGING THROUGH THE SOIL SURFACE OR FILTER MEDIA SURFACE WITHIN 48 HOURS OR LESS. [MINN. R. 7090]

16.10 PERMITTEES MUST PROVIDE AT LEAST ONE SOIL BORING, TEST PIT OR INFILTROMETER TEST IN THE LOCATION OF THE INFILTRATION PRACTICE FOR DETERMINING INFILTRATION RATES. [MINN. R. 7090]

16.11 FOR DESIGN PURPOSES, PERMITTEES MUST DIVIDE FIELD MEASURED INFILTRATION RATES BY 2 AS A SAFETY FACTOR OR PERMITTEES CAN USE SOIL-BORING RESULTS WITH THE INFILTRATION RATE CHART IN THE MINNESOTA STORMWATER MANUAL TO DETERMINE DESIGN INFILTRATION RATES. WHEN SOIL BORINGS INDICATE TYPE A SOILS, PERMITTEES SHOULD PERFORM FIELD MEASUREMENTS TO VERIFY THE RATE IS NOT ABOVE 8.3 INCHES PER HOUR. THIS PERMIT PROHIBITS INFILTRATION IF THE FIELD MEASURED INFILTRATION RATE IS ABOVE 8.3 INCHES PER HOUR. [MINN. R. 7090]

16.12 PERMITTEES MUST EMPLOY APPROPRIATE ON-SITE TESTING ENSURE A MINIMUM OF THREE (3) FEET OF SEPARATION FROM THE SEASONALLY SATURATED SOILS (OR FROM BEDROCK) AND THE BOTTOM OF THE PROPOSED INFILTRATION SYSTEM. [MINN. R. 7090]

16.13 PERMITTEES MUST DESIGN A MAINTENANCE ACCESS, TYPICALLY EIGHT (8) FEET WIDE, FOR THE INFILTRATION SYSTEM. [MINN. R. 7090]

16.14 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS THAT RECEIVE RUNOFF FROM VEHICLE FUELING AND MAINTENANCE AREAS INCLUDING CONSTRUCTION OF INFILTRATION SYSTEMS NOT REQUIRED BY THIS PERMIT. [MINN. R. 7090]

16.15 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS WHERE INFILTRATING STORMWATER MAY MOBILIZE HIGH LEVELS OF CONTAMINANTS IN SOIL OR GROUNDWATER. PERMITTEES MUST EITHER COMPLETE THE MPCA'S CONTAMINATION SCREENING CHECKLIST OR CONDUCT THEIR OWN ASSESSMENT TO DETERMINE THE SUITABILITY FOR INFILTRATION. PERMITTEES MUST RETAIN THE CHECKLIST OR ASSESSMENT WITH THE SWPPP. FOR MORE INFORMATION AND TO ACCESS THE MPCA'S "CONTAMINATION SCREENING CHECKLIST" SEE THE MINNESOTA STORMWATER MANUAL. [MINN. R. 7090]

16.16 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS WHERE SOIL INFILTRATION RATES ARE FIELD MEASURED AT MORE THAN 8.3 INCHES PER HOUR UNLESS THEY AMEND SOILS TO SLOW THE INFILTRATION RATE BELOW 8.3 INCHES PER HOUR. [MINN. R. 7090]

16.17 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS WITH LESS THAN THREE (3) FEET OF SEPARATION DISTANCE FROM THE BOTTOM OF THE INFILTRATION SYSTEM TO THE ELEVATION OF THE SEASONALLY SATURATED SOILS OR THE TOP OF BEDROCK. [MINN. R. 7090]

16.18 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS OF PREDOMINATELY HYDROLOGIC SOIL GROUP TYPE D SOILS (CLAY). [MINN. R. 7090]

16.19 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS WITHIN A DRINKING WATER SUPPLY MANAGEMENT AREA (DWSMA) AS DEFINED IN MINN. R. 4720.5100, SUBP. 13, IF THE SYSTEM WILL BE LOCATED:

A. IN AN EMERGENCY RESPONSE AREA (ERA) WITHIN A DWSMA CLASSIFIED AS HAVING HIGH OR VERY HIGH VULNERABILITY AS DEFINED BY THE MINNESOTA DEPARTMENT OF HEALTH; OR

B. IN AN ERA WITHIN A DWSMA CLASSIFIED AS MODERATE VULNERABILITY UNLESS A REGULATED MS4 PERMITTEE PERFORMED OR APPROVED A HIGHER LEVEL OF ENGINEERING REVIEW SUFFICIENT TO PROVIDE A FUNCTIONING TREATMENT SYSTEM AND TO PREVENT ADVERSE IMPACTS TO GROUNDWATER; OR

C. OUTSIDE OF AN ERA WITHIN A DWSMA CLASSIFIED AS HAVING HIGH OR VERY HIGH VULNERABILITY, UNLESS A REGULATED MS4 PERMITTEE PERFORMED OR APPROVED A HIGHER LEVEL OF ENGINEERING REVIEW SUFFICIENT TO PROVIDE A FUNCTIONING TREATMENT SYSTEM AND TO PREVENT ADVERSE IMPACTS TO GROUNDWATER.

SEE "HIGHER LEVEL OF ENGINEERING REVIEW" IN THE MINNESOTA STORMWATER MANUAL FOR MORE INFORMATION. [MINN. R. 7090]

16.20 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS WITHIN 1,000 FEET UPGRADIENT OR 100 FEET DOWNGRADIENT OF ACTIVE KARST FEATURES. [MINN. R. 7090]

16.21 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS THAT RECEIVE RUNOFF FROM THE FOLLOWING INDUSTRIAL FACILITIES NOT AUTHORIZED TO INFILTRATE STORMWATER UNDER THE NPDES STORMWATER PERMIT FOR INDUSTRIAL ACTIVITIES: AUTOMOBILE SALVAGE YARDS; SCRAP RECYCLING AND WASTE RECYCLING FACILITIES; HAZARDOUS WASTE TREATMENT, STORAGE, OR DISPOSAL FACILITIES; OR AIR TRANSPORTATION FACILITIES THAT CONDUCT DEICING ACTIVITIES. [MINN. R. 7090]

17.1 FILTRATION SYSTEMS. [MINN. R. 7090]

17.2 FILTRATION OPTIONS INCLUDE, BUT ARE NOT LIMITED TO: SAND FILTERS WITH UNDERDRAINS, BIOFILTRATION AREAS, SWALES USING UNDERDRAINS WITH IMPERMEABLE CHECK DAMS AND UNDERGROUND SAND FILTERS. IF PERMITTEES UTILIZE A FILTRATION SYSTEM TO MEET THE PERMANENT STORMWATER TREATMENT REQUIREMENTS OF THIS PERMIT, THEY MUST COMPLY WITH ITEMS 17.3 THROUGH 17.11. [MINN. R. 7090]

17.3 PERMITTEES MUST NOT INSTALL FILTER MEDIA UNTIL THEY CONSTRUCT AND FULLY STABILIZE THE CONTRIBUTING DRAINAGE AREA UNLESS THEY PROVIDE RIGOROUS EROSION PREVENTION AND SEDIMENT CONTROLS (E.G., DIVERSION BERMS) TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE FILTRATION AREA. [MINN. R. 7090]

17.4 PERMITTEES MUST DESIGN FILTRATION SYSTEMS TO REMOVE AT LEAST 80 PERCENT OF TSS. [MINN. R. 7090]

17.5 PERMITTEES MUST USE A PRETREATMENT DEVICE SUCH AS A VEGETATED FILTER STRIP, SMALL SEDIMENTATION BASIN, WATER QUALITY INLET, FOREBAY OR HYDRODYNAMIC SEPARATOR TO REMOVE SETTLEABLE SOLIDS, FLOATING MATERIALS, AND OILS AND GREASE FROM THE RUNOFF, TO THE MAXIMUM EXTENT PRACTICABLE, BEFORE RUNOFF ENTERS THE FILTRATION SYSTEM. [MINN. R. 7090]

17.6 PERMITTEES MUST DESIGN FILTRATION SYSTEMS TO TREAT A WATER QUALITY VOLUME (CALCULATED AS AN INSTANTANEOUS VOLUME) OF ONE (1) INCH OF RUNOFF, OR ONE (1) INCH MINUS THE VOLUME OF STORMWATER TREATED BY ANOTHER SYSTEM ON THE SITE, FROM THE NET INCREASE OF IMPERVIOUS SURFACES CREATED BY THE PROJECT. [MINN. R. 7090]

17.7 PERMITTEES MUST DESIGN THE FILTRATION SYSTEM TO DISCHARGE ALL STORMWATER (INCLUDING STORMWATER IN EXCESS OF THE WATER QUALITY VOLUME) ROUTED TO THE SYSTEM THROUGH THE UPPERMOST SOIL SURFACE OR ENGINEERED MEDIA SURFACE WITHIN 48 HOURS. ADDITIONAL FLOWS THAT THE SYSTEM CANNOT FILTER WITHIN 48 HOURS MUST BYPASS THE SYSTEM OR DISCHARGE THROUGH AN EMERGENCY OVERFLOW. [MINN. R. 7090]

17.8 PERMITTEES MUST DESIGN THE FILTRATION SYSTEM TO PROVIDE A MEANS TO VISUALLY VERIFY THE SYSTEM IS DISCHARGING THROUGH THE SOIL SURFACE OR FILTER MEDIA WITHIN 48 HOURS. [MINN. R. 7090]

17.9 PERMITTEES MUST EMPLOY APPROPRIATE ON-SITE TESTING TO ENSURE A MINIMUM OF THREE (3) FEET OF SEPARATION BETWEEN THE SEASONALLY SATURATED SOILS (OR FROM BEDROCK) AND THE BOTTOM OF THE PROPOSED FILTRATION SYSTEM. [MINN. R. 7090]

17.10 PERMITTEES MUST ENSURE THAT FILTRATION SYSTEMS WITH LESS THAN THREE (3) FEET OF SEPARATION BETWEEN SEASONALLY SATURATED SOILS OR FROM BEDROCK ARE CONSTRUCTED WITH AN IMPERMEABLE LINER. [MINN. R. 7090]

17.11 THE PERMITTEES MUST DESIGN A MAINTENANCE ACCESS, TYPICALLY EIGHT (8) FEET WIDE, FOR THE FILTRATION SYSTEM. [MINN. R. 7090]

18.1 WET SEDIMENTATION BASIN. [MINN. R. 7090]

18.2 PERMITTEES USING A WET SEDIMENTATION BASIN TO MEET THE PERMANENT STORMWATER TREATMENT REQUIREMENTS OF THIS PERMIT MUST INCORPORATE THE DESIGN PARAMETERS IN ITEM 18.3 THROUGH 18.10. [MINN. R. 7090]

18.3 PERMITTEES MUST DESIGN THE BASIN TO HAVE A PERMANENT VOLUME OF 1,800 CUBIC FEET OF STORAGE BELOW THE OUTLET PIPE FOR EACH ACRE THAT DRAINS TO THE BASIN. THE BASIN'S PERMANENT VOLUME MUST REACH A MINIMUM DEPTH OF AT LEAST THREE (3) FEET AND MUST HAVE NO DEPTH GREATER THAN 10 FEET. PERMITTEES MUST CONFIGURE THE BASIN TO MINIMIZE SCOUR OR RESUSPENSION OF SOLIDS. [MINN. R. 7090]

18.4 PERMITTEES MUST DESIGN THE BASIN TO PROVIDE LIVE STORAGE FOR A WATER QUALITY VOLUME (CALCULATED AS AN INSTANTANEOUS VOLUME) OF ONE (1) INCH OF RUNOFF, OR ONE (1) INCH MINUS THE VOLUME OF STORMWATER TREATED BY ANOTHER SYSTEM ON THE SITE, FROM THE NET INCREASE OF IMPERVIOUS SURFACES CREATED BY THE PROJECT. [MINN. R. 7090]

18.5 PERMITTEES MUST DESIGN BASIN OUTLETS SO THE WATER QUALITY VOLUME DISCHARGES AT NO MORE THAN 5.66 CUBIC FEET PER SECOND (CFS) PER ACRE OF SURFACE AREA OF THE BASIN. [MINN. R. 7090]

18.6 PERMITTEES MUST DESIGN BASIN OUTLETS TO PREVENT SHORT-CIRCUITING AND THE DISCHARGE OF FLOATING DEBRIS. BASIN OUTLETS MUST HAVE ENERGY DISSIPATION. [MINN. R. 7090]

18.7 PERMITTEES MUST DESIGN THE BASIN TO INCLUDE A STABILIZED EMERGENCY OVERFLOW TO ACCOMMODATE STORM EVENTS IN EXCESS OF THE BASIN'S HYDRAULIC DESIGN. [MINN. R. 7090]

18.8 PERMITTEES MUST DESIGN A MAINTENANCE ACCESS, TYPICALLY EIGHT (8) FEET WIDE, FOR THE BASIN. [MINN. R. 7090]

18.9 PERMITTEES MUST LOCATE BASINS OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONE REQUIRED IN ITEM 23.11. PERMITTEES MUST DESIGN BASINS TO AVOID DRAINING WATER FROM WETLANDS UNLESS THE IMPACT TO THE WETLAND COMPLIES WITH THE REQUIREMENTS OF SECTION 22. [MINN. R. 7090]

18.10 PERMITTEES MUST DESIGN BASINS USING AN IMPERMEABLE LINER IF LOCATED WITHIN ACTIVE KARST TERRAIN. [MINN. R. 7090]

19.1 REGIONAL WET SEDIMENTATION BASINS. [MINN. R. 7090]

19.2 WHEN THE ENTIRE WATER QUALITY VOLUME CANNOT BE RETAINED ONSITE, PERMITTEES CAN USE OR CREATE REGIONAL WET SEDIMENTATION BASINS PROVIDED THEY ARE CONSTRUCTED BASINS, NOT A NATURAL WETLAND OR WATER BODY, (WETLANDS USED AS REGIONAL BASINS MUST BE MITIGATED FOR, SEE SECTION 22). THE OWNER MUST ENSURE THE REGIONAL BASIN CONFORMS TO ALL REQUIREMENTS FOR A WET SEDIMENTATION BASIN AS DESCRIBED IN ITEMS 18.3 THROUGH 18.10 AND MUST BE LARGE ENOUGH TO ACCOUNT FOR THE ENTIRE AREA THAT DRAINS TO THE REGIONAL BASIN. PERMITTEES MUST VERIFY THAT THE REGIONAL BASIN WILL DISCHARGE AT NO MORE THAN 5.66 CFS PER ACRE OF SURFACE AREA OF THE BASIN AND MUST PROVIDE A LIVE STORAGE VOLUME OF ONE INCH TIMES ALL THE IMPERVIOUS AREA DRAINING TO THE BASIN. PERMITTEES CANNOT SIGNIFICANTLY DEGRADE WATERWAYS BETWEEN THE PROJECT AND THE REGIONAL BASIN. THE OWNER MUST OBTAIN WRITTEN AUTHORIZATION FROM THE APPLICABLE LGU OR PRIVATE ENTITY THAT OWNS AND MAINTAINS THE REGIONAL BASIN. [MINN. R. 7090]

20.1 SWPPP AVAILABILITY. [MINN. R. 7090]

20.2 PERMITTEES MUST KEEP THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS AT THE SITE DURING NORMAL WORKING HOURS BY PERMITTEES WHO HAVE OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. [MINN. R. 7090]

21.1 TRAINING REQUIREMENTS. [MINN. R. 7090]

21.2 PERMITTEES MUST ENSURE ALL OF THE FOLLOWING INDIVIDUALS RECEIVE TRAINING AND THE CONTENT AND EXTENT OF THE TRAINING IS COMMENSURATE WITH THE INDIVIDUAL'S JOB DUTIES AND RESPONSIBILITIES WITH REGARD TO ACTIVITIES COVERED UNDER THIS PERMIT:

A. INDIVIDUALS PREPARING THE SWPPP FOR THE PROJECT.

B. INDIVIDUALS OVERSEEING IMPLEMENTATION OF, REVISING AND/OR AMENDING THE SWPPP AND INDIVIDUALS PERFORMING INSPECTIONS FOR THE PROJECT. ONE OF THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA.

C. INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS. [MINN. R. 7090]

21.3 PERMITTEES MUST ENSURE INDIVIDUALS IDENTIFIED IN SECTION 21 RECEIVE TRAINING FROM LOCAL, STATE, FEDERAL AGENCIES, PROFESSIONAL ORGANIZATIONS, OR OTHER ENTITIES WITH EXPERTISE IN EROSION PREVENTION, SEDIMENT CONTROL, PERMANENT STORMWATER TREATMENT AND THE MINNESOTA NPDES/SDS CONSTRUCTION STORMWATER PERMIT. PERMITTEES MUST ENSURE THESE INDIVIDUALS ATTEND A REFRESHER-TRAINING COURSE EVERY THREE (3) YEARS. [MINN. R. 7090]

24.1 GENERAL PROVISIONS. [MINN. R. 7090]

24.2 IF THE MPCA DETERMINES THAT AN INDIVIDUAL PERMIT WOULD MORE APPROPRIATELY REGULATE THE CONSTRUCTION ACTIVITY, THE MPCA MAY REQUIRE AN INDIVIDUAL PERMIT TO CONTINUE THE CONSTRUCTION ACTIVITY. COVERAGE UNDER THIS GENERAL PERMIT WILL REMAIN IN EFFECT UNTIL THE MPCA ISSUES AN INDIVIDUAL PERMIT. [MINN. R. 7001.0210, SUBP. 6]

24.3 IF THE PERMITTEE CANNOT MEET THE TERMS AND CONDITIONS OF THIS GENERAL PERMIT, AN OWNER MAY REQUEST AN INDIVIDUAL PERMIT, IN ACCORDANCE WITH MINN. R. 7001.0210 SUBP. 6. [MINN. R. 7001.0210, SUBP. 6]

24.4 ANY INTERESTED PERSON MAY PETITION THE MPCA TO REQUIRE AN INDIVIDUAL NPDES/SDS PERMIT IN ACCORDANCE WITH 40 CFR 122.28(B)(3). [40 CFR 122.28(B)(3)]

24.5 PERMITTEES MUST MAKE THE SWPPP, INCLUDING ALL INSPECTION REPORTS, MAINTENANCE RECORDS, TRAINING RECORDS AND OTHER INFORMATION REQUIRED BY THIS PERMIT, AVAILABLE TO FEDERAL, STATE, AND LOCAL OFFICIALS WITHIN THREE (3) DAYS UPON REQUEST FOR THE DURATION OF THE PERMIT AND FOR THREE (3) YEARS FOLLOWING THE NOT. [MINN. R. 7090]

24.6 PERMITTEES MAY NOT ASSIGN OR TRANSFER THIS PERMIT EXCEPT WHEN THE TRANSFER OCCURS IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF ITEM 3.7 AND 3.8. [MINN. R. 7090]

24.7 NOTHING IN THIS PERMIT MUST BE CONSTRUED TO RELIEVE THE PERMITTEES FROM CIVIL OR CRIMINAL PENALTIES FOR NONCOMPLIANCE WITH THE TERMS AND CONDITIONS PROVIDED HEREIN. NOTHING IN THIS PERMIT MUST BE CONSTRUED TO PRECLUDE THE INITIATION OF ANY LEGAL ACTION OR RELIEVE THE PERMITTEES FROM ANY RESPONSIBILITIES, LIABILITIES, OR PENALTIES TO WHICH THE PERMITTEES IS/ARE OR MAY BE SUBJECT TO UNDER SECTION 311 OF THE CLEAN WATER ACT AND MINN. STAT. SECT. 115 AND 116, AS AMENDED. PERMITTEES ARE NOT LIABLE FOR PERMIT REQUIREMENTS FOR ACTIVITIES OCCURRING ON THOSE PORTIONS OF A SITE WHERE THE PERMIT HAS BEEN TRANSFERRED TO ANOTHER PARTY AS REQUIRED IN ITEM 3.7 OR THE PERMITTEES HAVE SUBMITTED THE NOT AS REQUIRED IN SECTION 4. [MINN. R. 7090]

24.8 THE PROVISIONS OF THIS PERMIT ARE SEVERABLE. IF ANY PROVISION OF THIS PERMIT OR THE APPLICATION OF ANY PROVISION OF THIS PERMIT TO ANY CIRCUMSTANCES IS HELD INVALID, THE APPLICATION OF SUCH PROVISION TO OTHER CIRCUMSTANCES, AND THE REMAINDER OF THIS PERMIT MUST NOT BE AFFECTED THEREBY. [MINN. R. 7090]

24.9 THE PERMITTEES MUST COMPLY WITH THE PROVISIONS OF MINN. R. 7001.0150, SUBP. 3 AND MINN. R. 7001.1090, SUBP. 1(A), 1(B), 1(C), 1(H), 1(I), 1(J), 1(K), AND 1(L). [MINN. R. 7090]

24.10 THE PERMITTEES MUST ALLOW ACCESS AS PROVIDED IN 40 CFR 122.41(I) AND MINN. STAT. SECT. 115.04. THE PERMITTEES MUST ALLOW REPRESENTATIVES OF THE MPCA OR ANY MEMBER, EMPLOYEE OR AGENT THEREOF, WHEN AUTHORIZED BY IT, UPON PRESENTATION OF CREDENTIALS, TO ENTER UPON ANY PROPERTY, PUBLIC OR PRIVATE, FOR THE PURPOSE OF OBTAINING INFORMATION OR EXAMINATION OF RECORDS OR CONDUCTING SURVEYS OR INVESTIGATIONS. [40 CFR 122.41(I)]

24.11 FOR THE PURPOSES OF MINN. R. 7090 AND OTHER DOCUMENTS THAT REFERENCE SPECIFIC SECTIONS OF THIS PERMIT, "STORMWATER DISCHARGE DESIGN REQUIREMENTS" CORRESPONDS TO SECTIONS 5, 6 AND 14 THROUGH 21; "CONSTRUCTION ACTIVITY REQUIREMENTS" CORRESPONDS TO SECTIONS 7 THROUGH 13; AND "APPENDIX A" CORRESPONDS TO SECTIONS 22 AND 23. [MINN. R. 7090]

SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701

DRAWN BY: MOA	CHECK BY: OHA
JOB NO: 24-2181	DATE: 06-24-25

NO.	DATE	DESCRIPTION
1		
2		
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I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

OASEM M. ABUGHAZALEH

DATE: 10 02 2025 LIC NO. 56259

DERCON CONSTRUCTION COMMERCIAL BUILDING

STORM WATER POLLUTION PREVENTION PROGRAM

PREPARED FOR: CLASSIC CONSTRUCTION

SHEET C4.1

PROJECT TITLE

DERCON CONSTRUCTION COMMERCIAL BUILDING

PROJECT LOCATION

ADDRESS: NORTH OF 14041 ABERDEEN DRIVE, HAM LAKE, MN 55304

PID. 20-32-23-43-0011

LATITUDE: 45.242
LONGITUDE: -93.232

DEVELOPER

DERCON CONSTRUCTION SERVICES
727 170TH LN NW
ANDOVER, MN 55304

CONTACT NAME: DEAN MARQUETTE
CONTACT PHONE: 617-276-6008
CONTACT E-MAIL: DEAN@DERCON.COM

GENERAL CONTRACTOR

CLASSIC CONSTRUCTION
18542 ULYSSES ST. NE
EAST BETHEL, MN 55011

CONTACT NAME: MAX HOFFMAN
CONTACT PHONE: 763-331-5674
CONTACT E-MAIL: HOFFMAN7277@GMAIL.COM

NARRATIVE - PERMANENT STORMWATER TREATMENT SYSTEMS

PERMANENT STORMWATER MANAGEMENT FEATURES WILL RATE CONTROL BASIN

SITE IMPERVIOUS AREAS

	BEFORE CONSTRUCTION	AFTER CONSTRUCTION
TOTAL SITE AREA (AREA OF ANALYSIS)	1.67 ACRES	
TOTAL ESTIMATED IMPERVIOUS	0.15 ACRES	0.93 ACRES
TOTAL ESTIMATED PERVIOUS	1.52 ACRES	0.74 ACRES

APPROX. 0.78 ACRE INCREASE IN IMPERVIOUS

TOTAL DISTURBED AREA

~1.26 ACRES

SITE MAP W/ EXISTING AND FINAL GRADES AND DESIGN CALCULATIONS

SEE "STORMWATER DRAINAGE REPORT" FOR EXISTING AND PROPOSED AREA MAPS, DENOTING DRAINAGE AREA BOUNDARIES, DIRECTIONS OF FLOW, AND DISCHARGE POINTS WHERE STORMWATER LEAVES THE SITE.

RECEIVING WATERS WITHIN ONE MILE

NAME OF WATER BODY	TYPE OF WATER BODY	SPECIAL WATER	IMPAIRED WATER
COON CREEK	CREEK	NO	YES
HAM LAKE	LAKE	NO	NO
ON-SITE INFILTRATION BASINS	BASIN	NO	NO

BUFFER TO SURFACE WATER

☐ YES ☐ NO ■ N/A — IF THE SITE DRAINS TO A SURFACE WATER, IS A 50-FT NATURAL BUFFER ADJACENT TO THE SURFACE WATER PRESERVED?

NOTE: NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS.

A) NO WETLANDS ENCOUNTERED.

TEMPORARY SEDIMENTATION BASINS

☐ YES ☐ NO ■ N/A — IF TEN (10) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, IS A TEMPORARY SEDIMENT BASIN PROVIDED FOR TREATMENT OF THE RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTERS SURFACE WATERS?

A) BECAUSE THIS SITE IS WITHIN ONE MILE OF AN IMPAIRED WATER, THIS REQUIREMENT BECOMES FIVE (5) MILES. HOWEVER, IT IS NOT ANTICIPATED THAT, WITH ONLY 1.26 ACRES OF DISTURBED AREA, THAT OVER 5 ACRES WILL BE DISTURBED.

INFILTRATION FEASIBILITY

☐ YES ■ NO ☐ N/A — ARE THERE ANY INFILTRATION RESTRICTIONS FOR THE SITE (SEE 16.14 THROUGH 16.21)?

A) SOIL BORINGS WERE COLLECTED BY TRADEWELL SOIL TESTING ON JUNE 10, 2025. THE 5 BORINGS SHOWED LOAMY FINE SANDS (SP-SM) CLASSIFIED AS HSG B TYPE SOILS. BECAUSE OF THIS, INFILTRATION IS FEASIBLE AS NO MOTTLED SOILS WERE ENCOUNTERED 100" BELOW EXISTING SURFACE.

ADDITIONAL STORMWATER MITIGATION MEASURES

☐ YES ■ NO — ARE THERE ANY STORMWATER MITIGATION MEASURES PER:

- ENVIRONMENTAL REVIEW DOCUMENT?
- ENDANGERED SPECIES REVIEW?
- ARCHAEOLOGICAL REVIEW?
- OTHER LOCAL, STATE OR FEDERAL REVIEW?

IF YES TO ANY OF THE ABOVE, DESCRIBE THE MITIGATION MEASURES. FOR PURPOSES OF THIS PERMIT, MITIGATION MEASURES MEANS ACTIONS NECESSARY TO AVOID, MINIMIZE, OR MITIGATE FOR IMPACTS RELATED TO EROSION PREVENTION, SEDIMENT CONTROL, THE PERMANENT STORMWATER TREATMENT SYSTEM, POLLUTION PREVENTION MANAGEMENT MEASURES AND DISCHARGES ASSOCIATED WITH THE PROJECT'S CONSTRUCTION ACTIVITY. [MINN. R. 7090]

DOCUMENTATION OF TRAINED INDIVIDUALS

A. INDIVIDUAL WHO PREPARED THE SWPPP:
QASEM ABUGHAZLEH
PLOWE ENGINEERING, INC
6776 LAKE DRIVE
LINO LAKES MN 55014
(651) 361-8233
qasem@plowe.com

B. INDIVIDUAL(S) OVERSEEING IMPLEMENTATION OF, REVISING AND/OR AMENDING THE SWPPP AND INDIVIDUALS PERFORMING INSPECTIONS FOR THE PROJECT. ONE OF THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA. [MINN. R. 7090]

CONTACT NAME ______
CONTACT PHONE ______
CONTACT E-MAIL: ______

TBD - WHEN INFORMATION BECOMES AVAILABLE, CONTRACTOR TO PROVIDE INFORMATION TO CITY AND WATERSHED

C. INDIVIDUAL(S) PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS. [MINN. R. 7090]

CONTACT NAME ______
CONTACT PHONE ______
CONTACT E-MAIL: ______

TBD - WHEN INFORMATION BECOMES AVAILABLE, CONTRACTOR TO PROVIDE INFORMATION TO CITY AND WATERSHED

LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORMWATER FACILITIES

THE PROPOSED STORMWATER MANAGEMENT FEATURE FOR THIS SITE IS AN EXISTING ON-SITE LANDLOCKED BASIN. THIS WILL BE OPERATED AND MAINTAINED BY THE LANDOWNER.

REVEGETATION SPECIFICATIONS

ITEM		MNDOT SPECIFICATION/NOTES
SOD		3878
SEED **		3876
* FOR TURF ESTABLISHMENT	COMMERCIAL TURF	MNDOT MIX 25-131 (220 LBS/ACRE)
	RESIDENTIAL TURF	MNDOT MIX 25-131 (120 LBS/ACRE)
TEMPORARY	FALL COVER	MNDOT MIX 21-112 (100 LBS/ACRE)
	SPRING/SUMMER	MNDOT MIX 21-111 (100 LBS/ACRE)
	SOIL-BUILDING COVER	MNDOT MIX 21-113 (110 LBS/ACRE)
	1-2 YEARS COVER	MNDOT MIX 22-111 (30.5 LBS/ACRE)
	2-5 YEARS COVER	MNDOT MIX 22-112 (40 LBS/ACRE)
MULCH		3882 (TYPE 1 - DISC ANCHORED)
HYDROMULCH		3884
FERTILIZER		3881
WOOD FIBER BLANKET		3885 (CATEGORY 2)

* MOW A MINIMUM OF:
RESIDENTIAL TURF - ONCE PER 2 WEEKS
COMMERCIAL TURF - ONCE PER 4 WEEKS

** SEEDED AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.

QUANTITIES - ESTIMATED QUANTITIES FOR EROSION AND SEDIMENT CONTROL MEASURES

TYPE		UNIT
SILT FENCE	1425	LINEAR FEET
REDUND. SED. CONTROL (EG. BIO-ROLLS, SILT FENCE)	N/A	EACH
RIP-RAP W. GEO-FABRIC	40	CUBIC YARDS
CATCH BASIN INLET PROTECTION	1	EACH
POND RIPRAP OVERFLOW		EACH
EROSION CONTROL BLANKET		SQUARE YARDS
SEED & MULCH (GENERAL)		ACRE
ROCK CONSTRUCTION ENTRANCE	1	EACH

NARRATIVE - TIMING FOR INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES

ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS OR IMPLEMENTED IN THE FIELD SHALL BE IN ACCORDANCE WITH THE CITY AND NPDES PHASE II PERMIT REQUIREMENTS.

PHASE I:

1. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND SWPPP MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
3. PROVIDE TEMPORARY PARKING AND STORAGE AREA.
4. INSTALL SILT FENCE AS SHOWN ON PLAN.
   4.1. ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.
   4.2. THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION
   4.3. SILT FENCE SHALL REMAIN IN-PLACE UNTIL SITE HAS BEEN STABILIZED.
   4.4. CONTRACTOR TO PROVIDE ADDITIONAL SILT FENCE, BIOROLLS, EROSION CONTROL BLANKET, OR OTHER APPROVED EQUAL FOR ANY SLOPES THAT APPEAR TO BE FAILING.
10. INSTALL INLET PROTECTION FOR ALL EXISTING STORM SEWER STRUCTURES
11. INSTALL TREE PROTECTION FENCING AS APPLICABLE.
12. PERFORM SITE GRADING ON AN AREA-BY-AREA BASIS TO MINIMIZE UNSTABILIZED AREAS.
   12.1. CONTRACTOR MUST IMMEDIATELY INITIATE STABILIZATION OF EXPOSED SOIL AREAS, AS DESCRIBED IN ITEM 8.4 OF THE PERMIT, AND COMPLETE THE STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CEASES.
   12.2. CONTRACTOR TO PROVIDE TEMPORARY SEDIMENTATION BASINS AS REQUIRED IN SECTION 14.1 THROUGH 14.10
13. PAY SPECIAL ATTENTION TO ADJACENT PROPERTY LINES TO ENSURE THE EROSION CONTROL PRACTICES INPLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.
14. STABILIZE SOIL STOCKPILES; STABILIZATION SHALL BE INITIATED IMMEDIATELY.
15. FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS.
16. CONTRACTOR SHALL BE RESPONSIBLE TO SWEEP/SCRAPE ADJACENT STREETS WHEN MATERIALS OR DEBRIS HAVE WASHED/FLOWED ONTO ADJACENT STREETS OR AS DIRECTED BY CITY.

PHASE II:

1. PROVIDE TEMPORARY SEED FOR DISTURBED AREAS
2. INSTALL RIP-RAP AT FLARED-END SECTIONS.
3. INSTALL TEMPORARY INLET PROTECTION FOR ALL STORM SEWER INLET STRUCTURES IN PAVING AREAS INSTALL UTILITIES INCLUDING SANITARY SEWER, WATER MAIN, STORM SEWER.
4. INSTALL CURB AND GUTTER.
5. PREPARE SITE FOR PAVING.
6. PAVE SITE.
   6.1. COORDINATE SMALL UTILITIES INSTALLATIONS (GAS, PHONE, ELECTRIC, CABLE, FIBEROPTIC, ETC.) AFTER PAVEMENT INSTALLATION.
7. INSTALL INLET PROTECTION DEVICES.
8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND/OR SOD.
9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ONLY AFTER SITE HAS BEEN STABILIZED.

NPDES DEFINITIONS

"BEST MANAGEMENT PRACTICES (BMPS)" MEANS THE MOST EFFECTIVE AND PRACTICABLE MEANS OF EROSION PREVENTION AND SEDIMENT CONTROL, AND WATER QUALITY MANAGEMENT PRACTICES THAT ARE THE MOST EFFECTIVE AND PRACTICABLE MEANS OF TO CONTROL, PREVENT, AND MINIMIZE DEGRADATION OF SURFACE WATER, INCLUDING AVOIDANCE OF IMPACTS, CONSTRUCTION-PHASING, MINIMIZING THE LENGTH OF TIME SOIL AREAS ARE EXPOSED, PROHIBITIONS, POLLUTION PREVENTION THROUGH GOOD HOUSEKEEPING, AND OTHER MANAGEMENT PRACTICES PUBLISHED BY STATE OR DESIGNATED AREA-WIDE PLANNING AGENCIES. [MINN. R. 7090]

"CONSTRUCTION ACTIVITY" MEANS ACTIVITIES INCLUDING CLEARING, GRADING, AND EXCAVATING, THAT RESULT IN LAND DISTURBANCE OF EQUAL TO OR GREATER THAN ONE ACRE, INCLUDING THE DISTURBANCE OF LESS THAN ONE ACRE OF TOTAL LAND AREA THAT IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE IF THE LARGER COMMON PLAN WILL ULTIMATELY DISTURB EQUAL TO OR GREATER THAN ONE ACRE. THIS INCLUDES A DISTURBANCE TO THE LAND THAT RESULTS IN A CHANGE IN THE TOPOGRAPHY, EXISTING SOIL COVER, BOTH VEGETATIVE AND NONVEGETATIVE, OR THE EXISTING SOIL TOPOGRAPHY THAT MAY RESULT IN ACCELERATED STORMWATER RUNOFF THAT MAY LEAD TO SOIL EROSION AND MOVEMENT OF SEDIMENT. CONSTRUCTION ACTIVITY DOES NOT INCLUDE A DISTURBANCE TO THE LAND OF LESS THAN FIVE ACRES FOR THE PURPOSE OF ROUTINE MAINTENANCE PERFORMED TO MAINTAIN THE ORIGINAL LINE AND GRADE, HYDRAULIC CAPACITY, AND ORIGINAL PURPOSE OF THE FACILITY. ROUTINE MAINTENANCE DOES NOT INCLUDE ACTIVITIES SUCH AS REPAIRS, REPLACEMENT AND OTHER TYPES OF NON-ROUTINE MAINTENANCE. PAVEMENT REHABILITATION THAT DOES NOT DISTURB THE UNDERLYING SOILS (E.G., MILL AND OVERLAY PROJECTS) IS NOT CONSTRUCTION ACTIVITY. [MINN. R. 7090]

"DEWATERING" MEANS THE REMOVAL OF SURFACE OR GROUND WATER TO DRY AND/OR SOLIDIFY A CONSTRUCTION SITE TO ENABLE CONSTRUCTION ACTIVITY. DEWATERING MAY REQUIRE A MINNESOTA DEPARTMENT OF NATURAL RESOURCES WATER APPROPRIATION PERMIT AND, IF DEWATERING WATER IS CONTAMINATED, DISCHARGE OF SUCH WATER MAY REQUIRE AN INDIVIDUAL MPCA NPDES/SDS PERMIT. [MINN. R. 7000]

"EROSION PREVENTION" MEANS MEASURES EMPLOYED TO PREVENT EROSION SUCH AS SOIL STABILIZATION PRACTICES, PERMANENT COVER OR CONSTRUCTION PHASING. [MINN. R. 7090]

"GENERAL CONTRACTOR" MEANS THE PARTY WHO SIGNS THE CONSTRUCTION CONTRACT WITH THE OWNER TO CONSTRUCT THE ENTIRE PROJECT DESCRIBED IN THE FINAL PLANS AND SPECIFICATIONS. WHERE THE CONSTRUCTION PROJECT INVOLVES MORE THAN ONE CONTRACTOR, THE GENERAL CONTRACTOR IS THE PARTY RESPONSIBLE FOR MANAGING THE ENTIRE PROJECT ON BEHALF OF THE OWNER. IN SOME CASES, THE OWNER IS THE GENERAL CONTRACTOR. IN THESE CASES, THE OWNER SIGNS THE PERMIT APPLICATION AS THE OPERATOR AND BECOMES THE SOLE PERMITTEE. [MINN. R. 7090]

"GROUNDWATER" MEANS THE WATER CONTAINED BELOW THE SURFACE OF THE EARTH IN THE SATURATED ZONE INCLUDING, WITHOUT LIMITATION, ALL WATERS WHETHER UNDER CONFINED, UNCONFINED, OR PERCHED CONDITIONS, IN NEAR SURFACE UNCONSOLIDATED SEDIMENT OR REGOLITH, OR IN ROCK FORMATIONS DEEPER UNDERGROUND. [MINN. R 7060]

"HOMEOWNER FACT SHEET" MEANS AN MPCA FACT SHEET AVAILABLE ON THE MPCA CONSTRUCTION STORMWATER WEBSITE FOR PERMITTEES TO GIVE TO HOMEOWNERS AT THE TIME OF SALE. [MINN. R. 7090]

"INFEASIBLE" MEANS NOT TECHNOLOGICALLY POSSIBLE OR NOT ECONOMICALLY PRACTICABLE AND ACHIEVABLE IN LIGHT OF THE BEST INDUSTRY PRACTICES. [MINN. R. 7090]

"INITIATED IMMEDIATELY" MEANS TAKING AN ACTION TO COMMENCE SOIL STABILIZATION AS SOON AS PRACTICABLE, BUT NO LATER THAN THE END OF THE WORK DAY, FOLLOWING THE DAY WHEN THE LAND-DISTURBING ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE, IF THE PERMITTEES KNOW THAT CONSTRUCTION WORK ON THAT PORTION OF THE SITE WILL BE TEMPORARILY CEASED FOR 14 OR MORE ADDITIONAL CALENDAR DAYS OR 7 CALENDAR DAYS WHERE ITEM 23.9 APPLIES. PERMITTEES CAN INITIATE STABILIZATION BY:

A. PREPPING THE SOIL FOR VEGETATIVE OR NON-VEGETATIVE STABILIZATION; OR

B. APPLYING MULCH OR OTHER NON-VEGETATIVE PRODUCT TO THE EXPOSED SOIL AREA; OR

C. SEEDING OR PLANTING THE EXPOSED AREA; OR

D. STARTING ANY OF THE ACTIVITIES IN A - C ON A PORTION OF THE AREA TO BE STABILIZED, BUT NOT ON THE ENTIRE AREA; OR

E. FINALIZING ARRANGEMENTS TO HAVE STABILIZATION PRODUCT FULLY INSTALLED IN COMPLIANCE WITH THE APPLICABLE

DEADLINE FOR COMPLETING STABILIZATION. [MINN. R. 7000]

"IMPERVIOUS SURFACE" MEANS A CONSTRUCTED HARD SURFACE THAT EITHER PREVENTS OR RETARDS THE ENTRY OF WATER INTO THE SOIL AND CAUSES WATER TO RUN OFF THE SURFACE IN GREATER QUANTITIES AND AT AN INCREASED RATE OF FLOW THAN PRIOR TO DEVELOPMENT. EXAMPLES INCLUDE ROOFTOPS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, AND CONCRETE, ASPHALT, OR GRAVEL ROADS. BRIDGES OVER SURFACE WATERS ARE CONSIDERED IMPERVIOUS SURFACES. [MINN. R. 7090]

"NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)" MEANS THE PROGRAM FOR ISSUING, MODIFYING, REVOKING, REISSUING, TERMINATING, MONITORING, AND ENFORCING PERMITS UNDER THE CLEAN WATER ACT, AS AMENDED (33 U.S.C. 1251 ET SEQ. SECTION 1342 AND 40 CFR PARTS 122, 123, 124 AND 450). [MINN. R. 7090]

"NATURAL BUFFER" MEANS AN AREA OF UNDISTURBED COVER SURROUNDING SURFACE WATERS WITHIN WHICH CONSTRUCTION ACTIVITIES ARE RESTRICTED. NATURAL BUFFER INCLUDES THE VEGETATION, EXPOSED ROCK, OR BARREN GROUND THAT EXISTS PRIOR TO COMMENCEMENT OF EARTH-DISTURBING ACTIVITIES. [MINN. R. 7090]

"NOTICE OF TERMINATION (NOT)" MEANS THE FORM (ELECTRONIC OR PAPER) REQUIRED FOR TERMINATING COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT. [MINN. R. 7000]

"OPERATOR" MEANS THE PERSON (USUALLY THE GENERAL CONTRACTOR), FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY DESIGNATED BY THE OWNER WHO HAS DAY TO DAY OPERATIONAL CONTROL AND/OR THE ABILITY TO MODIFY PROJECT PLANS AND SPECIFICATIONS RELATED TO THE SWPPP. THE PERMIT APPLICATION MUST LIST THE OPERATOR AS A PERMITTEE. SUBCONTRACTORS HIRED BY AND UNDER SUPERVISION OF THE GENERAL CONTRACTOR ARE NOT OPERATORS. [MINN. R. 7090]

"OWNER" MEANS THE PERSON, FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY POSSESSING THE TITLE OF THE LAND ON WHICH THE CONSTRUCTION ACTIVITIES WILL OCCUR OR, IF THE CONSTRUCTION ACTIVITY IS FOR A LEASE, EASEMENT, OR MINERAL RIGHTS LICENSE HOLDER, THE PARTY OR INDIVIDUAL IDENTIFIED AS THE LEASE, EASEMENT OR MINERAL RIGHTS LICENSE HOLDER, OR THE CONTRACTING GOVERNMENT AGENCY RESPONSIBLE FOR THE CONSTRUCTION ACTIVITY. [MINN. R. 7090]

"PERMANENT COVER" MEANS SURFACE TYPES THAT WILL PREVENT SOIL FAILURE UNDER EROSIVE CONDITIONS. EXAMPLES INCLUDE: GRAVEL, CONCRETE, PERENNIAL COVER, OR OTHER LANDSCAPED MATERIAL THAT WILL PERMANENTLY ARREST SOIL EROSION. PERMITTEES MUST ESTABLISH A UNIFORM PERENNIAL VEGETATIVE COVER (I.E., EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) WITH A DENSITY OF 70 PERCENT OF THE NATIVE BACKGROUND VEGETATIVE COVER ON ALL AREAS NOT COVERED BY PERMANENT STRUCTURES, OR EQUIVALENT PERMANENT STABILIZATION MEASURES. PERMANENT COVER DOES NOT INCLUDE TEMPORARY BMPS SUCH AS WOOD FIBER BLANKET, MULCH, AND ROLLED EROSION CONTROL PRODUCTS. [MINN. R. 7090]

"PERMITTEES" MEANS THE PERSONS, FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY IDENTIFIED AS THE OWNER AND OPERATOR ON THE APPLICATION SUBMITTED TO THE MPCA AND ARE RESPONSIBLE FOR COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT. [MINN. R. 7090]

"PROJECT(S)" MEANS ALL CONSTRUCTION ACTIVITY PLANNED AND/OR CONDUCTED UNDER A PARTICULAR PERMIT. THE PROJECT OCCURS ON THE SITE OR SITES DESCRIBED IN THE PERMIT APPLICATION, THE SWPPP AND IN THE ASSOCIATED PLANS, SPECIFICATIONS AND CONTRACT DOCUMENTS. [MINN. R. 7090]

"PUBLIC WATERS" MEANS ALL WATER BASINS AND WATERCOURSES DESCRIBED IN MINN. STAT. SECT. 103G.005 SUBP. 15. [MINN. R. 7090]

"SEDIMENT CONTROL" MEANS METHODS EMPLOYED TO PREVENT SUSPENDED SEDIMENT IN STORMWATER FROM LEAVING THE SITE (E.G. SILT FENCES, COMPOST LOGS AND STORM DRAIN INLET PROTECTION) [MINN. R. 7090]

"STABILIZE", "STABILIZED", "STABILIZATION" MEANS THE EXPOSED GROUND SURFACE HAS BEEN COVERED BY APPROPRIATE MATERIALS SUCH AS MULCH, STAKED SOD, RIPRAP, EROSION CONTROL BLANKET, MATS OR OTHER MATERIAL THAT PREVENTS EROSION FROM OCCURRING. GRASS SEEDING, AGRICULTURAL CROP SEEDING OR OTHER SEEDING ALONE IS NOT STABILIZATION. MULCH MATERIALS MUST ACHIEVE APPROXIMATELY 90 PERCENT GROUND COVERAGE (TYPICALLY 2 TON/ACRE). [MINN. R. 7090]

"STORMWATER" MEANS PRECIPITATION RUNOFF, STORMWATER RUNOFF, SNOWMELT RUNOFF, AND ANY OTHER SURFACE RUNOFF AND DRAINAGE. [MINN. R. 7090]

"STEEP SLOPES" MEANS SLOPES THAT ARE 1:3 (V:H) (33.3 PERCENT) OR STEEPER IN GRADE. [MINN. R. 7090]

"STORM WATER POLLUTION PREVENTION PLAN (SWPPP)" MEANS A PLAN FOR STORMWATER DISCHARGE THAT INCLUDES ALL REQUIRED CONTENT UNDER IN SECTION 5 THAT DESCRIBES THE EROSION PREVENTION, SEDIMENT CONTROL AND WASTE CONTROL BMPS AND PERMANENT STORMWATER TREATMENT SYSTEMS. [MINN. R. 7090]

"SURFACE WATER OR WATERS" MEANS ALL STREAMS, LAKES, PONDS, MARSHES, WETLANDS, RESERVOIRS, SPRINGS, RIVERS, DRAINAGE SYSTEMS, WATERWAYS, WATERCOURSES, AND IRRIGATION SYSTEMS WHETHER NATURAL OR ARTIFICIAL, PUBLIC OR PRIVATE, EXCEPT THAT SURFACE WATERS DO NOT INCLUDE STORMWATER TREATMENT SYSTEMS CONSTRUCTED FROM UPLAND. THIS PERMIT DOES NOT CONSIDER STORMWATER TREATMENT SYSTEMS CONSTRUCTED IN WETLANDS AND MITIGATED IN ACCORDANCE WITH SECTION 22 AS SURFACE WATERS. [MINN. R. 7090]

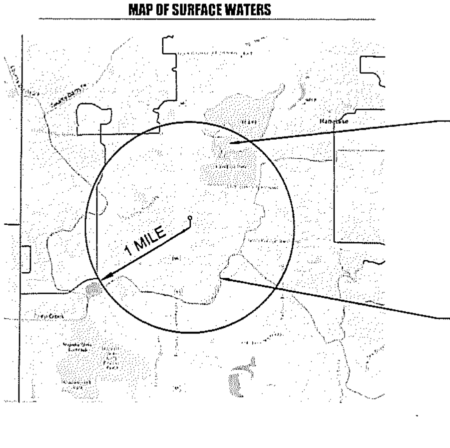
"WATERS OF THE STATE" (AS DEFINED IN MINN. STAT. SECT. 115.01, SUBP. 22) MEANS ALL STREAMS, LAKES, PONDS, MARSHES, WATERCOURSES, WATERWAYS, WELLS, SPRINGS, RESERVOIRS, AQUIFERS, IRRIGATION SYSTEMS, DRAINAGE SYSTEMS AND ALL OTHER BODIES OR ACCUMULATIONS OF WATER, SURFACE OR UNDERGROUND, NATURAL OR ARTIFICIAL, PUBLIC OR PRIVATE, WHICH ARE CONTAINED WITHIN, FLOW THROUGH, OR BORDER UPON THE STATE OR ANY PORTION THEREOF. [MINN. STAT. 115.01, SUBP. 22]

"WATER QUALITY VOLUME" MEANS ONE (1) INCH OF RUNOFF FROM THE NET INCREASE IN IMPERVIOUS SURFACES CREATED BY THE PROJECT (CALCULATED AS AN INSTANTANEOUS VOLUME) [MINN. R. 7090]

"WETLANDS" (AS DEFINED IN MINN. R. 7050.0186, SUBP. 1A.B.) MEANS THOSE AREAS THAT ARE INUNDATED OR SATURATED BY SURFACE WATER OR GROUNDWATER AT A FREQUENCY AND DURATION SUFFICIENT TO SUPPORT, AND UNDER NORMAL CIRCUMSTANCES DO SUPPORT, A PREVALENCE OF VEGETATION TYPICALLY ADAPTED FOR LIFE IN SATURATED SOIL CONDITIONS. WETLANDS GENERALLY INCLUDE SWAMPS, MARSHES, BOGS, AND SIMILAR AREAS. CONSTRUCTED WETLANDS DESIGNED FOR WASTEWATER TREATMENT ARE NOT WATERS OF THE STATE. WETLANDS MUST HAVE THE FOLLOWING ATTRIBUTES:

1. A PREDOMINANCE OF HYDRIC SOILS; AND
2. INUNDATED OR SATURATED BY SURFACE WATER OR GROUNDWATER AT A FREQUENCY AND DURATION SUFFICIENT TO SUPPORT A PREVALENCE OF HYDROPHYTIC VEGETATION TYPICALLY ADAPTED FOR LIFE IN A SATURATED SOIL CONDITION; AND
3. UNDER NORMAL CIRCUMSTANCES SUPPORT A PREVALENCE OF SUCH VEGETATION [MINN. R. 7050.0186, SUBP. 1A.B]

MAP OF SURFACE WATERS



HAM LAKE

APPROVED TMDL PLAN FOR: NONE
ADDITIONAL IMPAIRMENTS: NONE
NEW IMPAIRMENTS: NONE

COON CREEK

APPROVED TMDL PLAN FOR:
BENTHIC MACROINVERTEBRATES BIOASSESSMENTS;
ESCHERICHIA COLI (E. COLI);
FISH BIOASSESSMENTS;
TOTAL SUSPENDED SOLIDS (TSS)
ADDITIONAL IMPAIRMENTS: NONE
NEW IMPAIRMENTS: NONE

SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701

DRAWN BY: MOA	CHECK BY: QMA
JOB NO: 24-2181	DATE: 06-24-25

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
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8		

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

QASEM M. ABUGHAZLEH

DATE: 10.02.2025 LIC. NO. 56299

DERCON CONSTRUCTION
COMMERCIAL BUILDING

STORM WATER POLLUTION PREVENTION PROGRAM

PREPARED FOR: CLASSIC CONSTRUCTION

SHEET C4.2

Excerpts from Article 9 of the Ham Lake City Code

...

9-220 <u>Mercantile Districts</u> The land uses described in Article 9-220 are intended to be applicable to developments which utilize subsurface sewage treatment systems (SSTS), and to developments which use approved combined sewage treatment systems. All building permits and Certificates of Occupancy in the Mercantile Districts shall require the review and approval of the City Council, after review and recommendation by the Planning Commission, excepting building permits and/or certificates of occupancy being issued for an alteration to an existing structure under circumstances in which the land use will be unchanged, and in which the alteration will not materially affect parking requirements, stormwater runoff, traffic, sewage treatment needs or aesthetics.

9-220.1 <u>Standards Common to All Mercantile Districts</u>

The following standards shall apply to all of the mercantile districts as listed in Article 9-220.

a) **Paving** All parking lots, drives and surfaces upon which the general public and employees shall have access shall be paved according to specifications to be established by the city's engineer;

b) **Drainage** Surface water drainage and ponding needs shall be implemented in the manner directed by the city's engineer;

c) **Landscaping** Landscaping shall be implemented in the manner provided in Article 11-1800;

d) **Setbacks for Paved Areas** There shall be a ten-foot setback between any lot line and the back of curb of any parking lot or driveway, and a six-foot setback between the back of curb of any parking lot and any building;

e) **Buffering** When any mercantile land use is located adjacent to a residential area, it shall be screened by opaque fencing, vegetation, or both;

f) **Refuse Containers** Refuse containers shall be stored in locations which are completely screened from outside view; hazardous materials shall be stored and disposed of in the manner provided by law;

g) **Parking Lots and Lighting** Off-street parking shall be provided for the general public and employees. The *Zoning Officer* shall maintain a schedule of parking requirements, to be ratified from time to time by resolution of the City Council, to serve as the general guideline for the establishment of parking requirements, subject to modification by the City Council where merited. Security lighting shall be permitted, and may be required on review of site plans, but shall be directed away from adjacent properties. No light or

combination of lights that cast light upon a Residential Land Use shall exceed 4-foot candle meter reading as measured at the residential property line. All measurements shall be made after dark at the property line or edge of roadway.

h) **Off-Street Loading** All deliveries and bulk pickups of merchandise, inventory and supplies shall be made to loading facilities preferably located in the rear of the building, which loading facilities shall be sufficient to enable the prompt and safe transfer of goods.

i) **Signage** All signage shall conform to the provisions of Article 11-300.

j) **Special Considerations** Notwithstanding the limitations as to building styles, construction types and exterior treatments, the City Council, after Planning Commission review, may depart from strict adherence to the standards found in Article 9-220, where special conditions merit such departure, and where certain standards are met. Such special conditions and standards may include, without limitation, the following items.

i) The departure is not being requested for purely economic reasons;

ii) The nature of the business is such that it requires a specific type of building construction in order to improve the business function, such as requirements for sunlight, specialty equipment, interior lighting or the like;

iii) The business is a permitted or conditional use in the zoning district;

iv) The applicant proposes the usage of special aesthetic treatments which provide a superior exterior view, such as landscaping, vegetation screening, berming, or the like;

v) The property contains unusual topography, mature vegetation or other features which can be preserved or enhanced to produce an overall superior appearance;

vi) The property contains unusual accessibility problems to or from adjacent roadways;

vii) The applicant offers to implement more stringent design limitations in certain site plan features than would normally be required, in exchange for being

permitted less stringent design limitations in other site plan features.

k) **Outside Storage** Outside storage and activities for areas zoned CD-3, CD-4, Industrial Park (I-P) and Light Industrial (I-1) shall be as specifically detailed in the Code Sections dealing with those land uses (Articles 9-220.4 through 9-220.7). For areas zoned CD-1 and CD-2, the following provisions shall apply to outside storage, excepting Fireworks sales and storage, which are governed by the provisions of Article 9-330.6. **Unless specifically permitted by this Article 220.1(k), no Outside Storage shall be allowed in any area zoned CD-1 or CD-2.**

1) <u>Definitions</u>

aa) **Outside Storage** – personal property (not fixtures) that are located within the Approved Property Lines of any parcel bearing a CD zoning classification, but which are found outside of an enclosed, roofed building (including temporary structures). Outside Storage does not include Refuse Containers, customer vehicles, employee vehicles parked while the employee is on duty, delivery vehicles while in the process of delivery or pickup, construction materials or vehicles being used in an active construction project on the parcel, legal signs or banners, or legal temporary structures. Except where specifically excepted, Outside Storage does include inventory of the business occupying the parcel.

bb) **Inventory** - goods, except Vehicle Inventory, that are offered for sale in the ordinary course of business of any business occupying the parcel. For auto repair shops, inventory shall also be deemed to mean passenger vehicles or pickup trucks awaiting repair services.

cc) **Vehicle Inventory** – Automobiles, Trucks, Trailers, Manufactured Homes, Recreational Vehicles, Campers, Camper Tops, Truck Toppers, Boats or other wheeled conveyances that are offered for retail sale at a legal business location whose primary business is the retail sale of one or more of the above items. Rental equipment that may be offered for sale is not Vehicle Inventory. Vehicle Inventory that bears obvious signs that the vehicle is not presently capable of being legally operated or conveyed on a public road is not Vehicle Inventory, including, but not limited to vehicles lacking wheels or inflated tires, operable drive train components, broken windows or lights, required current vehicle registration, missing body parts, such as fenders, doors, hood lids, trunk lids, bumpers, lights or trim.

dd) **Aesthetically Screened Outside Storage** - Inventory or Vehicle Inventory behind an opaque barrier constructed of masonry or brick, attached to and matching or complementary to the main building, and of sufficient height and design so as to give the appearance that the barrier is a part of the main building. No object shall be stored inside of such a barrier if the object protrudes above the height of the barrier. Any gates through the barrier shall be opaque and of aesthetic design.

ee) **Limited Outdoor Displays** - Temporary displays of merchandise which are normally sold or displayed from within an enclosed retail store location, but which are temporarily placed not more than ten feet from an outside wall of the main retail sales building during business hours, and then returned to inside storage during non-business hours."

ff) **Improvement Stores** – Businesses that have as their primary source of revenue the retail sale of plants, seeds, landscaping supplies, produce, or yard statuary.

gg) **24-Hour Convenience Stores** – Businesses that sell gasoline at retail, and, from the same store location, also sell groceries, auto supplies, sundries, over-the-counter medications and personal products, sundries and other items for human consumption, and which remain open for business at all times of every day.

hh) **Approved Property Lines** – Are the outside perimeter of the real estate parcel or parcels which were shown on the site plan used for the initial municipal approval of a certificate of occupancy or conditional use permit for a particular operation.

ii) **Pool Stores** – retail stores that engage in the retail sales of above ground or below ground recreational swimming pools that contain electric filtration devices providing water circulation and filtration in the pool, and under conditions where an inventory of above ground or in ground swimming pools is maintained, connected by water and electricity to a source originating in a permanent retail building located on the same parcel. A Pool Store shall not be considered a retail store for the purposes of determining permitted uses under Article 9-220.2 (b) or 9-220.3(b).

jj) **Screened Outside Storage** – is Inventory or Vehicle Inventory behind an opaque barrier constructed of wood, metal, plastic, masonry, brick or earthen berm, or which is behind an opaque barrier composed of existing buildings or other structures on the property, or which is behind a semi-opaque barrier of vegetation that substantially conceals the storage from outside view.

2) **Permitted Outside Storage**

aa) Vehicle Inventory is permitted Outside Storage on any CD-1 or CD-2 parcel in connection with a business that is legally permitted to sell Vehicle Inventory. If specifically permitted by the conditions of any Conditional Use Permit or Temporary Conditional Use Permit for any such parcel, vehicles that do not meet the definition of Vehicle Inventory may also be permitted Outside Storage.

bb) Aesthetically Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel in connection with the new construction of a main commercial building on the parcel.

cc) Limited Outdoor Displays are permitted Outside Storage in both the CD-1 and CD-2 districts. If the business is a 24-Hour Convenience Store, the Limited Outdoor Display need not be moved indoors, but the business shall at all times maintain a clear pedestrian path on sidewalks that is at least 36 inches in width.

dd) Inventory is permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales but must be separately identified on the initial site plan submitted with the initial request for certificate of occupancy or conditional use permit, and must be stored only in conformance with that site plan. Bins or containers housing the Inventory shall also be permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales as shall be other items necessarily incident to the storage, maintenance or protection of the Inventory.

ee) No Outside Storage shall be permitted for any business unless the storage is within the Approved Property Lines.

ff) Pool Stores may display above ground or below ground swimming pools as Permitted Outside Storage only on property under conditional use permit, subject to conditions to be established by the City Council, which must include, at a minimum, the following:

1) Pool water must be maintained in a sanitary condition;

2) Below ground pools must be surrounded by code-compliant fencing;

3) Above ground pools must be constructed in a code-compliant method relative to either fencing or sufficient elevation to prevent accidental entry into the pool;

4) Adequate security fencing around the storage display area must be installed to discourage after-hours entry into the pool storage area;

5) Reasonable screening from outside view shall be installed;

6) All sources of water and electricity shall be connected to the pools in a code-compliant manner;

7) Only pools that are intended for use with circulating filters shall be permitted outside; no "kiddy pools", wading pools or inflatable pools shall be permitted to be displayed outside.

8) Winter storage of outside pools shall be done in a manner that covers the pool surface and prevents the accidental entry into the pool;

gg) Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel involving pre-existing main buildings or structures that:

1) Historically utilized outside storage in connection with business operating on the property, and which uses were never abandoned;

2) Do not involve replacement or major remodeling of the existing structures, but utilizes the existing structures for the business to be operated;

Approval of Screened Outside Storage is discretionary with the City Council.

hh) **Revocation** All permits and certificates of occupancy issued in the mercantile districts are subject to revocation under the provisions of Article 9-240.

...

Excerpts from Article 11 of the Ham Lake City Code

...

11-200 FENCES AND HEDGES

11-210 Definitions

For the purposes of this Code, the following terms shall have the meanings herein stated:

A. Fence. Any structure which is 36 inches or more in height, and a length of 6 feet or more, which is composed on non-living materials which cover the entire area bounded by said height and length criteria;

B. **Hedge.** Any grouping of vegetation which creates a visual barrier of a substantially opaque nature for a length of 6 feet or more and for a height of from ground level to 36 inches above ground level;

C. Front Yard. The area between the public street right-of-way line and the minimum required building setback line, as measured along any side of a lot. Lakeshore properties shall be considered on both lakeside and roadside to be front yards.

D. Side Yard. The area between the front yard and back yard of any lot;

E. Back Yard. The area lying to the rear of the rear building line of the principal structure on any lot;

F. Principal Structure. In the case of property used wholly or partially for residential purposes, the principal structure shall be the structure housing any dwelling unit. In all other cases, the principal structure shall be the structure located closest to any adjacent street, or, in the case of more than one building equidistant from such street, the building containing the greater square footage shall be deemed the principal structure.

11-220 Height

Fences and hedges shall not exceed the following heights unless a variance from this ordinance is granted by the City Council.

11-220.1 Varied Height Requirements

The above fence height requirements may be varied by resolution of the City Council, where the following conditions are met:

a) The fence will not present any public safety problems;

b) The height requested will not deprive adjoining properties of air, light, or ventilation, sight lines or create aesthetic problems.

Zoning Classification	Front Yard	Side yard	Back Yard
R-1, R-2, RS-1, RS-2, ML-PUD, PUD	4 feet	6 feet	6 feet
R-A, C-A	4 feet	6 feet	6 feet
CD-1-2-3 & 4, B-1, B-2	• 6-12 feet	• 6-12 feet	• 6-12 feet
I-1, I-2	• 6-12 feet	• 6-12 feet	• 6- 12 feet

- Height marked with an asterisk may be increased by two feet to accommodate a barbed wire security arm top.

11-230 <u>Permit Required.</u> No person, firm, or corporation shall hereafter construct or erect or cause to be constructed or erected within any Commercial or Industrial Zoning District any fence which is intended to be a permanent structure on the premises, without first securing a building permit.

11-240 <u>Construction and Maintenance of Fences Generally</u>. Every fence shall be constructed in a substantial, workmanlike manner and of substantial material reasonably suited for the purpose for which the fence is proposed to be used. Fences shall be constructed so that their more attractive side faces neighboring property. Every fence shall be maintained in a condition of reasonable repair and shall not be allowed to become and remain in a condition of disrepair or danger, or constitute a nuisance, public or private. Any such fence which is, or has become dangerous to the public safety, health or welfare, is a public nuisance and the Ham Lake Building Inspector shall commence proper proceedings for the abatement thereof. Link fences, wherever permitted, shall be constructed in such a manner that no barbed ends shall be at the top except in Industrial and Commercial Districts. Electric and barbed wire fences shall be permitted only on agriculturally zoned property (R-A), and shall be permitted only when necessary to further so bona fide agricultural purpose.

...

11-260 <u>Commercial and Industrial Fences</u>.

Fences in all Commercial and Industrial Zoning shall not be less than 6 (six) feet and not exceed twelve (12) feet in height and may be increased to accommodate a barbed wire security arm top except that:

(1) Special Purpose Fences. Fences for special purposes and fences differing in construction, height or length may be permitted in any district in the City of Ham Lake with approval by the Planning and Zoning Commission and City Council. Findings shall be made that the fence is necessary to protect, buffer or improve the premises for which the fence is intended.

(2) Metal panel and chain link fencing are not appropriate in Commercial Development Tier 1 (CD-1) zoning. Fencing is not appropriate in front yard area facing Highway 65.

...

11-1800 LANDSCAPING IN COMMERCIALLY ZONED AREAS

In all areas of the City zoned CD-1, CD-2, CD-3 or CD-4, the following conditions shall apply to landscaping and ground cover.

11-1810 Landscape Plan Required No building permit shall be issued for construction on a vacant lot, nor for any addition to an existing building involving the addition of 500 square feet or more of additional building space, unless the applicant shall have first submitted and obtained approval of the City Council, after review by the Planning Commission, of a landscaping plan meeting the requirements of this code.

11-1820 Installation Required No certificate of occupancy shall be issued for any construction which required a landscaping plan unless the applicant has installed all of the elements of the landscaping plan, or unless the applicant has posted security acceptable to the City to guarantee timely installation of all landscaping.

11-1830 Time for Submission The landscaping plan shall be submitted, whenever possible, at the time of site plan approval. If the landscaping plan is not submitted at the time of site plan approval, it must be separately reviewed by the Planning Commission and approved by the City Council prior to the issuance of any building permits.

11-1840 Contents and Specifications

The landscaping plan shall be a quality document prepared at a scale of one-inch equals thirty feet, showing all relevant dimensions. Fifteen copies of the plan shall be submitted by the applicant. The following data shall be displayed on the plan, legibly labeled:

A. Perimeter of all buildings, signs or other structures;
B. Parking lots and walkways, identifying pavement material;
C. Areas of decorative rock, identifying type of rock;
D. Areas of lawn;
E. Other areas where other than natural wooded vegetation is to be used as ground cover, identifying the ground cover to be used;
F. Locations, trunk size, height and species of all trees to be planted;
G. Locations where existing natural wooded vegetation will remain undisturbed;
H. All other landscaping features to be used.

11-1850 MINIMUM LANDSCAPING REQUIREMENTS

11-1851 Paved Surfaces All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall be surfaced with asphalt or concrete, to specifications established by the City's engineer.

11-1852 Ground Cover On any side of a lot which abuts a public road, the area from the road right-of-way to the nearest building side shall be entirely covered with ground cover consisting of pavement, decorative rock bordered with edging, lawn grass intended for regular mowing, mulch, bark, wood chips or other commonly used landscaping ground cover. Shingles, aggregate and clay mixtures such as Class V material, recycled concrete or asphalt, and other non-conventional ground covers shall not be permitted. Loose ground cover shall be installed to a depth of at least three inches. Any area which is covered by landscaping ground cover (not lawn or pavement) shall also include one decorative shrub for each ten square feet of ground cover.

Side yards and rear yards which do not contain existing natural wooded vegetation shall either be covered with ground cover in the manner stated above for front yards, or shall be planted so as to encourage the emergence of natural wooded vegetation, through the planting of tree species expected to reach a height of at least twenty five feet. Areas so prepared shall not be required to have mown lawn areas, but may be allowed to return to a natural state.

11-1853 Tree Plantings Trees which are planted outside of areas intended to return to a natural wooded state shall be of a variety indigenous to the local climate. Deciduous trees shall, when planted, have a trunk size of at least one and one half inches at a height of four feet from ground level. Conifers shall have a height of at least five feet. Tree locations are subject to review and approval of the City in the landscaping plan review process, and while no specific number of trees are required, the following general principles shall be observed;

A. Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years;

B. Decorative trees shall be planted along the right of way lines of adjacent public roadways;

B. The use of conifers shall be encouraged and preferred.

C. Whenever possible, an attempt will be made to preserve stands of existing vegetation, particularly treed or wooded areas.

11-1860 Case by Case Evaluation

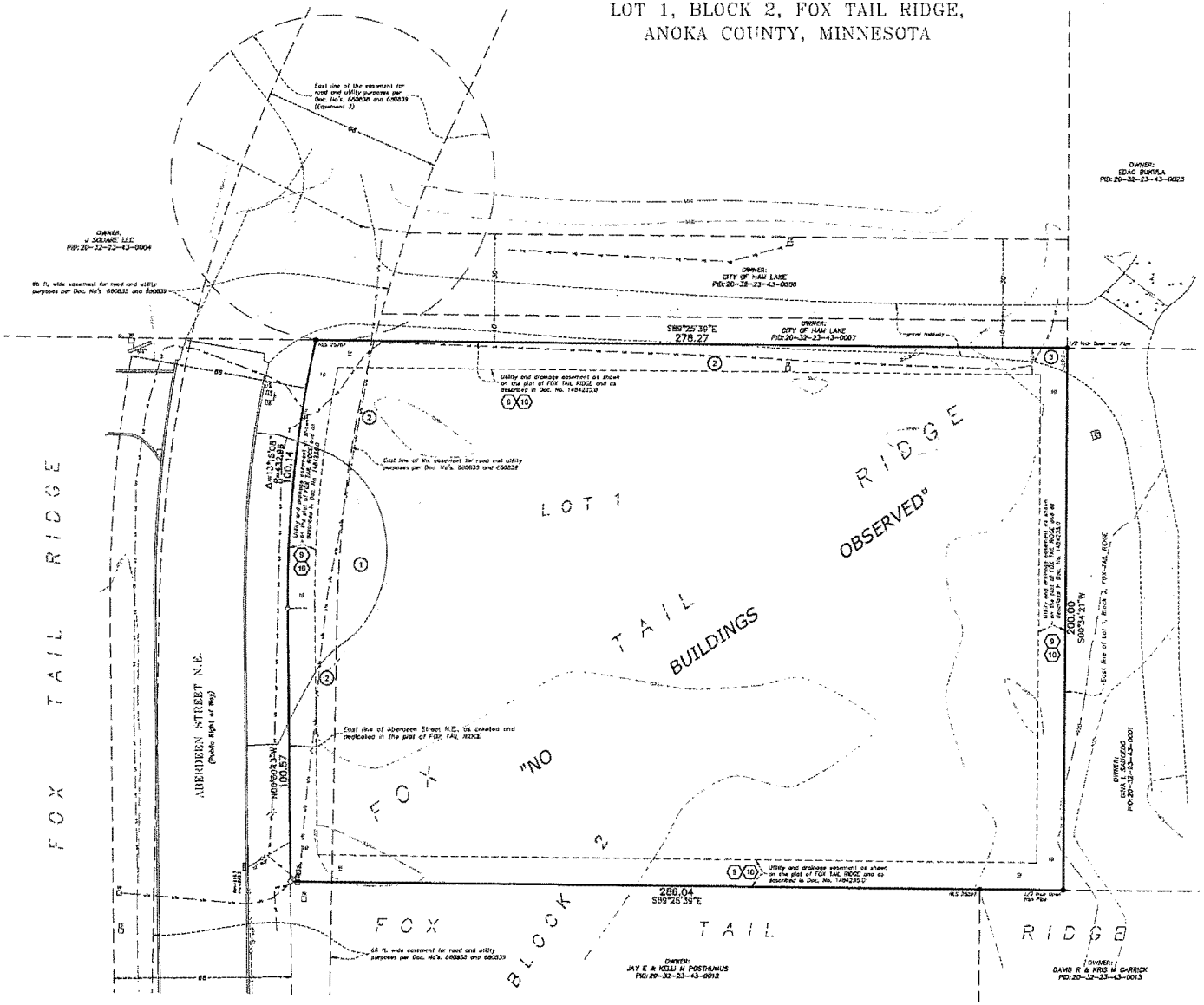
Recognizing that the City contains a wide variety of commercial land, the landscape approval process shall be on a case by case basis. Where wetlands are present, or where large distances separate a commercial lot from adjacent lands, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial

relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.

REVIEW DRAFT

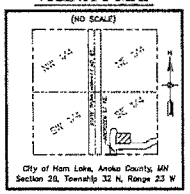
ALTA/NSPS LAND TITLE SURVEY

LOT 1, BLOCK 2, FOX TAIL RIDGE, ANOKA COUNTY, MINNESOTA



VICINITY MAP

(NO SCALE)



N

0 10 20 40

(SCALE IN FEET)

PROPERTY DESCRIPTION: *(Per Schedule A of Title Commitment No. 240745808-1, Revision Number 1, with a commitment date of July 12, 2024 at 08:00 AM, prepared by Prestige Commercial Title as issuing agent for Commonwealth Land Title Insurance Company*

Lot 1, Block 2, FOX TAIL RIDGE, Anoka County, Minnesota.

(abstract property)

GENERAL NOTES:

1) Bearings shown hereon are based on the East line of Lot 1, Block 2, FOX TAIL RIDGE, which is assumed to bear S00°34'21"W.

2) Monuments have been found or set at all major corners of the boundary as indicated on this survey.

3) Surveyed property address: per title commitment – XXX Aberdeen Street NE, Ham Lake, MN 55304

4) Per FEMA Flood Insurance Rate Map number 27003C0326E with an effective date of 12/16/15, surveyed property is located in Zone X, areas of minimal flooding. Areas determined to be outside 500-year floodplain determined to be outside the 1% and 0.2% annual chance floodplains.

5) Surveyed property contains 257,203 sq. ft. (5.91 acres).

6) BENCHMARK: Anoka County Benchmark No. 2030 – Elevation 914.26 ft. (NAVD 88)

7) No current zoning classification, setback requirements, height and floor space restrictions, or parking requirements specific to the surveyed property and set forth in a zoning report or letter was provided to the surveyor by the client or client's designated representative.

8) No building were observed on the surveyed property.

9) No parking spaces were observed on the surveyed property.

10) Above ground utilities have been field located as shown. Underground utilities shown hereon are those which were field marked by utility companies responding to Gopher State One Call, Ticket No's. 242882436 and 242865441, both dated 10/14/24 or were taken from utility plans provided by the City of Ham Lake. All underground locations shown hereon are APPROXIMATE. Prior to any excavations or digging, contact Gopher State One Call for an on-site location (651-454-0002). However, locking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, Gopher State One Call locate and other similar utility-locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

11) There was no observable evidence of earth moving work, building construction or building additions within recent months.

12) We are not aware of any plottable offsite (i.e., appurtenant) easements or servitude's for this site.

13) Per Schedule B, Part II Exceptions of the above listed Title Commitment:

Items 1–3, 5–8, 11 – Not survey related and/or not plottable.

Item 4 – Easements, or claims of easements, not shown by the public records. *(Non known or provided.)*

(9) Item 5 – Covenants, conditions, restrictions, obligations, and easements contained in the Declaration of Covenants, Restrictions, and Conditions, dated 01/31/00, filed 02/04/00, as Document No. 1484233.0, and any amendments/supplements thereto. *(Easements for the installation and maintenance of utilities and drainage are reserved as shown on the record plat of Fox Tail Ridge. Said easement is shown hereon.)*

(10) Item 10 – All Easements, including those for utility and drainage purposes, if any, as shown on the recorded plat of Fox Tail Ridge. *(as shown hereon)*

STATEMENT OF POSSIBLE ENCROACHMENTS:

(1) 1) Bituminous turnaround along the West line of the surveyed property line, as shown hereon.

(2) 2) Underground fiber optic and electric lines running along the West line of the surveyed property, as shown.

(3) 3) Gravel roadway/driveway along the north line and northeast corner of the surveyed property, as shown.

CERTIFICATION:

To: Dercon Construction Services, inc., Prestige Commercial Title as issuing agent for Commonwealth Land Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 8(a), 7(a), 8, 9, 13, 16, 18, and 19 (31,000,000) of table A thereof. The field work was completed on October 17, 2024.

Date of Plat or Map: November 15, 2024

Signed: Carlson McCain, inc.

By: DRAFT

Thomas R. Bakott, L.S.
Minnesota License No. 40361
tbakott@carlsonmccain.com

LEGEND

- Denotes Set PK Nail
- Denotes Found Iron Monument
- Denotes 5/8 inch by 14 inch rebar, marked with RLS 40361
- Denotes Light Pole
- Denotes Catch Basin
- Denotes Mail Box
- Denotes Telephone Box
- Denotes Electric Transformer
- Denotes Electric Box
- Denotes Television Box
- Denotes Underground Electric
- Denotes Underground Gas
- Denotes Underground Fiber Optic
- Denotes Storm Sewer
- Denotes Existing Fence as noted
- Denotes Gravel Surface
- Denotes Concrete Surface
- Denotes Bituminous Surface
- Denotes Existing 2 Ft. Contour
- Denotes Existing 10 Ft. Contour

CARLSON McCAIN ENGINEERING SURVEYING ENVIRONMENTAL
3880 PLEASANT RIDGE DRIVE NE, SUITE 100, BLAINE, MN 55449
TEL 763.482.7900 \ FAX 763.482.7950 \ CARLSONMCCAIN.COM

ALTA/NSPS LAND TITLE SURVEY

LOT 1, BLOCK 2, FOX TAIL RIDGE
Ham Lake, Minnesota

DERCON CONSTRUCTION SERVICES, INC.
727 - 170th Lane NW
Andover, MN 55304

REVISIONS
1.
2.
3.
4.
5.
6.

DRAWN BY:	kjs
ISSUE DATE:	11/14/24
FILE NO:	2843

REVIEW COPY

1 of 1

COON CREEK
WATERSHED DISTRICT

NOTICE OF PERMIT APPLICATION STATUS

Project:	Dercon
Date:	August 26, 2025
Applicant:	Dercon Construction Services Attn: Dean Marquette 727 170th Ln NW Andover, MN 55304
Permit Application#:	P-25-022
Purpose:	construction of a new commercial building and associated stormwater treatment features
Location:	North of 14941 Aberdeen Street, Ham lake

At their meeting on August 25, 2025, the Board of Managers of the Coon Creek Watershed District **approved with conditions** the above referenced project with 2 conditions and 4 stipulations. **This is NOT a permit.**

Prior to permit issuance, the following conditions must be fulfilled. Please respond to each of these items in writing when resubmitting application materials to the District.

Conditions:

1. Submittal of a performance escrow in the amount of $2,630.00.
2. Provide proof of recording of a fully executed Operations and Maintenance Agreement for the perpetual inspection and maintenance of all proposed stormwater management practices after review and approval by the District. – *in progress, review comments to follow.*

After issuance, the permit will include the following stipulations that need to be fulfilled before permit closeout:

Stipulations:

1. The applicant must apply for coverage under the Minnesota Pollution Control Agency's (MPCA's) Construction Stormwater Permit (Permit No: MNR100001)
2. Submittal of as-builts for the stormwater management practices and associated structures listed in Tables 2 and 3 of the Application Review Report dated 8/20/2025, including volume, critical elevations and proof of installation for hydrodynamic separators.
3. Completion of post construction infiltration tests on Infiltration Basin P1 and P3 by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
4. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location,

schedule and quantities prior to construction.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rules. If you have any questions, please call 763-755-0975.

Sincerely,

Erin Margl

Erin Margl
Watershed Development Coordinator

cc: File P-25-022
Eileen Weigel, Stantec
Dave Krugler, City of Ham Lake
Jennifer Bohr, City of Ham Lake

RECEIVED
AUG 11 2025
By: .....

CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE
Ham Lake, MN 55304
Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 08/05/2025 Rec'd 8/11/25 **Date of Receipt** 8-11-2025

Receipt # 103368 **Amount $** 750.00

Meeting Appearance Dates:

Planning Commission _____ **City Council** _____

Please check request(s):

- [ ] Metes & Bounds Conveyance
- [ ] Sketch Plan
- [ ] Preliminary Plat Approval*
- [ ] Final Plat Approval
- [ ] Rezoning*
- [ ] Multiple Dog License*
- [x] Commercial Building Permit
- [ ] Certificate of Occupancy
- [ ] Home Occupation Permit
- [ ] Conditional Use Permit (New)*
- [ ] Conditional Use Permit (Renewal)
- [x] Other Site plan

NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.

Development/Business Name: Kwik Trip, Inc.

Address/Location of property: NW quadrant of State Hwy 65 and 143rd Ave.

Legal Description of property: Parcel 1 of Elwell Commercial Park Plat

PIN # _____ **Current Zoning** Commercial **Proposed Zoning** CD-1

Notes: Site plan submittal for Planning commission and Council approval

Applicant's Name: Nate Byom

Business Name: Kwik Trip, Inc

Address 1626 Oak Street

City La Crosse **State** WI **Zip Code** 54602

Phone 608-791-7448 **Cell Phone** 608-792-7780 **Fax** _____

Email address _____

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE Nathan Byom Digitally signed by Nathan Byom DN: C=US, E=nbyom@kwiktrip.com, O=KwikTrip, OU=KwikTrip - Store Engineering, CN=Nathan Byom Date: 2025.08.08 09:24:04-05'00' **DATE** 08/08/2025

****

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____ **PROPERTY TAXES CURRENT YES NO**

City Council _____ **Any Active/Deferred Assessments YES NO**

CITY OF HAM LAKE
ACKNOWLEDGMENT OF RESPONSIBILITY
TO REIMBURSE EXPENSES

The undersigned, Kwik Trip, Inc - Nate Byon **having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:**

Planning and Zoning
Type of Application

acknowledges that the sum of $ 22,000 **, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.**

Applicant Signature Nate Byon **Dated** 10/6/2025

The following statement must be signed if the applicant is not the property owner:

X Matt Tharaldson **, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.**

I am aware of the application being submitted by the applicant and approve the request.

Y **Property Owner Signature** Matt Tharaldson X **Dated** 10-3-25

RECEIVED
OCT 06 2025
By: .....

CITY OF HAM LAKE
ACKNOWLEDGMENT OF RESPONSIBILITY
TO REIMBURSE EXPENSES

The undersigned, Kwik Trip Inc - Nate Byom, **having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:**

Planning & Zoning
Type of Application

acknowledges that the sum of $27,000**, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.**

Applicant Signature Nate Byom **Dated** 10/6/2025

The following statement must be signed if the applicant is not the property owner:

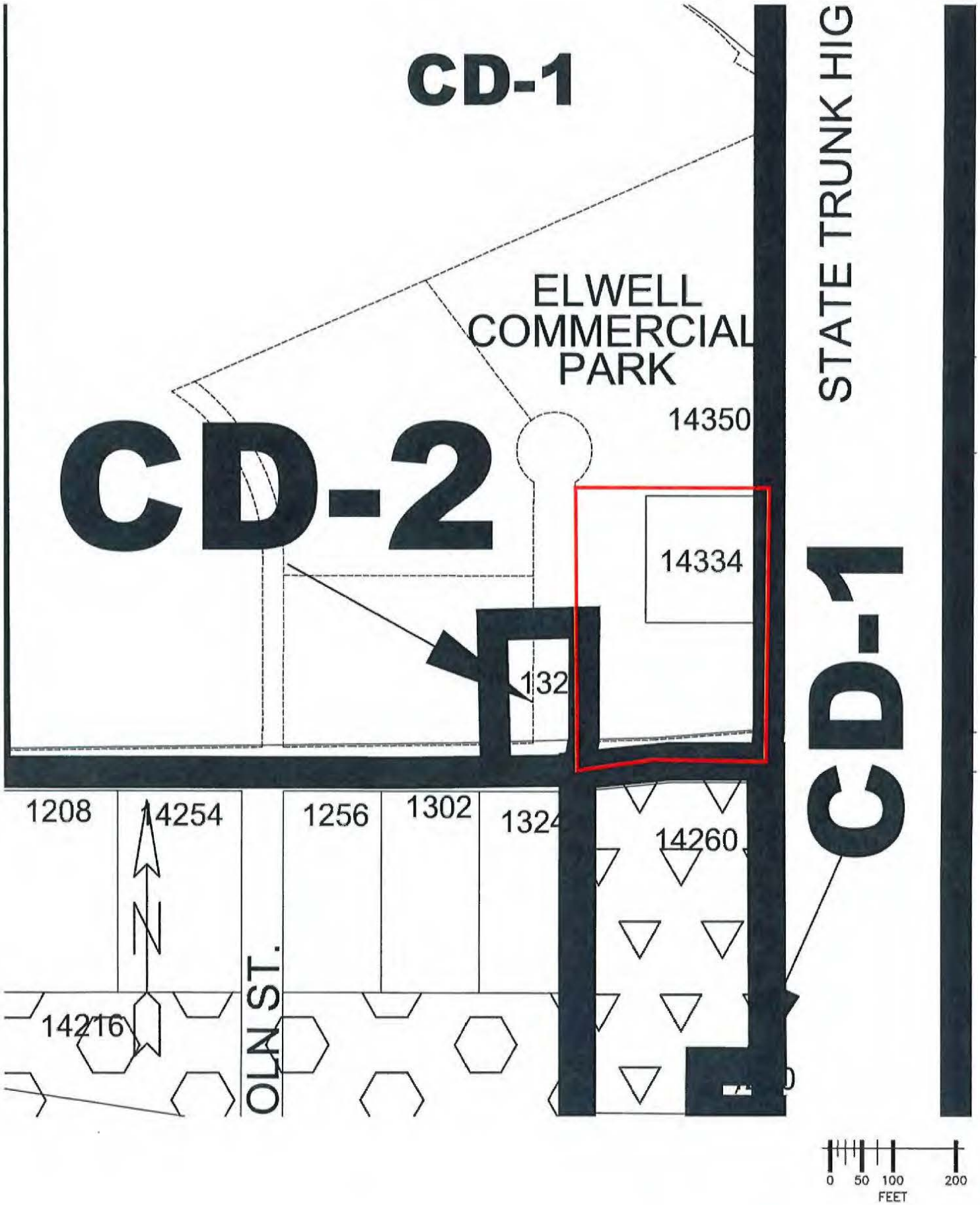
Paul Boerboom, **as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.**

I am aware of the application being submitted by the applicant and approve the request.

Property Owner Signature [signature] **Dated** 10-3-25

RECEIVED
OCT 06 2025
By: .....

0 50 100 200
FEET


CD-1
STATE TRUNK HIG
ELWELL
COMMERCIAL
PARK
14350
CD-2
14334
132
CD-1
1208
14254
1256
1302
1324
14260
N
14216
OLN ST.
0 50 100 200
FEET

S 1/2 SECTION 29, T. 32, R. 23

CITY OF HAM LAKE

ANOKA COUNTY SURVEYOR

GRAPHIC SCALE

SCALE IN FEET

ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11	NORTH HALF OF SECTION
23	24	13	14	
32	31	42	41	SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter Quarter	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

KWIK TRIP, INC.

Store Engineering

PHONE 608-793-5555
FAX 608-781-8960

1626 Oak St., P.O. Box 2107
La Crosse, WI 54602

www.kwiktrip.com

August 8th, 2025

City of Ham Lake
Attn: Mark Jones – Building and Zoning Official
15544 Central Avenue NE
Ham Lake, MN 55304

RE: Kwik Trip 1790 Ham Lake

To whom it may concern:

This letter is intended to accompany the submittal for our Planning request application to the City of Ham Lake for site plan review and approval. Please accept this letter as our request for review and all required approvals.

Kwik Trip, Inc. is proposing the construction of a convenience store with a detached dumpster enclosure, and 10-dispenser auto fueling canopy. Included in the submittal is the Cover Letter, Civil plans, Stormwater Management report, Building/ Canopy Elevations, and Sign plan.

Operations

The requested hours of operation will be 24 hours for all uses. The type of products that will be sold will be similar to that of our existing stores throughout the mid-west: fresh produce, bakery and dairy, hot and cold food and beverages, fresh meat and groceries, tobacco products, lotto, convenience store merchandise, alcohol, gasoline, diesel, E-85, ice and propane. The outside merchandising of products is being requested next to the store (three ice chests and one propane cage) and underneath the proposed main canopy. To ensure that the freshest products are sold in our stores, we request that daily deliveries be allowed.

OUR MISSION

To serve our customers and community more effectively than anyone else by treating our customers, co-workers and suppliers as we, personally, would like to be treated, and to make a difference in someone's life.

Buildings, Architecture and Site Design

The architectural elements in this state-of-the-art building consist of a full brick cladding, standing seam metal roof, store front aluminum openings and stucco accents. Extensive landscaping, modern storm water facilities, monument and wall signage, customer and employee parking, concrete paving with curb and gutter are also included in the overall site design.

Investment in the City

This project will be a multi-million dollar investment in the City of Ham Lake. Not only in the physical improvements and development of a vacant parcel, but also an investment of approximately 30 to 40 new permanent jobs in the City. The projected payroll here is estimated to be approximately $600,000 annually.

Community Partner

We pride ourselves in being an asset in the communities where we are located. Families can walk or ride their bikes to our stores. Retirees on fixed income can access fresh groceries like milk, eggs, bread and fruit just steps from their car. We take pride in giving back to the communities we serve with charitable donations and by partnering with local non-profits. Kwik Trip would be happy to provide any additional information or answer any questions or concerns the City of Ham Lake may have with our submittal. Please feel free to call or email with any questions you may have.

Sincerely,

Nate Byom
Development Manager
Store Engineering

608-791-7448

RFC Engineering, Inc.
13635 Johnson Street NE
Ham Lake, MN 55304
Office (763) 862-8000
Fax (763) 862-8042

Memorandum

Date: October 9, 2025

To: Planning Commissioners

From: David A. Krugler, City Engineer

Subject: Kwik Trip Store #1790

Introduction:
The proposed 9,195 square-foot Kwik Trip building is located on the 3.67-acre Lot 1, Block 1, of the future Elwell Commercial Park plat. The proposed parcel is currently zoned Commercial Development Tier 1 (CD-1) and Commercial Development Tier 2. The parcel will be zoned CD-1 upon filing of the Elwell Commercial Park plat. A 200-scale aerial photo, a 200-scale zoning map and a 400-scale half section map are attached.

Discussion:
The Title Sheet, Existing Conditions Survey, Elwell Commercial Park Preliminary Plat, Demo Plan, Site Keynote Plan, Site Circulation Plan, Site Dimension Plan, Grade Plan, Storm Sewer Plan, Storm Sewer Notes & Details, Utility Plan, Utility Notes, Site Plan Details, Erosion Control Plan, Landscape Plan and Photometric Lighting Plan received October 8th address prior review comments.

The attached Landscape Plan shows trees surrounding the proposed building. Per Article 11-1853(B) of the City Code, decorative trees shall be planted along the right-of-way lines of adjacent public roadways. Article 11-1860 allows for case-by-case evaluation of landscape requirements for commercial land approval and "…strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan". A determination needs to be made as to whether the proposed landscaping is adequate adjacent to the public roadway or if additional screening should be required.

The Kwik Trip site divides storm sewer discharge between two systems: a portion of the stormwater which contains typical vehicle and roof contaminants is conveyed to the regional pond within the Elwell Commercial Park plat, while the remainder is treated on-site and discharged to the MnDOT Trunk Highway 65 right-of-way in compliance with the Minnesota Pollution Control Agency's prohibition on infiltration at fuel station sites. The project was conditionally approved by the Coon Creek Watershed District (CCWD) Board of Managers at their July 28th meeting. The Notice of Application Status is attached. A CCWD permit is required before grading operations can commence. A Minnesota Pollution Control Agency National Pollutant Discharge Elimination System Construction Stormwater Permit is also

required before grading operations can commence because the disturbed area is over one-acre. There is a Northern Natural Gas (NNG) easement located at the southwest corner of the parcel. A NNG representative must be present on-site during any work that disturbs area adjacent to their pipeline. This requirement is noted on the construction plans for the contractor's awareness. The City's Municipal State Aid 143rd Avenue Reconstruction project from Truck Highway 65 (TH 65) to Lincoln Street is scheduled to begin in spring 2025. The developer is proposing an illuminated sign adjacent to the TH 65 right-of-way, for which a sign permit will be required.

Recommendation:
It is recommended that the Kwik Trip commercial site plan be recommended for approval, including the determination if the proposed screening is adequate.

Meeting Date: October 13, 2025

CITY OF HAM LAKE
STAFF REPORT

To: **Members of the Planning Commission**

From: **Mark Jones, Building and Zoning Official**

Subject: **Commercial Site Plan Approval for Kwik Trip on the corner of 143rd Avenue NE and Highway 65 NE**

Introduction/Discussion:

The City has received an application for commercial site plan approval from Kwik Trip, Inc. Kwik Trip, Inc. is proposing the construction of a convenience store on Lot 1, Block 1 of Elwell Commercial Park. Kwik Trip, Inc. has not yet purchased the lot, nor has the plat of Elwell Commercial Park been recorded with Anoka County. It has been Kwik Trip, Inc.'s practice not to purchase land until site plan approval has been granted

Kwik Trip, Inc. is proposing to construct a convenience store with 10 fueling dispensers under a canopy. They are requesting hours of operation of 24 hours for all uses. The type of products that will be sold will be like those of existing stores throughout the Midwest: fresh produce, bakery and dairy, hot and cold food and beverages, fresh meat and groceries, tobacco products, lotto, convenience store merchandise, alcohol, gasoline, diesel, E-85, and propane. Outside merchandising of products is being requested next to the store for three ice chests and one propane cage and underneath the proposed main canopy. There will be daily deliveries of products to the store. Kwik Trip, Inc. is proposing the creation of 30-40 new permanent jobs for this location.

The architectural elements of the building will consist of a full brick cladding, standing seam metal roof, store front aluminum openings and stucco accents which meet City Code requirements. Kwik Trip, Inc. is proposing extensive landscaping for the site. The landscape plan meets the requirements of Article 11-1800. Monument and wall signage is proposed. A permit application will need to be submitted for signage

Recommendation:

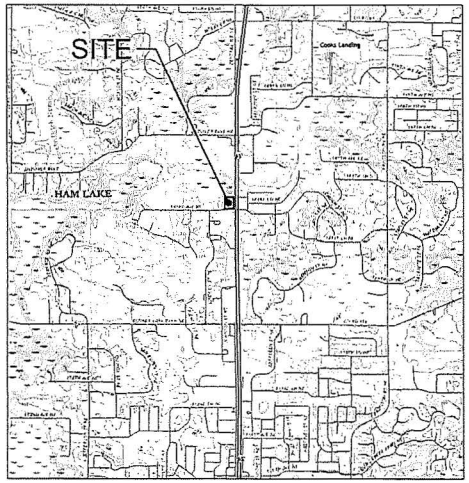
I recommend approval of the commercial site plan for the construction of a Kwik Trip convenience store with fueling dispensers on proposed Lot 1, Block 1 of Elwell Commercial Park with the following conditions:

1) The plat of Elwell Commercial Park must be recorded with Anoka County and Kwik Trip, Inc. must provide proof of ownership of Lot 1, Block1 before a building permit is issued.
2) The septic design passes plan review.
3) Obtaining a Coon Creek Watershed District permit and National Pollutant Discharge Elimination System (NPDES) permit before groundwork can begin.
4) All exterior lighting must meet City Code.
5) Meeting all State, County and City Code requirements.

KWIK TRIP STORE #1790

PERMIT SET

CITY OF HAM LAKE
ANOKA COUNTY, MINNESOTA



SITE LOCATION MAP

AERIAL LOCATION MAP

DRAWING INDEX

C001	TITLE SHEET
C010	EXISTING CONDITIONS SURVEY
C011	PRELIMINARY PLAT
C020	DEMO PLAN
C100	SITE KEYNOTE PLAN
C180	SITE CIRCULATION PLAN
C181	SITE DIMENSION PLAN
C200	GRADE PLAN
C300	STORM SEWER PLAN
C301	STORM SEWER NOTES & DETAILS
C400	UTILITY PLAN
C401	UTILITY NOTES
C500	SITE PLAN DETAILS
C501	SITE PLAN DETAILS
C600	EROSION CONTROL PLAN
C601	EROSION CONTROL NOTES
C602	EROSION CONTROL DETAILS
C603	EROSION CONTROL DETAILS
C700	LANDSCAPE PLAN
C701	LANDSCAPE PLAN
C800	PHOTOMETRIC LIGHTING PLAN
C801	PHOTOMETRIC RENDERING PLANS

OWNER
KWIK TRIP, INC
NATE BYOM
1626 OAK STREET
LA CROSSE, WI 54602
PHONE: 608-791-7448
EMAIL: nbyom@kwiktrip.com

CIVIL ENGINEER
CARLSON MCCAIN, INC.
DANIEL WILKE
15650 36TH AVENUE N, #110
PLYMOUTH, MN 55446
PHONE: 952-346-3864
EMAIL: dwilke@carlsonmccain.com

SITE DESIGNER
CARLSON MCCAIN, LLC.
DANIEL WILKE
15650 36TH AVENUE N, #110
PLYMOUTH, MN 55446
PHONE: 952-346-3864
EMAIL: dwilke@carlsonmccain.com

SURVEYOR
E.G. RUD & SONS, INC.
JASON E. RUD
6776 LAKE DR NE, #110
LINO LAKES, MN 55014
PHONE: 651-361-8200

KWIK TRIP

KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CARLSON ENGINEERING

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Daniel J. Wilke, P.E.
Signature:
Date: 01/31/25 License #: 53187

COVER SHEET

CONVENIENCE STORE #1790

MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
2	06/30/25	Per City Comments
3	07/08/25	Per City Comments
4	08/03/25	Per City Comments
5	09/19/25	San. & WM Edits
6	10/06/25	Per City Comments
7	10/08/25	Per City Comments

DRAWN BY	DJW
SCALE	GRAPHIC
PROJ. NO.	11291-00
DATE	2025-01-31
SHEET	C001

PRELIMINARY COPY

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FILESIZE: 2.07MB

ELWELL COMMERCIAL PARK

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 29, T32N, R23W

KNOW ALL PERSONS BY THESE PRESENTS: That Lincoln Street Commercial, LLC, A North Dakota limited liability company, fee owner of the following described property:

Parcel 1:

All that part of the Southeast Quarter of the Northwest Quarter and the Northeast Quarter of the Southwest Quarter of Section 29, Township 32, Range 23, lying south of Coon Creek, according to the United States Government Survey thereof, Anoka County, Minnesota,

EXCEPT:

That part of the Northeast Quarter of the Southwest Quarter of Section 29, Township 32, Range 23, Anoka County, Minnesota described as follows:

Commencing at a point on the South line of said Northeast Quarter of the Southwest Quarter distance 288 feet West from the Southeast corner of said Northeast Quarter of the Southwest Quarter; thence North at right angles to said South line a distance of 233 feet to actual point of beginning of the tract of land to be hereby described; thence continue North along last course a distance of 200 feet; thence East and parallel with the South line of said Northeast Quarter of the Southwest Quarter to the East line of said Northeast Quarter of the Southwest Quarter, thence South along said East line a distance of 200 feet, more or less, to its intersection with a line drawn parallel with the South line of said Northeast Quarter of the Southwest Quarter from the actual point of beginning except that part thereof taken for State Trunk Highway No. 65.

AND EXCEPT, That part of the Northeast Quarter of the Southwest Quarter of Section 29, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at a point on the South line of said Northeast Quarter of the Southwest Quarter distant 386 feet west from the Southeast corner of said Northeast Quarter of the Southwest Quarter; thence West along said South line a distance of 150 feet; thence North at right angles to said South line a distance of 233 feet; thence East at right angles to last course a distance of 150 feet; thence South at right angles to last course a distance of 233 feet to the point of commencement. Subject to an easement for road purposes over the South 33 feet thereof. Subject to an easement for telephone purposes over the West 10 feet thereof, According to the map or plat thereof on file and of record in the office of the Register of Deeds in and for Anoka County, Minnesota, together with any part or portion of any street or alley lying adjacent thereto heretofore vacated or to be vacated.

AND

Parcel 2:

That part of the Northeast Quarter of the Southwest Quarter of Section 29, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at a point on the South line of said Northeast Quarter of the Southwest Quarter distant 386 feet west from the Southeast corner of said Northeast Quarter of the Southwest Quarter; thence West along said South line a distance of 150 feet; thence North at right angles to said South line a distance of 233 feet; thence East at right angles to last course a distance of 150 feet; thence South at right angles to last course a distance of 233 feet to the point of commencement. Subject to an easement for road purposes over the South 33 feet thereof. Subject to an easement for telephone purposes over the West 10 feet, thereof.

AND

Parcel 3:

That part of the Northeast Quarter of the Southwest Quarter of Section 29, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at a point on the South line of said Northeast Quarter of the Southwest Quarter a distance of 288 feet west from the southeast corner of said Northeast Quarter of the Southwest Quarter; thence North at right angles to said south line a distance of 233 feet to the actual point of beginning of the tract of land to be hereby described; thence continue north along last course a distance of 200 feet; thence east parallel with the south line of said Northeast Quarter of the Southwest Quarter to the east line of said Northeast Quarter of the Southwest Quarter; thence south along said east line a distance of 200 feet, more or less, to its intersection with a line drawn parallel with the south line of said Northeast Quarter of the Southwest Quarter from the actual point of beginning; thence west along said parallel line to the actual point of beginning.

Except that part thereof taken for State Trunk Highway No. 65.

Has caused the same to be surveyed and platted as ELWELL COMMERCIAL PARK and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as shown on this plat.

In witness whereof said Lincoln Street Commercial, LLC, A North Dakota limited liability company, has caused these presents to be signed by its proper officer this _____ day of_____, 20___ .

_____

_____

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me this _____ day of_____, 20____ by _____.

_____ (Signature)

_____ (Print Name)

Notary Public, _____ County, _____
My Commission Expires _____

I Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

_____
Jason E. Rud, Licensed Land Surveyor
Minnesota License No. 41578

STATE OF MINNESOTA
COUNTY OF_____

This instrument was acknowledged before me this ____ day of _____, 20____ by Jason E. Rud.

_____ (Signature)

_____ (Print Name)

Notary Public, _____ County, Minnesota
My Commission Expires _____

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA

This plat of ELWELL COMMERCIAL PARK was approved and accepted by the City Council of the City of Ham Lake, Minnesota at a regular meeting thereof held this _____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Ham Lake, Minnesota

By _____ Mayor

By _____Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20____ .

_____
David M. Ziegimeier
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20_____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 20____.

_____
Property Tax Administrator

By _____, Deputy

COUNTY RECORDER/REGISTRAR OF TITLES
COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this plat of ELWELL COMMERCIAL PARK was filed in the office of the County Recorder/Registrar of Titles for public record on this _____ day of _____, 20____, at _____ o'clock ___.M. and was duly recorded as Document Number _____.

_____
County Recorder/Registrar of Titles

By _____, Deputy

E. G. RUD & SONS, INC.
EST. 1977
Professional Land Surveyors

PRELIMINARY COPY

LAST SAVED BY: CBASSETT on Thursday, May 29, 2025 10:57:27 PM
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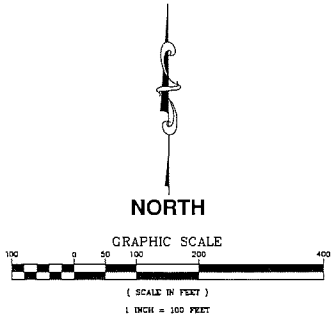
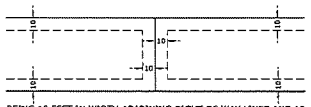
ELWELL COMMERCIAL PARK

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 29, T32N, R23W



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS OTHERWISE SHOWN.

DENOTES ANOKA COUNTY CAST IRON MONUMENT

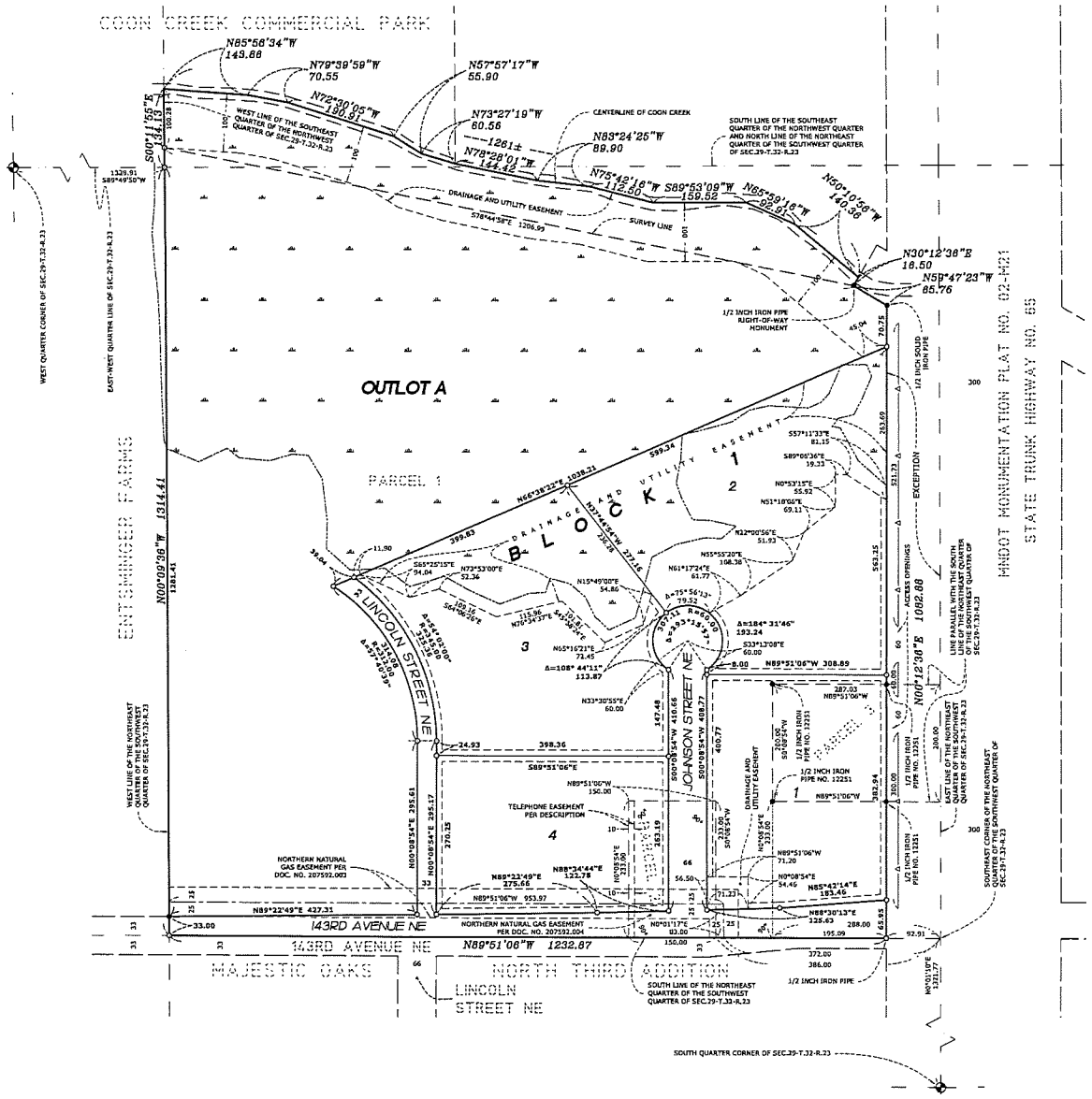
DENOTES 1/2 INCH BY 14 INCH IRON MONUMENT SET AND MARKED RLS NO. 41578.

DENOTES 1/2 INCH IRON PIPE FOUND, MARKED RLS NO. 41578, UNLESS OTHERWISE NOTED.

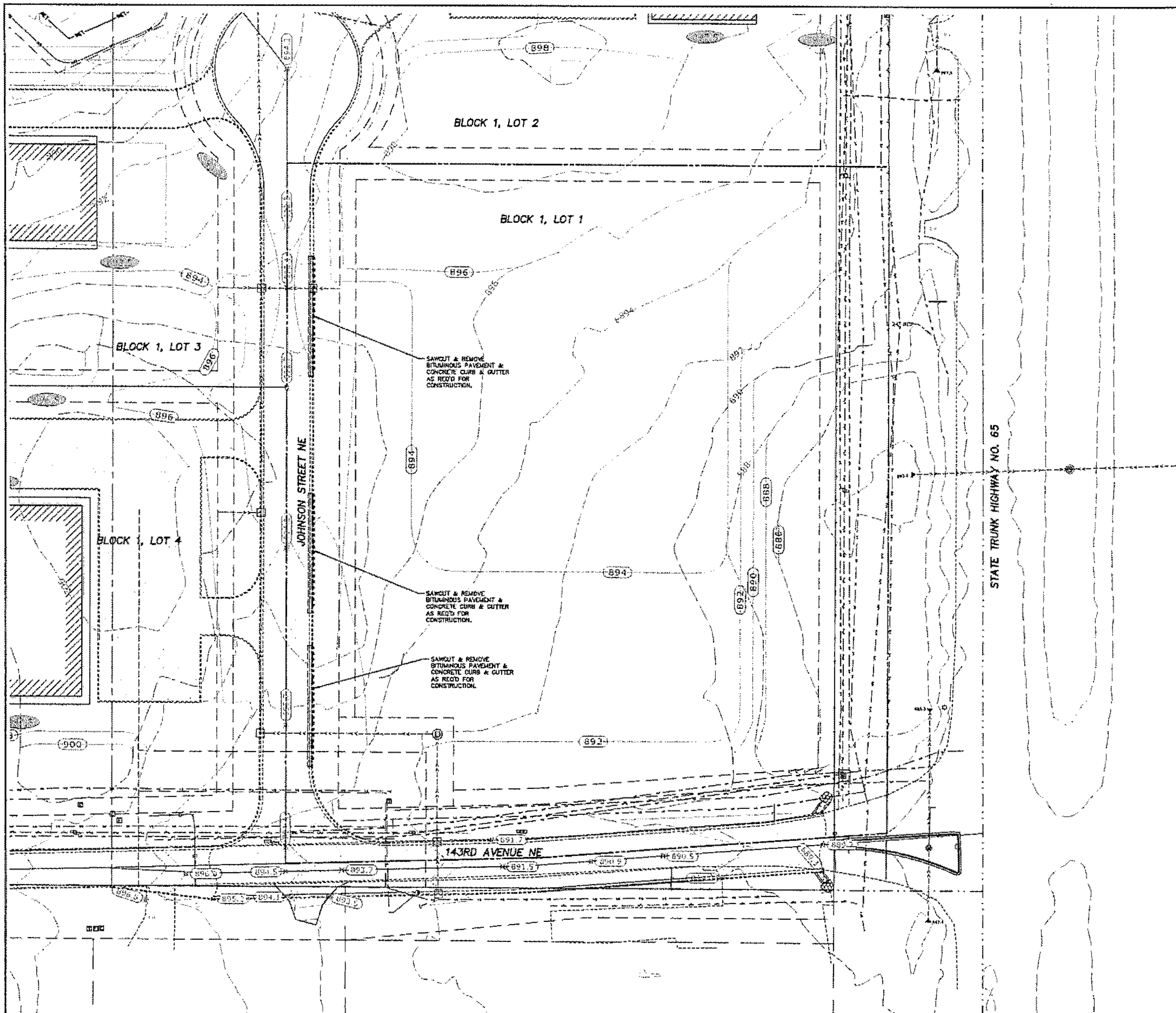
DENOTES WETLAND AS DELINEATED BY KJOLHAUG ENVIRONMENTAL IN JULY, 2021

DENOTES RESTRICTED ACCESS CONTROL PER MINNESOTA DEPARTMENT OF TRANSPORTATION MONUMENT PLAT NO. 02-M21

FOR THE PURPOSE OF THIS PLAT THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 32, RANGE 23 IS ASSUMED TO BEAR 89 NORTH DEGREES 51 MINUTES 05 SECONDS WEST



E.G. RUD & SONS, INC.
EST. 1977
Professional Land Surveyors



PLAN LEGEND

	EXISTING	REMOVAL
CURB		
BITUMINOUS		
CONCRETE PAVEMENT		
CONCRETE WALK		
PROPERTY LINE		
EASEMENT LINE		
STORM SEWER		AS NOTED
SANITARY SEWER		
WATER MAIN		
UNDERGROUND GAS		
UNDERGROUND CABLE		
UNDERGROUND ELECTRIC		
OVERHEAD UTILITY		

FLARED END SECTION
TELEPHONE BOX
MISCELLANEOUS MANHOLE
LIGHT POLE
SIGN
WATER VALVE
HYDRANT
UTILITY POLE
GUY WIRE
GAS METER
ELECTRIC METER/PEDESTAL
SANITARY MANHOLE
AC UNIT
GUY POLE
BOLLARD
CABLE PEDESTAL
CLEANOUT
CURB STOP
ELECTRIC MANHOLE
FIBER OPTIC BOX
GAS VALVE
HAND HOLE
MAILBOX
MONITORING WELL
PIEZOMETER
POST INDICATOR VALVE
TELEPHONE MANHOLE
UTILITY BOX
WATER SHUT OFF

REMOVAL PLAN NOTES

1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION, DEPTH AND TYPES OF EXISTING UTILITIES AND TO NOTIFY THE OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES, APPURTENANCES AND STRUCTURES NOT INDICATED FOR REMOVAL. DAMAGE CAUSED BY DEMOLITION OPERATIONS SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
3. CONTRACTOR TO REMOVE/RELOCATE EXISTING PRIVATE UTILITIES AS NECESSARY. THE CONTRACTOR SHALL COORDINATE THESE ACTIVITIES WITH THE UTILITY COMPANIES.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL THE REMOVALS SHOWN ON THE PLANS AND SHALL CONFORM/ADHERE TO ALL GOVERNING STATE AND LOCAL REGULATIONS. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

0 15 30 60
(IN FEET)

BENCHMARK

1. MnDot Geodetic GSD Station No. 563 (MnDot Name R206 K) Elevation 890.287 ft. (NAVD88)

CALL BEFORE YOU DIG

811 Know what's below. Call before you dig.

KWIK TRIP

KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CARLSON ENGINEERING

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Daniel J. Wilke, P.E.
Signature:
Date: 01/31/25 License #: 53182

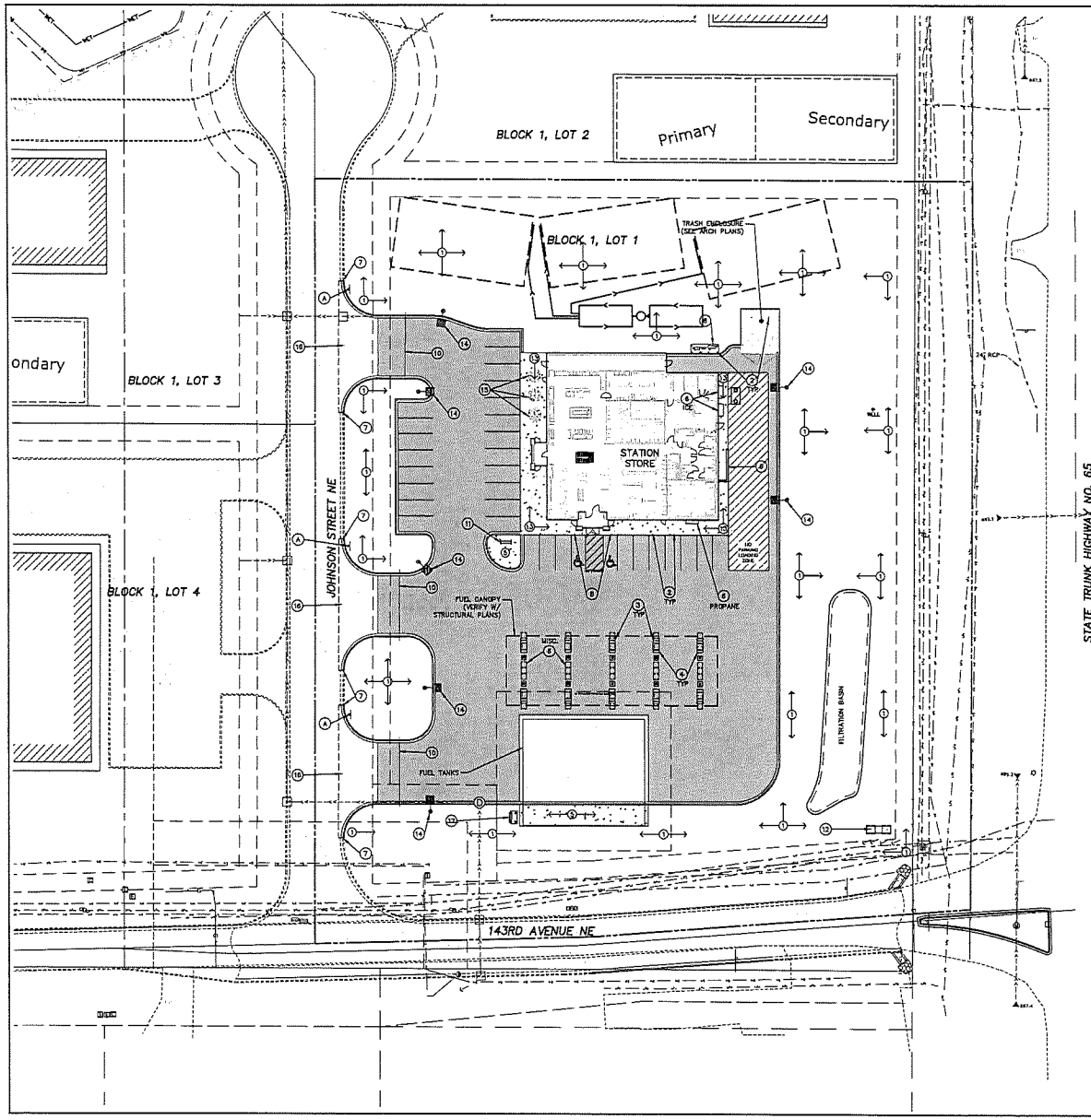
DEMO PLAN

CONVENIENCE STORE #1790

MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
3	06/30/25	Per City Comments
4	07/08/25	Per City Comments
5	09/03/25	Per City Comments
6	09/19/25	San. & WM Edits
7	10/06/25	Per City Comments
8	10/08/25	Per City Comments

DRAWN BY	DJW
SCALE	GRAPHIC
PROJ. NO.	11291-00
DATE	2025-01-31
SHEET	C020



PLAN LEGEND

	EXISTING	PROPOSED
CURB		
BITUMINOUS		
CONCRETE PAVEMENT		HEAVY DUTY 9,635 SF; LIGHT DUTY 36,824 SF
CONCRETE WALK		
PROPERTY LINE		
EASEMENT LINE		
STORM SEWER		
SANITARY SEWER		
WATER MAIN		
UNDERGROUND GAS		
UNDERGROUND CABLE		
UNDERGROUND ELECTRIC		
OVERHEAD UTILITY		
FLARED END SECTION		
TELEPHONE BOX		
MISCELLANEOUS MANHOLE		
LIGHT POLE		
SIGN		
WATER VALVE		
HYDRANT		
UTILITY POLE		
GUY WIRE		
GAS METER		
ELECTRIC METER/PEDESTAL		
SANITARY MANHOLE		
AC UNIT		
GUY POLE		
BOLLARD		
CABLE PEDESTAL		
CLEANOUT		
CURB STOP		
ELECTRIC MANHOLE		
FIBER OPTIC BOX		
GAS VALVE		
HAND HOLE		
MAILBOX		
MONITORING WELL		
PIEZOMETER		
POST INDICATOR VALVE		
TELEPHONE MANHOLE		
UTILITY BOX		
WATER SHUT OFF		

PLAN KEYNOTES

1. LANDSCAPE AREA. SEE SHEET L1.
2. 30" HEIGHT, 6" DIAMETER CONCRETE FILLED PIPE BOLLARD. SEE DETAIL 6/C500.
3. 36" HEIGHT, 6" DIAMETER CONCRETE FILLED PIPE BOLLARD. SEE DETAIL 7/C500.
4. CONCRETE ISLAND WITH 6" EXPOSURE WITH FUEL DISPENSER. DISPENSER PER OWNER.
5. 4" CONCRETE WALK.
6. OUTDOOR MERCHANDISING.
7. MATCH EXISTING CURB & GUTTER/SIDEWALK/PAVEMENT.
8. TRANSFORMER LOCATION.
9. TOTE SCREENING WALL. SEE ARCHITECTURAL PLANS.
10. PVC IRRIGATION SLEEVE UNDER PAVEMENT. VERIFY WITH IRRIGATION PLAN FOR EXACT SIZE AND LOCATION BEFORE INSTALLATION.
11. BIKE RACK PER OWNER.
12. PYLON SIGN.
13. 6" INTEGRAL CONCRETE WALK/CURB.
14. SITE AREA LIGHT WITH CONCRETE BASE PER DETAIL 5/C500.
15. PICNIC TABLE PER OWNER.
16. CONCRETE VALLEY GUTTER PER DETAIL 13/C500.
17. FUEL TANKS VENT STAND PER OWNER.

SIGN SCHEDULE (PER MMUTCD)

Ⓐ STOP SIGN. R1-1 (30"x30")
Ⓑ HANDICAP PVC BOLLARD SLEEVE PER OWNER. SEE DETAIL 9/C500.

0 15 30 60
(IN FEET)

BENCHMARK
1. Unified Geodetic CORS Station No. 063
(NGS Data Name CORS 3)
Elevation 890.327 ft. (NAVD88)

CALL BEFORE YOU DIG!

811 Know what's below. Call before you dig.

KWIK TRIP

KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
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LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CARLSON ENGINEERING
2446 PHEASANT RIDGE DRIVE NE, SUITE 100, BLAINE, MN 55449
TEL 763.479.7988 | FAX 763.428.7519
CARLSON-ENGINEERING.COM

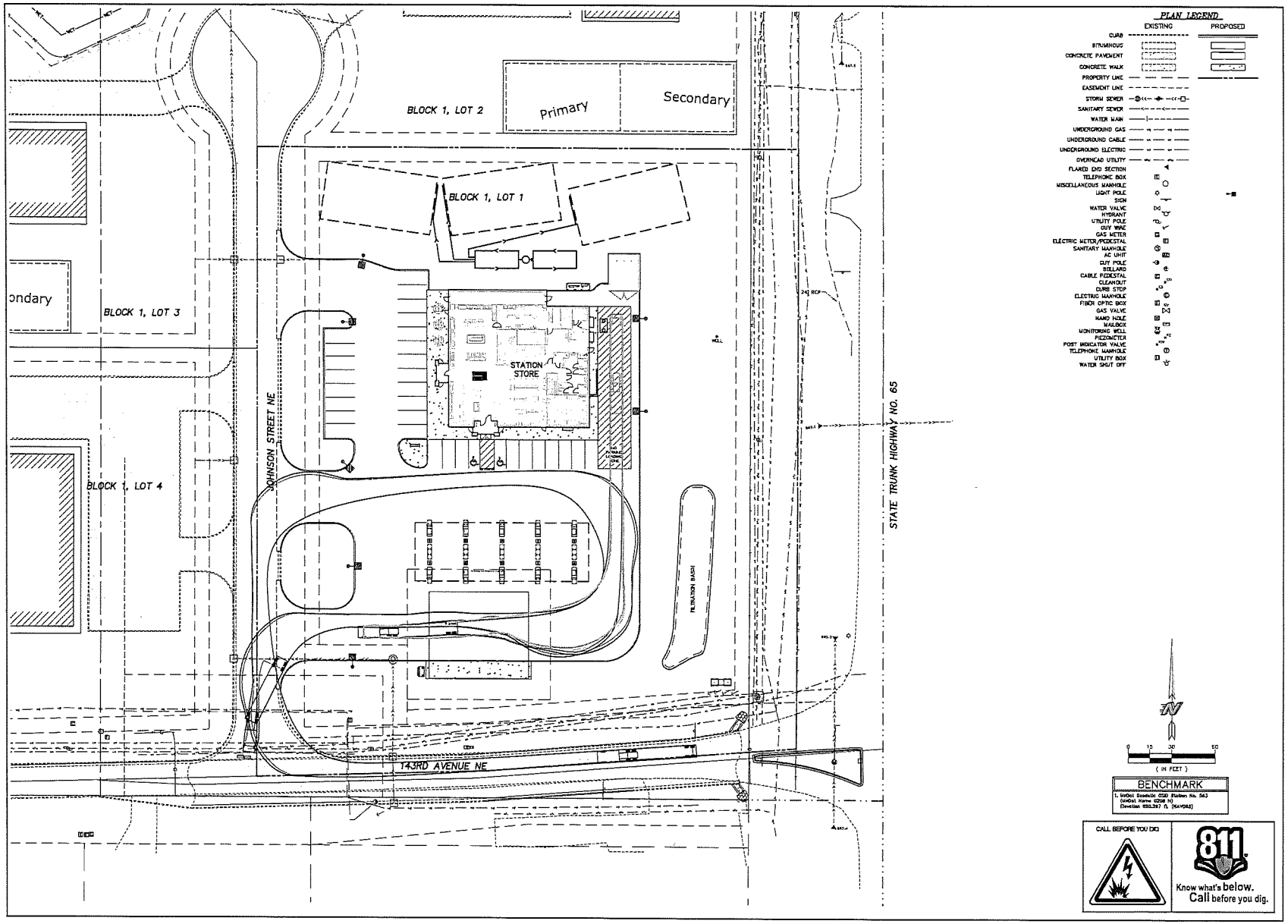
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Daniel J. Wilke, P.E.
Signature: [signature]
Date: 01/31/25 License #: 53182

SITE KEYNOTE PLAN
CONVENIENCE STORE #1790
MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
1	06/30/25	Per City Comments
2	07/08/25	Per City Comments
3	08/03/25	Per City Comments
4	09/10/25	San. & WM Edits
5	10/06/25	Per City Comments
6	10/08/25	Per City Comments

DRAWN BY	DJW
SCALE	GRAPHIC
PROJ. NO.	11201-00
DATE	2025-01-31
SHEET	C100



KWIK TRIP

KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CARLSON ENGINEERING
2890 PRESIDENT RIDGE DRIVE NE, SUITE 240, BLAINE, MN 55449
TEL 763-427-1740 FAX 763-427-7189
CARLSON-ENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Daniel J. Wilke, P.E.

Signature: Dan Wilke

Date: 01/31/25 License #: 53182

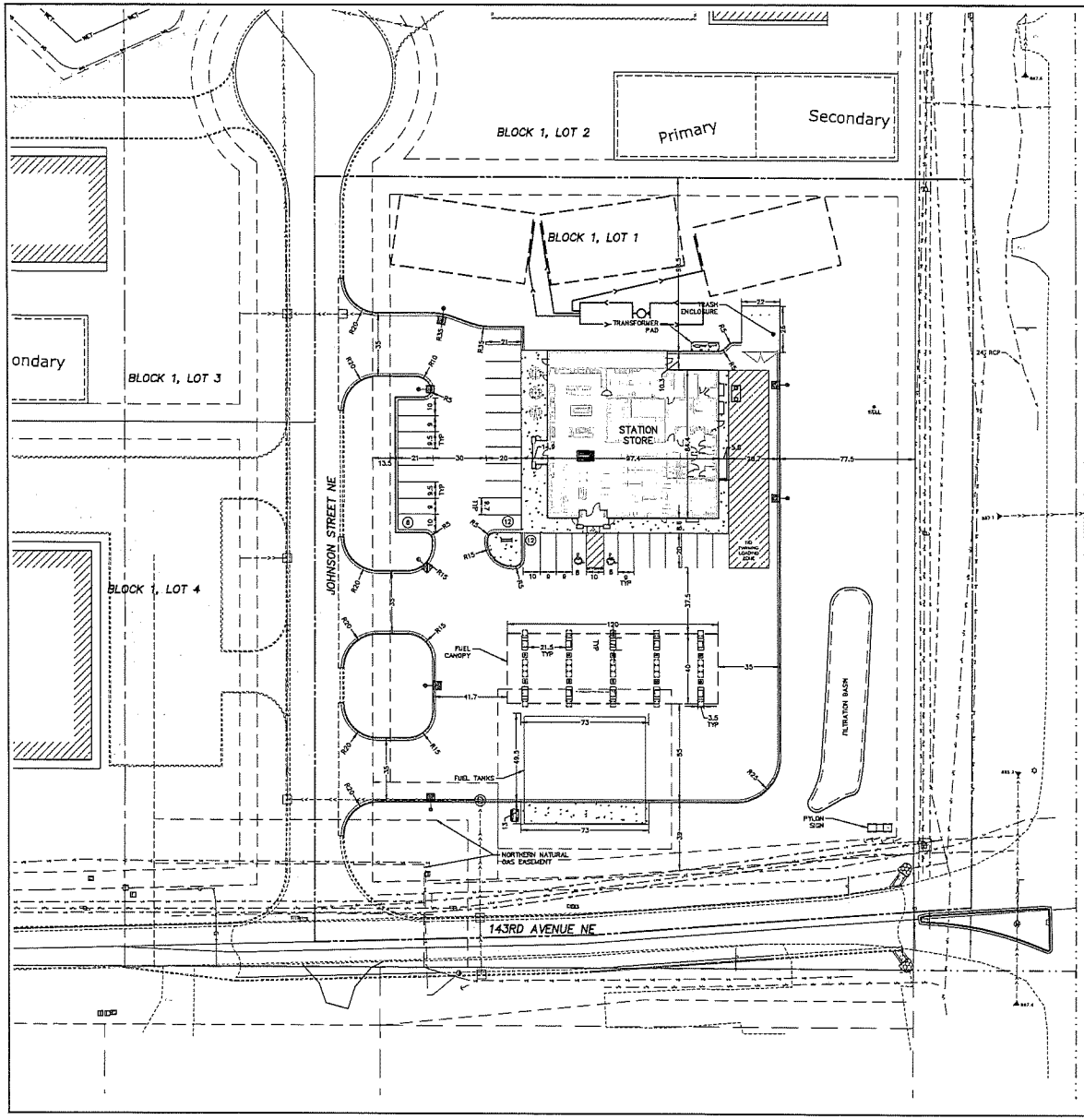
SITE CIRCULATION PLAN

CONVENIENCE STORE #1790

MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
1	06/30/25	Per City Comments
2	07/30/25	Per City Comments
3	09/03/25	Per City Comments
4	09/19/25	San. & WM Edts
5	10/06/25	Per City Comments
6	10/16/25	Per City Comments

DRAWN BY	DJW
SCALE	GRAPHIC
PROJ. NO.	11291-00
DATE	2025-01-31
SHEET	C180



PLAN LEGEND

	EXISTING	PROPOSED
CURB		
BITUMINOUS		
CONCRETE PAVEMENT		
CONCRETE WALK		
PROPERTY LINE		
EASEMENT LINE		
STORM SEWER		
SANITARY SEWER		
WATER MAIN		
UNDERGROUND GAS		
UNDERGROUND CABLE		
UNDERGROUND ELECTRIC		
OVERHEAD UTILITY		
FLARED END SECTION		
TELEPHONE BOX		
MISCELLANEOUS MANHOLE		
LIGHT POLE		
SIGN		
WATER VALVE		
HYDRANT		
UTILITY POLE		
GUY WIRE		
GAS METER		
ELECTRIC METER/PEDESTAL		
SANITARY MANHOLE		
AC UNIT		
GUY POLE		
BOLLARD		
CABLE PEDESTAL		
CLEANOUT		
CURB STOP		
ELECTRIC MANHOLE		
FIBER OPTIC BOX		
GAS VALVE		
HAND HOLE		
MAILBOX		
MONITORING WELL		
PIEZOMETER		
POST INDICATOR VALVE		
TELEPHONE MANHOLE		
UTILITY BOX		
WATER SHUT OFF		

SITE PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. CONCRETE CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO THE START OF SITE WORK. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF DISCREPANCIES OR VARIATIONS FROM THE PLAN.
4. UNLESS OTHERWISE SHOWN ON THIS DRAWING, CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINT AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND DRIVES PER THE FOLLOWING REQUIREMENTS:

CONTROL JOINT MAX. SPACING: WALKS–8' O.C.
ALL OTHERS–10' O.C.

SAW CUT CONTROL JOINTS MINIMUM ¼ CONCRETE THICKNESS.

EXPANSION JOINT MAX. SPACING: WALKS–24' O.C.
*ALL OTHERS–40' O.C.

*ALL POINTS WHERE A CHANGE IN PAVEMENT THICKNESS OCCURS SHALL HAVE AN EXPANSION JOINT.

DOWELL ALL EXPANSION JOINTS: 24" O.C. MAX.

CONCRETE SEALER SHALL BE TK–218LV.

PARKING SUMMARY

STANDARD STALLS	30
HANDICAP STALLS	2
FUEL CANOPY STALLS	20
TOTAL STALLS	52

SITE DATA

ZONING:	CB–1
PARCEL AREA:	121,522 SF
HARD SURFACE AREA:	
STATION STORE:	8,195 SF 8%
PAVEMENT:	49,513 SF 40%
TOTAL:	58,708 SF 48%
PERVIOUS SURFACE AREA:	62,814 SF 52%
BUILDING HEIGHTS	
STATION STORE:	24.0 FT
FUEL CANOPY:	13.5 FT

LEGAL DESCRIPTION:
PARCEL 1, ELWELL COMMERCIAL PARK PLAT

N

0 15 30 60
(IN FEET)

BENCHMARK

1. NGS Geodetic CSD Station No. 563
NGS Name: CC08 (H)
Elevation: 980.287 ft. (NAVD88)

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P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CARLSON ENGINEERING
2999 PHEASANT RIDGE DRIVE NE, SUITE 100, BLAINE, MN 55449
TEL 763.412.2150 | FAX 763.786.9359
CARLSON-ENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Daniel J. Wilke, P.E.
Signature:
Date: 01/31/25 License #: 53187

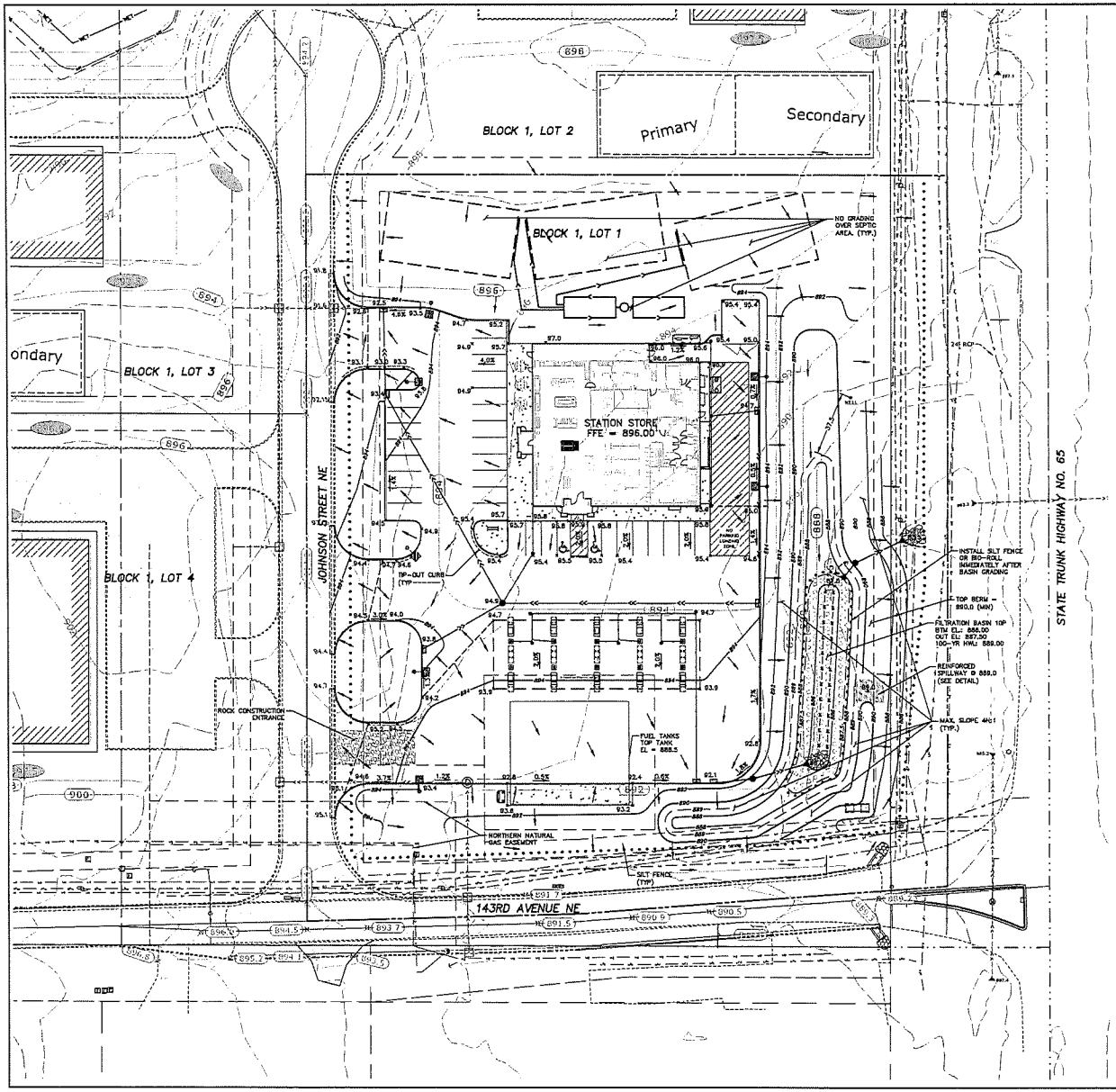
SITE DIMENSION PLAN

CONVENIENCE STORE #1790

MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
3	06/30/25	Per City Comments
4	07/08/25	Per City Comments
5	09/03/25	Per City Comments
6	09/18/25	San. & WM Edits
7	10/06/25	Per City Comments
8	10/08/25	Per City Comments

DRAWN BY	DJW
SCALE	GRAPHIC
PROJ. NO.	11291-00
DATE	2025-01-31
SHEET	C181



PLAN LEGEND

	EXISTING	PROPOSED
CURB		
BITUMINOUS		
CONCRETE PAVEMENT		
CONCRETE WALK		
PROPERTY LINE		
EASEMENT LINE		
STORM SEWER		
SANITARY SEWER		
WATER MAIN		
UNDERGROUND GAS		
UNDERGROUND CABLE		
UNDERGROUND ELECTRIC		
OVERHEAD UTILITY		
FLARED END SECTION		
TELEPHONE BOX		
MISCELLANEOUS MANHOLE		
LIGHT POLE		
SIGN		
WATER VALVE		
HYDRANT		
UTILITY POLE		
GUY WIRE		
GAS METER		
ELECTRIC METER/PEDESTAL		
SANITARY MANHOLE		
AC UNIT		
GUY POLE		
BOLLARD		
CABLE PEDESTAL		
CLEANOUT		
CURB STOP		
ELECTRIC MANHOLE		
FIBER OPTIC BOX		
GAS VALVE		
HAND HOLE		
MAILBOX		
MONITORING WELL		
PIEZOMETER		
POST INDICATOR VALVE		
TELEPHONE MANHOLE		
UTILITY BOX		
WATER SHUT OFF		
10' CONTOUR	890	890
2' CONTOUR	892	892
SPOT ELEVATION (CURB ELEVATIONS ARE TO GUTTER LINE)	00.0	00.0
SILT FENCE		

GOVERNING SPECIFICATIONS

1. THE LATEST EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION".
2. THE LATEST EDITION OF THE CITY OF HAM LAKE STANDARD DETAILS AND SPECIFICATIONS.
3. THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
4. THE LATEST EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATIONS.

GRADING NOTES

1. SILT FENCE AND EXISTING CATCH BASIN INLET PROTECTION SHALL BE INSTALLED PRIOR TO GRADING CONSTRUCTION, AND SHALL BE MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED.
2. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND PAVEMENTS PRIOR TO THE START OF GRADING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF DISCREPANCIES OR VARIATIONS FROM THE PLAN.
3. TURF ESTABLISHMENT SHALL BEGIN AS SOON AS POSSIBLE BUT IN NO CASE LATER THAN 7 DAYS AFTER GRADING COMPLETION.
4. MAXIMUM SLOPE SHALL BE 4H:1V.
5. ALL SLOPES 3:1 OR STEEPER SHALL HAVE MNDOT CAT.1 EROSION CONTROL BLANKET AND SEED, OR APPROVED EQUAL.
6. NORTHERN NATURAL GAS MUST BE ONSITE WHEN WORKING ADJACENT TO EASEMENT.

0 15 30 60
(IN FEET)

BENCHMARK

L McDel Gandalfe CSO Station No. 363
Global Node 2206 IQ
Elevation 893.397 ft. (NAVD88)

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KWIK TRIP

KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CARLSON ENGINEERING
3196 PHEASANT RIDGE DRIVE NE, SUITE 100, BLAINE, MN 55449
TEL 763.424.2663 | FAX 763.483.7555
CARLSON-ENGINEERING.COM

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Name: Daniel J. Wilke, P.E.
Signature: Dan Wilke
Date: 01/31/25 License #: 53182

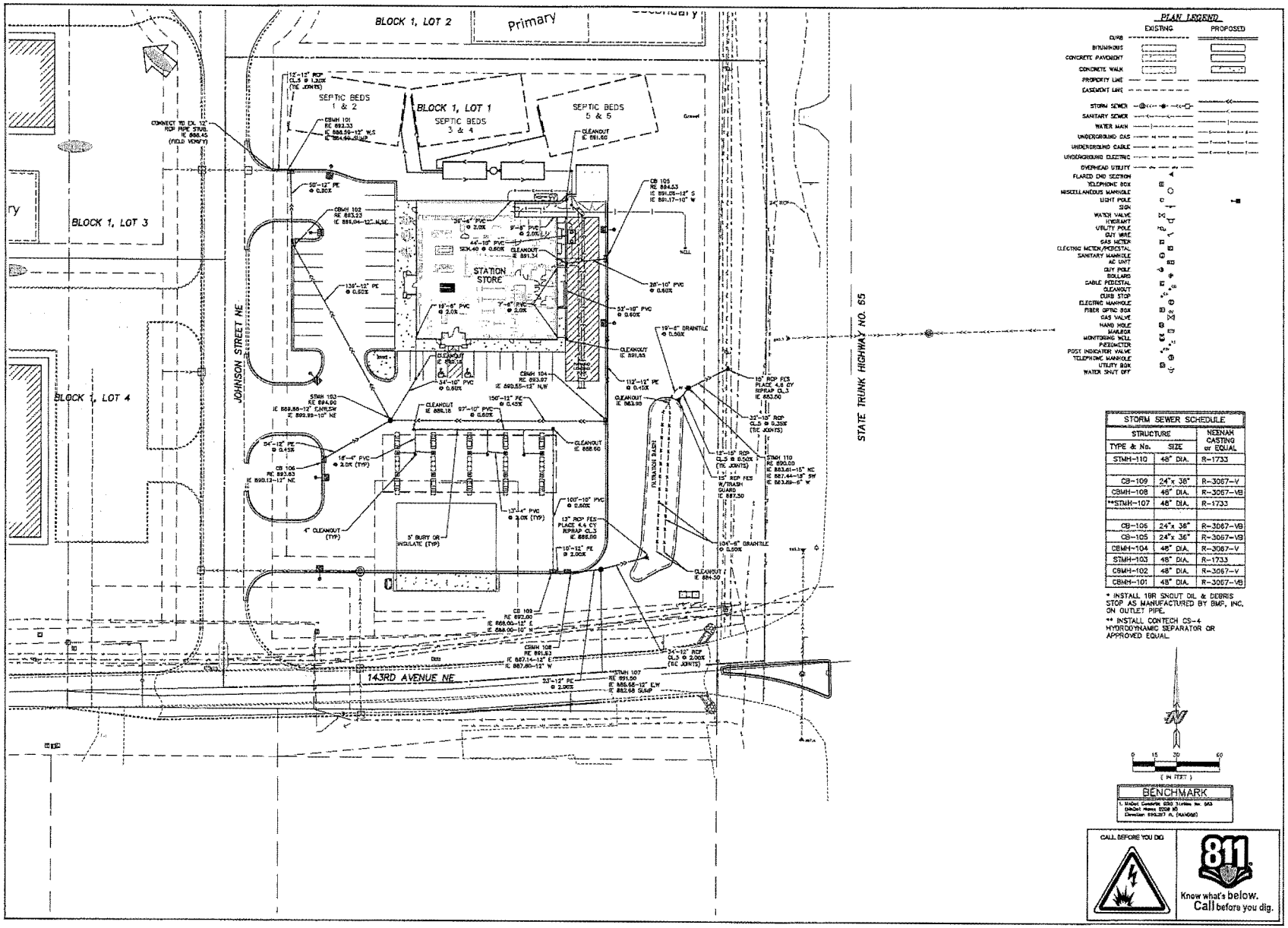
GRADE PLAN

CONVENIENCE STORE #1790

MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
4	08/30/25	Per City Comments
4	07/08/25	Per City Comments
4	06/03/25	Per City Comments
4	05/19/25	San. & WM Edits
4	10/08/25	Per City Comments
4	10/08/25	Per City Comments

DRAWN BY	DJW
SCALE	GRAPHIC
PROJ. NO.	11261-00
DATE	2025-01-31
SHEET	C200



STORM SEWER SCHEDULE		
STRUCTURE		NEENAH CASTING or EQUAL
TYPE & No.	SIZE	
STMH-110	48" DIA.	R-1733
CB-109	24"x 36"	R-3067-V
CBMH-108	48" DIA.	R-3067-VB
**STMH-107	48" DIA.	R-1733
CB-106	24"x 36"	R-3067-VB
CB-105	24"x 36"	R-3067-VB
CBMH-104	48" DIA.	R-3067-V
STMH-103	48" DIA.	R-1733
CBMH-102	48" DIA.	R-3067-V
CBMH-101	48" DIA.	R-3067-VB

* INSTALL 18R SNOUT OIL & DEBRIS STOP AS MANUFACTURED BY BMP, INC. ON OUTLET PIPE.

** INSTALL CONTECH CS-4 HYDRODYNAMIC SEPARATOR OR APPROVED EQUAL.

0 15 30 60
(IN FEET)

BENCHMARK

1. Nickel Concrete 0.50 Yellow Top DAS (Nickel Above 0.08 N) Elevation 890.287 ft. (NAVD88)

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LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CARLSON ENGINEERING
2446 PARKHURST AVENUE SHAKOPEE, SUITE 100, BLOOMINGTON, MN 55431
TEL 952.445.2940 | FAX 952.445.7418
CARLSON-ENGINEERING.COM

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Signature:
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STORM SEWER PLAN

CONVENIENCE STORE #1790

MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
1	06/30/25	Per City Comments
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6	10/08/25	Per City Comments

DRAWN BY	DJW
SCALE	GRAPHIC
PROJ. NO.	11291-00
DATE	2025-01-31
SHEET	C300

STORM DRAINAGE:

1. Unless otherwise indicated, use centrifugal, precast, reinforced manufactured boxes and catchbasins conforming to ASTM C478. Sumpfree with solid cast iron radial gratings and precast bases. Joints for all precast manufactured box sections shall have gaskets, meeting "O" ring specifications in accordance with ASTM C443. These joints are considered watertight to meet infiltration and exfiltration to a practical minimum and are consider for hydrostatic heads up to 30'. The main barrel diameter sizes shall be less than 48 inches.
2. Install catchbasin castings with adjusted rim elevation as shown.

3. All joints and connections in the storm sewer system shall be watertight or watertight. Use flexible compression seals to make watertight connections in manholes in accordance with Minnesota Rules part 4714.0713(4), where permitted by the administrative authority, approved resilient rubber seals or watertight gaskets may be used in order to make watertight connections to manholes, catchbasins, and other structures. Use forms: "Concrete Sewer Manhole" or "Large Diameter Watertight", Press-Seal "Watertight Connecting Band", or approved equal. Cement mortar joints more are not allowed unless leaking repairs or connections to existing sewer lines, with Jim's.
4. The building sewer starts 2 feet outside of the building. See Uniform Plumbing Code (UPC) part 715.1. Minimum installed cover 2 feet of the building must be of materials approved for sewer house or of which the building.
5. The exterior storm sewer piping must comply with the Minnesota requirements: (A) Flexible pipe may not be used for drainage within the horizontal portion (see Minnesota Rules, Chapter 4714, Section 715.5). Include proper pipe stops spread be installed on both of the lateral branches. (B) Changes in direction in drainage piping must be made by appropriate use of wyes and bends (see Minnesota Rules, Chapter 4714, Section 706.6). When connecting any vertical drop to a horizontal run, use a wye and a 1/8 bend (45 deg) or a sanitary tee. A sanitary tee is a combination wye and a 1/8 bend combined in a single fitting. The intent is to form a long radius bend in order to injury that the water is directed in the downstream direction as it enters the horizontal run. Tees are not allowed where the direction of flow changes from either vertical to horizontal or horizontal to horizontal.
6. PVC Pipe (Polyvinyl of the Polymers) (for water-mains, Schedule 40 Polyvinyl Chloride (PVC) Plastic Pipe for or underground PVC sewer sewer services outside of the building. The PVC pipe shall meet or exceed the minimum standard test requirements as set forth by the American Society for Testing and Materials (ASTM) D1785 and D2665. Fittings must meet ASTM D2665 and D3034. Use PVC pipe with a minimum wall thickness of SDR 35 (Standard Dimension Ratio 35) and of a stiffness classification of 46 in accordance with ASTM D3034. Joints sewer pipe in PVC pipe shall meet the requirements of ASTM F886 Bell-end pipe and cement in accordance with Uniform Plumbing Code (UPC) part 605.1.2. Pipe and related cement pipe shall be label with PVC cement conformance to ASTM D2564. The installation shall comply with ASTM D2321, which requires cement-bench installation on a continuous granular bed.
7. Cleanouts: Install cleanouts on all roof drains. Cleanouts shall be installed at every wye, sweep, and bend. Install cleanouts on all storm sewer services in accordance with UPC part 719.0 and 719.1. The minimum between cleanouts in horizontal piping shall not exceed 100 feet for pipes 4-inches and over in size. Cleanouts will be of the same nominal size as the sewer they serve. Include bend sweeps and concrete thrust blocks and pipe support. Install a cleaner between every one mile (Ramsey R-4114-A, or approved equal) over all cleanouts. Provide cleanouts at the base of the roof leader connections at the gas line drains points installed.
8. Fittings: Provide standard fittings for the storm sewer service the pipe sizes parts stations. All changes in direction of flow in drain piping shall be made by the appropriate use of 45 degree wyes, bend or elbow, sweep sweeper bends, tees, signals, or cleanouts bends, or by a combination of these or other approved fittings.
9. RCP: Reinforced concrete pipe (RCP) and fittings used conform to ASTM C76, Grades C, with circular reinforcing for the sizes of pipe specified. Use Class IV RCP for pipes 24" and larger. Use Class V RCP for pipes 24" and smaller. Joints shall be made up of compatible gaskets with a primer on the spigot for an O-ring rubber gasket (also referred to as a confined fitting type joint) in accordance with ASTM C361. Place joints are generally used or gently sewers where exceptional tightness is required. This type of joint includes confined between with tightness in both the transport and installed condition and meets all the joint requirements of ASTM C361.
10. RC sewer: Install a reinforced concrete sewer on the trap end of all downspouts RCP storm sewer pipes. Use the best sewer sections (including spigots) of an appropriate RCP storm sewer and a minimum of one 90 deg elbows per joint. This requirement applies to both upstream and downstream pipe joints and outlets. For concrete laterals, for all joints. Use to be used only to hold the pipe sections together, not for pulling the sections tight. Wide mortar joints are not required on inside or 0.75 mm (1/2 inch) or less diameter pipes.
11. Joints in horizontal pipes: Install watertight joints on all sewer lateral pipes greater than 6 inches in diameter. Install the joints and pipes so that joints are not more than 3 inches penetration of the circumference. Joints in bell and spigot pipe shall have a gap of 3/8 inch for pipe 24 and smaller. Joints shall be made up of compatible surfaces with a primer on the spigot for an O-ring rubber gasket (also referred to as a confined fitting type joint) in accordance with ASTM C361. Place joints are generally used or gently sewers where exceptional tightness is required. This type of joint includes confined between with tightness in both the transport and installed condition and meets all the joint requirements of ASTM C361.
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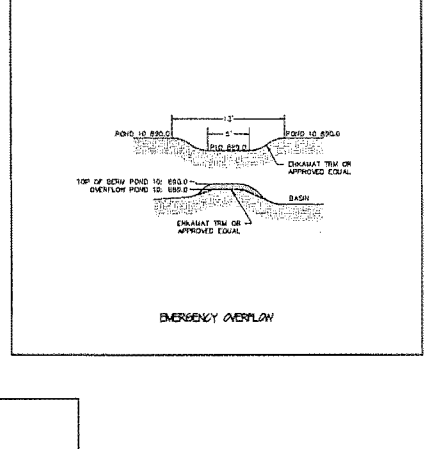
13. Joints in horizontal pipes: Install watertight joints on all sewer lateral pipes greater than 6 inches in diameter. Install the joints and pipes so that joints are not more than 3 inches penetration of the circumference. Joints in bell and spigot pipe shall have a gap of 3/8 inch for pipe 24 and smaller.
14. Lateral: Test all portions of storm sewer that are within 10 feet of buildings, within 10 feet of house water lines, within 50 feet of water wells, or that pass through soil or water tributary to being contaminated in accordance with the Minnesota Rules part 4714.1000 and UPC part 715.0. Test all header stubs sewer lines for infiltration after the sewer line has been installed and backfill has been in place for at least 30 days. The pipe shall exceed a deflection of 5% of the test table, make necessary repairs and retest.
15. Lateral: In accordance with Minnesota Rules part 4714.1010.5, use permanent polymer structure PVC (ASTM D3034) or corrugated polyethylene PE (ASTM F1803) on all sewer laterals in locations in accordance. Install gaskets with high resiliently molded bell assembly (Sanco) Blue mark per ASTM D3139-98. Model 3033 Type 1 press seal harmonious fabric shall not be used. Provide pipe directly connected to the storm sewer is installed on storm sewer. Provide test structures to the main house that be above the storm sewer outlet elevations.
16. Use Rubber O-ring gaskets meeting with such that or approved equal, or CB gl, CB-ml, CB-m and CB gl. Coating that indicate the "NO SCAPING DRAINS TO WATER" environmental notice.
17. Use Jim's 2000 Branch drain model 0600N with black, with cantilever heavy duties metal grate — Grass C for proposed branch drain.
18. Use Neenah Foundry Co. R-3142 casting with self-sealing, solid light of RL or approved equal, on all storm sewer maintenance holes. Ensure clear cover the "Storm Sewer" label.
19. Joint Wrap: Install bedding wrap on all connections and maintenance storm sewer, sanitary sewer, and water lines in accordance with the Minnesota Rural Water Association (MRWA) Trenchless Specification Guide and Details (www.mrwa.com/PDF/TrenchlessSpecificationTechnical.pdf). Use 812 HDPE-generated copper-free plate wire rated for underground service. The wrap of the bedding fabric shall be an Aqua-Wrap or approved equal. Use Aqua-Wrap Corrosion Control Wrap or approved equal. Use Aqua-Wrap Corrosion Control Wrap or approved equal. Install the Aqua-Wrap Corrosion Control Wrap on the pipe to the joint line. Install the wrap to the joint line around the corresponding utility. Do not permit the trench wrap to be entirely corrosion-safe. Use Copperhead Brass Jr-Type or Lockline Snap Wire connectors rated for underground strata; both applications as approved equal as of connectors or service connections. Tubes on connectors are not allowed. These wire must be properly grounded at all sewer ends and probes. Install grounded/non-grounded wire access boxes and minimum grounding clamps at all field ends, services, and the hydrants. Trace wire access boxes must be color coded as follows: sewer, wastewater, sanitary sewer/system, and water distribution.
20. Detectable Warning Tape: Install detectable underground warning tape directly above all underground utilities at a depth of 12 inches (30 inches) from finished grade, unless otherwise indicated. Underground warning tape shall be 3-inches wide with a minimum 3.0 mil overall thickness. Tape shall be manufactured using a 0.5 mm foil core with perpendicular film, metallic grained and aluminum to a 0.35 mil foil aluminum foil core, and this reinforced to a 0.35 mil mesh wrap polyethylene film. The aluminum backing makes underground warning wire to be used as a non-tracer locator. Tape shall be printed using a diagonally stamped design for maximum visibility and meet the APWA Color-Code standard for identification of buried utilities. Use Marking Safety Products (www.markingsafety.com) detectable warning tape or approved equal.
21. Install manufacturer's instructions of the installed materials on the jobs in accordance with MNDOT Standard Specification 2000 and MNDOT Standard Plans for 2412C.
22. The minimum depth of cover for buildings and sewer mains shall shall between without insulation is 6 feet. Insulate road drain sewers at locations where the depth of cover is less than 5 feet. Provide a minimum insulation thickness of 2 inches. The insulation shall be at least 4 feet wide and centered on the pipe. Install the insulation sewer 3 feet wide the

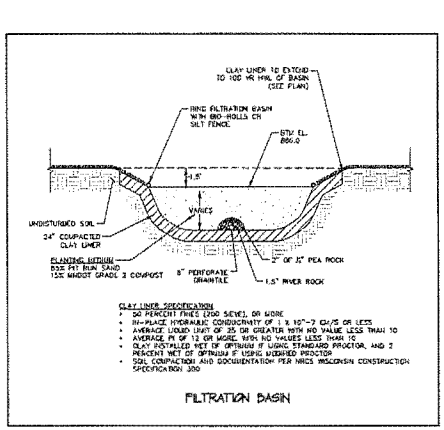
Pipe at the pipe on microsensory compacted and loose pipe bedding material. Use high density, closed cell, rigid based material equivalent to DOW Styrofoam IV-40 greater than insulation.

21. Install all pipe with the ASTM Installation specifications on the top for inspection. Commence pipe laying at the lowest point in the proposed sewer line. Lay the pipe with the bell end or removing spaces and at the pipe starting upgrade from connecting to an existing pipe, whether the existing pipe is open to sewer line also requirements in the proposed flow and grade before laying any pipe. Do not lay pipe in water or when the trench conditions are unsuitable for such work.
22. Line pipeline with 3" solid impermeable clay tile pipe.
23. Clean sediment and debris from sewers, culverts and stormwater basins prior to final sewer acceptance.
24. Inspection of existing lines prior to connection.
25. Provide a final storm sewer management report that will serve to verify that the intent of the approved storm water management design has been met. The report shall include record drawings, measurements, and photographic evidence of the as-built storm water management system. The report shall quantitatively list all aspects of the original design have been adequately provided for by the construction of the project.
26. Install finger drains at each and every proposed catchbasin (see detail). Finger drains assume storm water basin lines and be flexible lines. The intent of the storm drain piping.

HDPE REQUIREMENTS:

1. Install dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe at locations indicated on the plan. High-density polyethylene (HDPE) storm sewers must meet ASTM F714 (see Minnesota Rules, Chapter 4714 and Installation Standard 1).
2. Dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe shall conform to the requirements of AASHTO M252 for pipe sizes 4-inch to 10-inch diameter. Dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe must conform to the requirements of AASHTO M294 (smooth HDPE material) for pipe sizes 12-inch to 60-inch diameter.
3. All fittings must comply with ASTM Standard D3212.
4. Watertight joints must be used at all connections (infiltration structures) in conformance with ASTM F2306.
5. HDPE pipe connections into all concrete structures shall be made with water tight manholes utilizing flexible "Kwick Gasket" along with Press-Seal or Non-to-Tail "Watertight Connection", Cinch-A-Seal "Proven Watertight Connection", or approved equals. When the adjacent pressures are use of the above approved watertight methods. Kimmel 231 Watertight gaskets, or approved equal will only be allowed as approved by the administrative authority.
6. Use an HDPE pipe on a continuous granular bed. Installation must comply with ASTM D2321, All patterns of the corrugated HDPE pipe shall be coupled in order to provide watertight joints.
7. Perform exfiltration tests on all HDPE pipe after the sewer has been installed and backfill has been in place for at least 30 days. The pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and perform the test again until acceptable. Apply the standard for exfiltration testing. If the exfiltration test is to be per cubic feet per minute, it will have a diameter equal to 4.5% of the inside diameter of the pipe. The test or manufacturer must be clearly stamped with the diameter. Perform the tests without mechanical pulling devices.





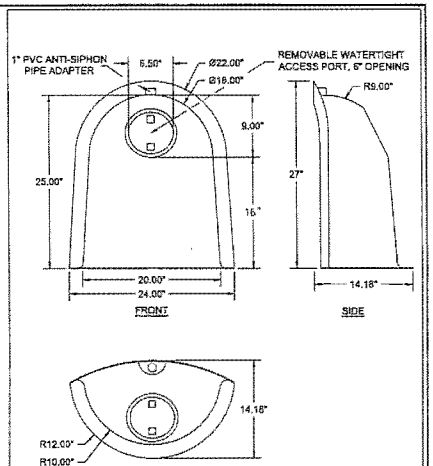
CLAY LINER SPECIFICATION

- 50 PERCENT FINES (200 SIEVE), OR MORE
- IN-PLACE HYDRAULIC CONDUCTIVITY OF 1 X 10^-7 CM/S OR LESS
- AVERAGE LIQUID LIMIT OF 35 OR GREATER WITH NO VALUE LESS THAN 10
- AVERAGE PI OF 12 OR MORE WITH NO VALUES LESS THAN 10
- CLAY INSTALLED WET OF OPTIMUM IF USING STANDARD PROCTOR, AND 2 PERCENT WET OF OPTIMUM IF USING MODIFIED PROCTOR
- SOIL COMPACTION AND DOCUMENTATION PER NRCS WISCONSIN CONSTRUCTION SPECIFICATION 300

FILTRATION BASIN

INFILTRATION AREA CONSTRUCTION:

1. Protect the infiltration area from compaction and contamination of adjacent soils.
2. Report any signs of high water table or compaction of the in place soil to the Engineer.
3. Schedule the construction so that excavation of the infiltration system to final grade occurs after the construction storage area have been stabilized and the site is protected from sediment. Excavate the infiltration area to the proposed bottom elevation. Do not excavate to the final grade without leaving a layer of the final grade without. Leave the excavation to the depth that will allow the final grade to be achieved using equipment that will not compact the soil in the proposed infiltration system. Use hand equipment if required to prevent compaction. Keep equipment off of the infiltration area before or after construction.
4. Scarify the bottom of infiltration areas to a depth deep, shallow, narrow, and level. Remove any loosened soil that may be left behind from the scarification operation.
5. Excavation or infiltration areas shall be compacted using a backhoe with a toothed bucket.
6. The bottom excavation surface of infiltration areas shall be level without slope or mounds.
7. Install pots in infiltration areas shall be de-compacted to a minimum depth of 18 inches prior to placing planting media or mulch.
8. Planting media and mulch shall remain uncontaminated (not mixed with other soil) before and during installation.
9. During construction, stormwater must be routed around infiltration areas until all construction activity has ceased and tributary surface are diverted or restored.
10. Installation of infiltration practices shall be done during periods of dry weather and completed before the rainfall event. Placement of planting media or mulch shall be on dry surface soil only.
11. Use riprap erosion prevention and sediment controls (e.g. diversion berms) during the construction of the infiltration system in order to keep sediment and runoff completely away from the infiltration area.
12. Prevent an infiltration area in order to ensure that no sediment from ongoing construction activity is entering the infiltration area and that there were no pollutant from compaction due to construction equipment during stress for infiltration areas.
13. Prior to construction, provide dual-ring infiltrometer testing (ASTM D-3385) at the infiltration site in order to verify infiltration rates used for the design. The tests shall be performed at the bottom elevation of the infiltration basin and shall be performed by a qualified geotechnical professional. Do not begin construction until soil type and infiltration rate information has been made. Perform a minimum of 2 tests at each infiltration site (0.2-acre bottom area or less). Perform 3 additional tests for every additional 0.2-acre of bottom area. Verify the number of tests with the geotechnical professional and the governing authorities.
14. 3/8" of engineered soil is to be used as the surface layer of the infiltration basin. It shall consist of 40% by volume coarse sand, topsoil (30% by volume) fine sand, 30% by volume fine sandy loam or loamy sand textures, and 30% (40 by volume compost material.
15. Gravel filter aggregate shall be a free draining mineral product, including crushed carbonate quarry rock, limestone, crushed serpentine, and washed bituminous material.
16. After final grading, fill the floor of the infiltration area to a depth of 40 inches in order to provide a well aerated, porous surface texture. Fill to 8 inches of compost material if the site contains compaction.
17. Place of mechanical materials abandoned and away from the infiltration area during and after installation.
18. Stabilize the bottom and sideslopes of the infiltration area immediately following construction of the basin.
19. Use rubber SBR (Styrene Butadiene Rubber) 33-201, apply seed mixture at a rate of 25 lbs per acre in accordance with MNDOT Standard Spec. 2575. Incorporate a Type 3 Artificial Bales mulcher (see with 50 lbs mulch) consisting of 22-3-6-10 (Nitrogen) into the soil at an application rate of 200 lbs per acre by disking prior to seeding. Process the soil to incorporate with MNDOT Standard Spec. 2574-2.
20. Construct a water weir in accordance with MNDOT Standard Spec. 1515.3. Place water weirs with a water weir with a stop 3 inches wide, a table weirs at the appropriate dam approximate elevation of each weirs. Use a soft capacity of approximately matching the types of weir shelves and capacity or maintaining a uniform height of water during drifting. Use a soil with dam, barrier aquatic and a water accessory to connect the soil directly over the dam. Seed dam weirs in most downstream greater than 3 inches quart. Place water in a 3 inch planting depth with 1 inch to 1 inch. Perform dam seeding at a right angle to barrier drainage. A drop pipe weir equipped with a separate seed dam for the body seed and a soil parter accordingly may be used in place of a dam with the element. Use a system of spillway type weirs on areas no greater than 1 acre or on areas inadjacent to other equipment, as approved by the Engineer. Lightly harrow or rake the site following harrowing in order to achieve a firm seed bed.
21. Comply with the requirements of MNDOT Standard Spec. Table 2575-1 for amount of planting water used indicator. The approximate dates for going seeding are from April 15 through July 25. Fall seeding dates are from September 20 to October 20. Dormant seeding dates are from October 20 to November 15. Dormant seeding will only be allowed if the maximum soil temperature at a depth of 3 inch does not exceed 40 degrees F in order to prevent germination. Have the dates in the section of planting methods covering of the permanent seed mixture, apply temporary seeding and mulch in order to comply with the requirements of the GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY and then apply permanent seeding at a later date.
22. Water and maintain seeded areas on a timely depending basis. In the event of a seeding failure, reseed and remulch the area when the original seed has failed to grow and perform adequately and/or be inventory at the discretion of the Engineer.
23. Maintenance of Area Planted With Native Cover: To reduce weed establishment, mow 2 to 3 times (30 days apart) during the first year with the mower deck height 6" - 8" off the ground. Mow one time during the 2nd year before seeds set fruit seeds. Mow once every 3 to 5 years following the initial 3 years of maintenance in order to remove dead plant materials and stimulate new growth.



U.S. PATENT #6128817 ADDITIONAL PATENTS PENDING

DESIGNED TO FIT 48"-60" DIAM. STRUCTURES

RECOMMENDED SUMP DEPTH 2.5 TO 3X OUTLET PIPE I.D

BMP, INC.
53 MT. ARCHER ROAD, LYNIE, CT. 06371
(800) 504-8008 FAX: (860)434-3165

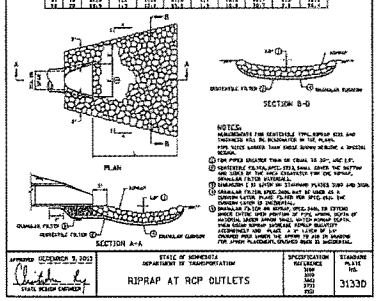
DESCRIPTION	DATE	SCALE
SIR SHOUT OIL & DEBRIS STOP	06/09/99	1:10/IE
	DRAWING NUMBER 18R	

TABLE OF QUANTITIES
RIPRAP AT RCP OUTLETS

PIPE DIA.	L	CLASS I Rip = 1' 60-90 TONS/SQ FT (LBS)	24" DEPTH FILTER UNDER RIPRAP (CU. YD.)	24" DEPTH RIPRAP (CU. YD.)	CLASS II Rip = 1.5' 90-120 TONS/SQ FT (LBS)	24" DEPTH FILTER UNDER RIPRAP (CU. YD.)	24" DEPTH RIPRAP (CU. YD.)	CLASS III Rip = 2' 120-150 TONS/SQ FT (LBS)	24" DEPTH FILTER UNDER RIPRAP (CU. YD.)	24" DEPTH RIPRAP (CU. YD.)
12	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
15	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
18	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
21	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
24	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
27	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
30	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
36	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
42	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
48	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
54	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
60	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4

TABLE OF QUANTITIES
RIPRAP AT RCP-A OUTLETS

PIPE DIA.	L	CLASS I Rip = 1' 60-90 TONS/SQ FT (LBS)	24" DEPTH FILTER UNDER RIPRAP (CU. YD.)	24" DEPTH RIPRAP (CU. YD.)	CLASS II Rip = 1.5' 90-120 TONS/SQ FT (LBS)	24" DEPTH FILTER UNDER RIPRAP (CU. YD.)	24" DEPTH RIPRAP (CU. YD.)	CLASS III Rip = 2' 120-150 TONS/SQ FT (LBS)	24" DEPTH FILTER UNDER RIPRAP (CU. YD.)	24" DEPTH RIPRAP (CU. YD.)
12	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
15	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
18	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
21	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
24	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
27	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
30	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
36	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
42	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
48	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
54	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4
60	12	12.0	0.4	0.4	12.0	0.4	0.4	12.0	0.4	0.4



NOTES:
MEASUREMENTS FOR GEOTEXTILE TYPE, RIPRAP SIZE AND THICKNESS ARE ALL INDICATED ON THE PLANS.
FOR SIZES LARGER THAN SHEET SHOWN REFLECT A SPECIAL DESIGN.
① FOR PIPES SMALLER THAN OR EQUAL TO 30", USE 12".
② GEOTEXTILE FILTER MATERIAL SHALL COVER THE BOTTOM AND SIDES OF THE AREA CONTACTED FOR THE RIPRAP, GRANULAR FILTER MATERIALS.
③ GRANULAR FILTER MATERIAL SHALL BE MNDOT GRADE 1 SAND AND SHALL MEET THE MNDOT SPEC. 3149.2.
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APPROVED DECEMBER 3, 2003
STATE DESIGN ENGINEER

STATE OF MINNESOTA
DEPARTMENT OF TRANSPORTATION

RIPRAP AT RCP OUTLETS

SPECIFICATION REFERENCE: 3000, 3149, 3151, 3733, 3733

STANDARD PLATE NO. 3133D

KWIK TRIP

KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CARLSON ENGINEERING

2040 PARKMONT AVENUE S.E. SUITE 100, BLAINE, MN 55449
TEL: 763-493-7900 F: 763-493-2910
CARLSON-ENGINEERING.COM

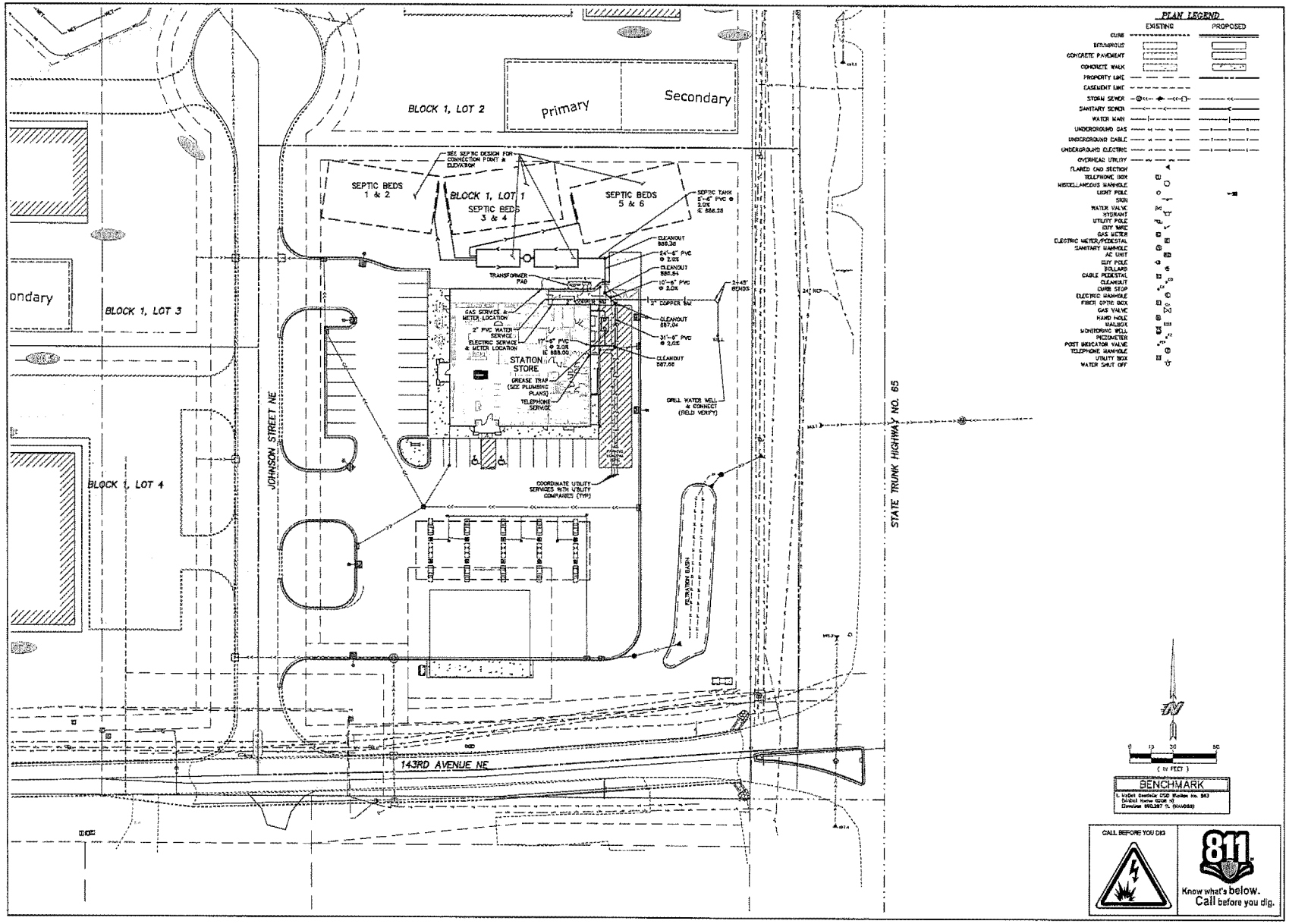
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Name: Daniel T. Willey, P.E.
Signature:
Date: 01/31/05 License #: 53149

STORM SEWER
NOTES & DETAILS
CONVENIENCE STORE #1790
MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
4	08/08/25	Per City Comments
3	07/08/25	Per City Comments
2	06/03/25	Per City Comments
1	05/10/25	Sun. & WM Edits
0	10/08/25	Per City Comments
1	10/08/25	Per City Comments

DRAWN BY	DJW
SCALE	GRAPHIC
PROJ. NO.	11281-00
DATE	2025-01-31
SHEET	C301



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PH. (608) 781-8968
FAX (608) 781-8950

CARLSON ENGINEERING

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Daniel J. Wiley, P.E.
Signature:
Date: 01/31/25 License #: 53187

UTILITY PLAN

CONVENIENCE STORE #1790

MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
1	06/30/25	Per City Comments
2	07/08/25	Per City Comments
3	09/02/25	Per City Comments
4	09/19/25	Sep. 8 WM Edits
5	10/06/25	Per City Comments
6	10/30/25	Per City Comments

DRAWN BY	DJW
SCALE	GRAPHIC
PROJ. NO.	11281-00
DATE	2025-01-31
SHEET	C400

GENERAL:

1. Existing boundary, location, topographic, and utility information shown on this plan is from a field survey by Carlson Mccain, Inc. dated 8/7/24. The Engineer is not responsible for inaccuracies related to the survey information.
2. Perform all construction work in accordance with State and Local requirements.
3. Perform all construction activity in accordance with the Minnesota Pollution Control Agency GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY issued August 1, 2023 and all subsequent amendments thereto.
4. Comply with all applicable local, state, and federal safety regulations. Comply with the safe safety practices specified by the Occupational Safety and Health Administration (OSHA). OSHA prohibits entry into "confined spaces," such as manholes and inlets (see 29 CFR Section 1910.146), without undertaking certain specific practices and procedures. Bench or slope sidewall in order to provide safe working conditions and stability for the placement of engineered fill. Perform excavations in accordance with the requirements of O.S.H.A. 29 CFR, Part 1926, Subpart P, Excavations. The Contractor is responsible for naming the "Competent Individual" in accordance with CFR 1926.6. Sloping or benching for excavations greater than 20 feet deep must be approved by a registered professional engineer (www.osha.gov).
5. Safety is solely the responsibility of the Contractor, who is also solely responsible for the construction means, methods, techniques, sequences or procedures, and for safety precautions and programs in connection with the Work.
6. The Engineer shall not have control over, charge of, or responsibility for the construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Work. The Engineer's review shall not constitute approval of safety precautions or of any construction means, methods, techniques, sequences, or procedures.
7. Examine all local conditions of the site, and assume responsibility as to the grades, contours, and the character of the earth, existing conditions, and other items that may be encountered during excavation work above or below the existing grades. Review the drawings, specifications, and geotechnical report covering this work and become familiar with the anticipated site conditions.
8. Refer to the architectural plans for building and stoop dimensions, site layout and dimensions, pavement sections and details, striping, and other site features.
9. A licensed surveyor shall perform construction staking. The Contractor shall provide and be responsible for the staking. Verify all plan and detail dimensions prior to construction staking. Stake the limits of manways and curbing prior to elevation, maintenance hole, and catchbasin installation. Adjust valvejars and maintenance hole locations in order to avoid conflicts with curb and gutter. Adjust catchbasin locations in order to align properly with curb and gutter.
10. Provide temporary fences, barricades, coverings, and other protections in order to preserve existing items to remain, and to prevent injury or damage to person or property.
11. [illegible]

[illegible]

WATER DISTRIBUTION SYSTEM:

[illegible]

SANITARY SEWER:

1. Unless otherwise indicated, use reinforced, precast, concrete maintenance holes conforming to ASTM C478 furnished with precast bases. Sanitary sewer maintenance holes shall be supplied with pre-formed inverts and flexible neoprene sleeve connections for all lateral lines 375 mm (15 inches) in diameter or less, unless otherwise indicated. Joints for all precast maintenance hole sections shall have confined, rubber "O"-ring gaskets in accordance with ASTM C443. These joints are normally used in sewers to hold infiltration and exfiltration to a practical minimum and are adequate for hydrostatic heads up to 30'. The inside barrel diameter shall not be less than 48 inches.
2. All joints and connections in the sewer system shall be gastight or watertight. Use flexible compression joints to make watertight connections to manholes in accordance with Minnesota Rules part 4714.0719.6. Where permitted by the administrative authority, approved resilient rubber joints or watertight gaskets must be used in order to make watertight connections to manholes and other structures. Use Fernco "Concrete Manhole Adapters" or "Large Diameter Waterstops", Press-Seal "Waterstop Grouting Rings", or approved equal. Cement mortar joints are permitted only for repairs or connections to existing lines having such joints.
3. The building sewer starts 2 feet outside of the building. See Uniform Plumbing Code (UPC) part 715.1. Material installed within 2 feet of the building must be of materials approved for use inside of or within the building.
4. The exterior sanitary sewer piping must comply with the following requirements: (A) Double wyes may not be used for drainage fittings in the horizontal position (see Minnesota Rules, Chapter 4714, Section 310.3). Proper pipe slope cannot be maintained on both of the offset branches. (B) Changes in direction in drainage piping must be made by appropriate use of wyes and bends (see Minnesota Rules, Chapter 4714, Section 706.0). Tees are not allowed where the direction of flow changes from either vertical to horizontal or horizontal to horizontal.
5. Pipe: Use solid-wall, Schedule 40 Polyvinyl Chloride (PVC) Plastic Pipe for all designated PVC sanitary sewer services outside of the building. The PVC pipe shall meet or exceed the industry standards and requirements as set forth by the American Society for Testing and Materials (ASTM) D1785 and D2665. Fittings must comply with ASTM D1866, D2665, or F794. Joints must be approved mechanical or push-on utilizing an elastomeric seal. Use of solvent cement joints is allowed for building services. Solvent cement joints in PVC pipe must include use of ASTM F656 purple primer and cement in accordance with Uniform Plumbing Code (UPC), part 605.13.2. Pipe with solvent cement joints shall be joined with PVC cement conforming to ASTM D2564. The installation must comply with ASTM D2321, which requires open-trench installation on a continuous granular bed.
6. Cleanouts: Install cleanouts on all sanitary sewer services in accordance with UPC part 719.0 and 1101.12. The distance between cleanouts in horizontal piping shall not exceed 100 feet for pipes 4-inch and over in size. Cleanouts shall be of the same nominal size as the pipes they serve. Include frost sleeves and concrete frame and pipe support. Install a meter box frame and solid lid (Neenah R-1914-A, or approved equal) over all cleanouts.
7. Testing: Pressure test all sanitary sewer lines in accordance with the Minnesota Rules parts 4714.0712 and 4714.0723 and UPC parts 712.0 and 723.0. Test all flexible sanitary sewer lines for deflection after the sewer line has been installed and backfill has been in place for at least 30 days. The pipe shall not exceed a deflection of 5%. If the test fails, make necessary repairs and retest.

[illegible]

KWIK TRIP

KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CARLSON ENGINEERING

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Daniel J. Wilke, P.E.
Signature: [signature]
Date: 01/31/25 License #: 53182

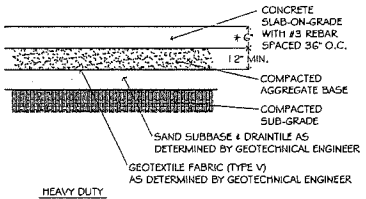
UTILITY NOTES

CONVENIENCE STORE #1790

MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
3	06/30/25	Per City Comments
4	07/08/25	Per City Comments
5	09/03/25	Per City Comments
6	09/18/25	San. & WM Edits
7	10/08/25	Per City Comments
8	10/08/25	Per City Comments

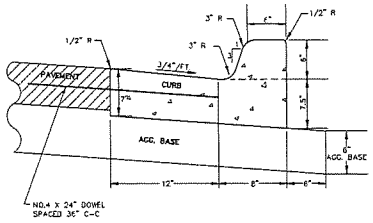
DRAWN BY	DJW
SCALE	GRAPHIC
PROJ. NO.	11281-00
DATE	2025-01-31
SHEET	C401



HEAVY DUTY
INCREASE TO 8" THICK W/ #4 REBAR SPACED 36" O.C. AS NOTED ON PLANS (I.E. OVER TANKS & AT ENTRANCES)

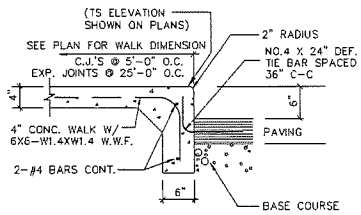
NOTE:
PAVEMENT SECTION TO BE VERIFIED W/ GEOTECHNICAL REPORT.

1 | 6" CONCRETE PAVEMENT SECTION (LIGHT DUTY)
C500 | NO SCALE

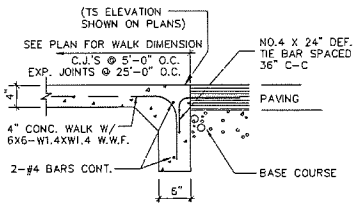


* INPUT CURB SHALL SLOPE OUT AT 3/4" PER FOOT.

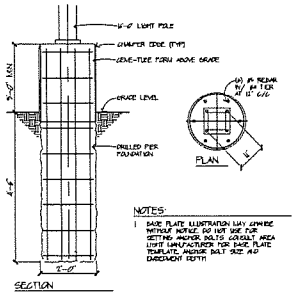
2 | B-612 CONCRETE CURB & GUTTER
C500 | NO SCALE



3 | SIDEWALK/ CURB DETAIL
C500 | NO SCALE

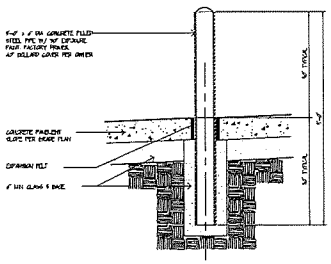


4 | SIDEWALK/ CURB DETAIL (FLUSH PAVEMENT)
C500 | NO SCALE

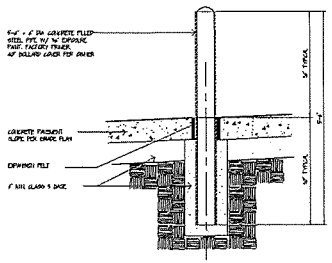


NOTES:
1. BASE PLATE ILLUSTRATION MAY CONTAIN METRIC NOTICE. DO NOT USE FOR SETTING ANCHOR BOLTS. CONTACT AREA LIGHT MANUFACTURER FOR BASE PLATE TEMPLATE, ANCHOR BOLT SIZE AND EMBEDMENT DEPTH

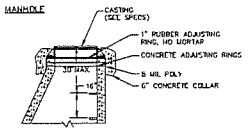
5 | ROUND AREALIGHT FOUNDATION
C500 | NO SCALE

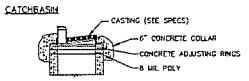


6 | 6" PIPE BOLLARD - 5'
C500 | NO SCALE



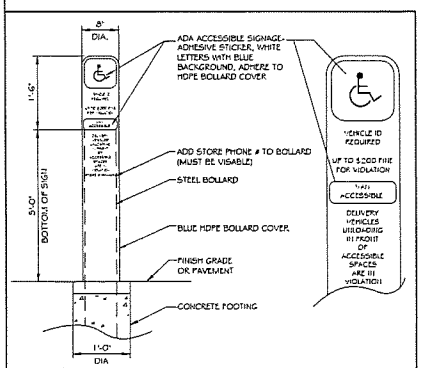
7 | 6" PIPE BOLLARD - 5'-6"
C500 | NO SCALE



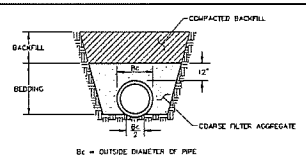


NOTES:
1. USE MINIMUM OF 2-0.2' ADJUSTING RINGS, MAXIMUM OF 5-0.2' ADJUSTING RINGS, ALL SET IN MORTAR.
2. MANHOLE STEPS SHALL BE PER MNDOT PLATE 4180, TYPE V. STEPS SHALL BE LOCATED ON UPSTREAM WALL FOR PIPE SIZES UP TO AND INCLUDING 15" AND ON SIDE WALL FOR GREATER THAN 15".
3. MOS FOR SANITARY SEWER SHALL BE MARKED "SANITARY"

8 | ADJUSTING RINGS & STEPS
C500 | NO SCALE

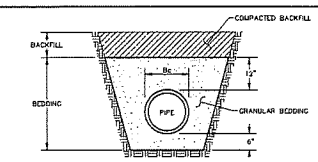


9 | ADA BOLLARD SIGNAGE
C500 | NO SCALE

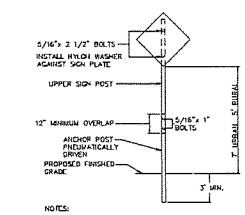


Bc = OUTSIDE DIAMETER OF PIPE

10 | DIP & RCP PIPE BEDDING
C500 | NO SCALE

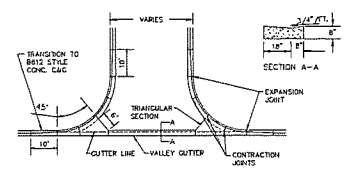


11 | PVC PIPE BEDDING
C500 | NO SCALE



NOTES:
1. MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH CITY SPECIFICATIONS.
2. SIGN PANELS-REFLECTIVE SHEETING, HIP DIAMOND GRADE.
3. BOLTS SHALL BE TAMPER PROOF.
4. FLANGED CHANNEL SIGN POSTS SHALL BE PAINTED GREEN, 3 LB./L.F. AND 7' LONG
5. SIGNS INSTALLED IN CONCRETE SHALL HAVE AN APPROVED BREAK-AWAY DEVICE.
6. EDGE OF SIGN SHALL BE MINIMUM 18" FROM BACK OF CURB.

12 | TRAFFIC SIGN INSTALLATION
C500 | NO SCALE



13 | CONCRETE VALLEY GUTTER
C500 | NO SCALE

KWIK TRIP

KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8950

CARLSON ENGINEERING
2598 PHEASANT RIDGE DRIVE NE, SUITE 200, BLAINE, MN 55449
TEL 763.483.7900 | FAX 763.483.7979
CARLSON-ENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Daniel J. Willer, P.E.
Signature:
Date: 01/31/25 License #: 53182

DETAILS

CONVENIENCE STORE #1790

MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
3	06/30/25	Per City Comments
4	07/09/25	Per City Comments
5	09/03/25	Per City Comments
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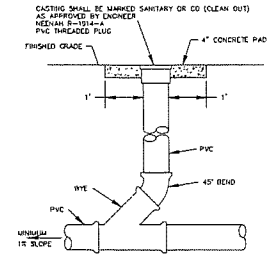
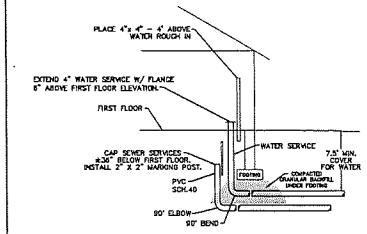
DRAWN BY	DJW
SCALE	GRAPHIC
PROJ. NO.	11291-00
DATE	2025-01-31
SHEET	C500



NOTES:
- ALL JOINTS SHALL BE SOLVENT WELD EXCEPT AS NOTED
- CLEAN OUTS ARE REQUIRED AT 100' SPACING AND AT CHANGE OF DIRECTION.
- ALL CLEAN OUTS SHALL BE EQUIPPED WITH A FROST SLEEVE.

1 | SERVICE CLEAN OUT
C501 | NO SCALE

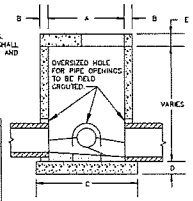


WATER NOTES: 4" WATER SERVICE W/FLANGE SHALL BE EXTENDED TO 6" ABOVE FIRST FLOOR ELEVATION. ALL SERVICES SHALL BE MARKED WITH A 4" X 4" POST, 4' ABOVE GRADE.

SEWER NOTES: SANITARY SEWER SERVICES FOR BUILDINGS SHALL BE EXTENDED VERTICALLY TO APPROXIMATELY 36" BELOW FIRST FLOOR ELEVATION AND CAPPED. ALL SERVICES SHALL BE MARKED WITH A 2" X 2" POST.

2 | SANITARY & WATER SERVICE INSTALLATION
C501 | NO SCALE

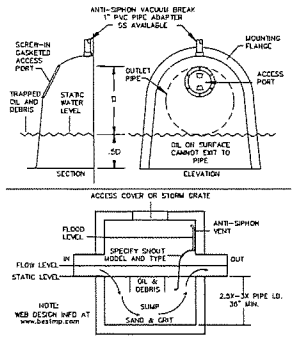
NOTES:
1. 54" THRU 120" DIA. STRUCTURES ARE MANUFACTURED WITH BELL END FACING DOWN.
2. STRUCTURES ARE MANUFACTURED IN ACCORDANCE WITH ASTM C-478 AND MDOT 611 WITH RUBBER GASKET JOINTS
3. PROVIDE MORTAR FILLETS TO FIT THE BOTTOM PORTION OF PIPE TO DIRECT FLOW TO OUTLET HALF-WAY UP PIPE MINIMUM.
4. COVER SLAB DESIGN VARIES WITH CASTING.
5. REINFORCING STEEL SHALL BE PER ASTM C-478 AND MDOT 611.



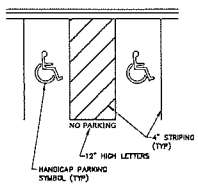
A	B	C	D	E
48"	5"	84"	8"	8"
54"	5.5"	72"	8"	8"
60"	6"	78"	8"	8"
66"	6.5"	85"	8"	8"
72"	7"	92"	8"	8"
78"	7.5"	105"	8"	8"
84"	8"	105"	8"	8"
90"	8.5"	114"	8"	8"
96"	9"	120"	8"	8"
108"	9.5"	123"	12"	8"
108"	10"	132"	12"	12"
120"	10"	146"	12"	12"

STANDARD STORM SEWER CATCH BASIN/MANHOLE & MANHOLE

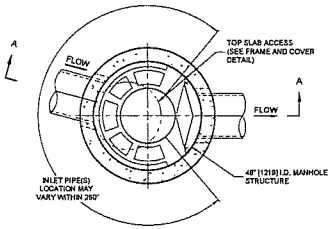
3 | NO SCALE
C501



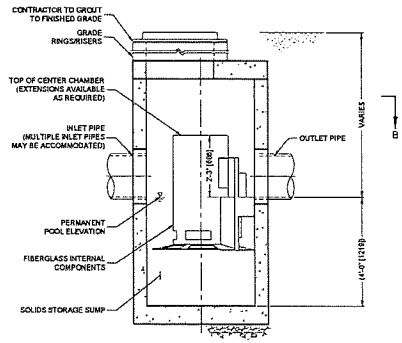
4 | "SHOUT" OIL-WATER-DEBRIS SEPARATOR
C501 | NO SCALE



5 | HANDICAP PARKING SPACE STRIPING
C501 | NO SCALE



PLAN VIEW B-B
NOT TO SCALE



ELEVATION A-A
NOT TO SCALE

CASCADE
separator™

FRAME AND COVER
(DIAMETER VARIES)
NOT TO SCALE

CASCADE SEPARATOR DESIGN NOTES

THE STANDARD CS-4 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION
GRATED INLET ONLY (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES
CURB INLET ONLY (NO INLET PIPE)
CURB INLET WITH INLET PIPE OR PIPES

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID			
WATER QUALITY FLOW RATE (cfs (L/s))			
PEAK FLOW RATE (cfs (L/s))			
RETURN PERIOD OF PEAK FLOW (yrs)			
RIM ELEVATION			
PIPE DATA:	INVERT	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
NOTES / SPECIAL REQUIREMENTS:			

GENERAL NOTES
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
3. CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO H20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2' (610), AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
5. CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
6. ALTERNATE UNITS ARE SHOWN IN MILLIMETERS [mm]

INSTALLATION NOTES
A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S) MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH ENGINEERED SOLUTIONS LLC
www.ContechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
800.338.1122 513.645.7000 513.645.7993 Fax

CS-4
CASCADE SEPARATOR
STANDARD DETAIL

I:\COMMON\CADTEMP\STD\1 CASCADE\2 STANDARD DRAWINGS\SVCS-4-OTL.DWG 1/22/2018 9:34 AM

KWIK TRIP
KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CARLSON ENGINEERING
3990 PHEASANT RIDGE DRIVE NE, SUITE 100, BLAINE, MN 55449
TEL 763.493.2966 | FAX 763.493.2918
CARLSON-ENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Daniel J. Weber, P.E.
Signature:
Date: 03/31/25 License #: 53183

DETAILS
CONVENIENCE STORE #1790
MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
2	06/30/25	Per City Comments
3	07/08/25	Per City Comments
4	08/03/25	Per City Comments
5	09/18/25	San. & WM Edits
6	10/06/25	Per City Comments
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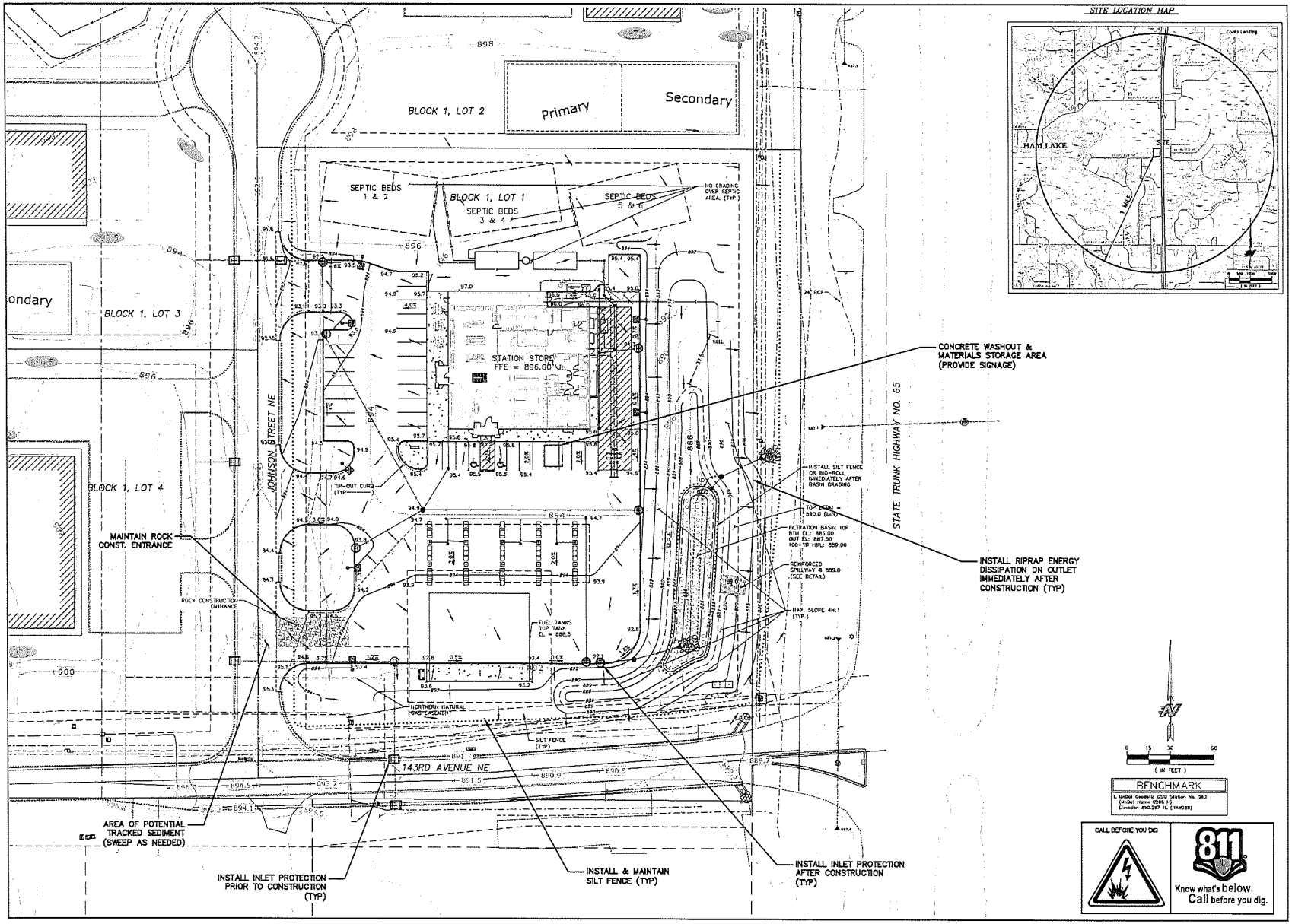
DRAWN BY	DJW
SCALE	GRAPHIC
PROJ. NO.	11291-00
DATE	2025-01-31
SHEET	C501



SITE LOCATION MAP

N

0 15 30 60

(IN FEET)

BENCHMARK

1. NGS Geodetic CORS Station No. 343 (NGS Name CORS 1)
Elevation: 692.297 ft. (NAVD88)

CALL BEFORE YOU DIG

811

Know what's below. Call before you dig.

KWIK TRIP

KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CARLSON ENGINEERING
2140 PHEASANT RIDGE DRIVE NE, SUITE 200, BLAINE, MN 55449
PH. 763-785-7460 • FAX 763-785-7469
CARLSON-ENGINEERING.COM

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Name: Daniel J. Wilke, P.E.
Signature:
Date: 01/31/25 License #: 53182

EROSION CONTROL PLAN

CONVENIENCE STORE #1790

MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
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8	10/08/25	Per City Comments

DRAWN BY	DJW
SCALE	GRAPHIC
PROJ. NO.	11291-00
DATE	2025-01-31
SHEET	C600

GENERAL INFORMATION

MINNESOTA'S CONSTRUCTION STORMWATER PERMIT IS AN EXTENSION OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM STORMWATER PROGRAM, WHICH IS PART OF THE FEDERAL CLEAN WATER ACT. REGULATED PARTIES MUST DEVELOP A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP PROVIDES INFORMATION ON THE EXISTING AND PROPOSED SITE CONDITIONS, CONTROL MEASURES FOR STORMWATER POLLUTION PREVENTION BEFORE, DURING AND AFTER CONSTRUCTION, INSPECTION, MAINTENANCE AND INFORMATION RELATED TO THE PERMANENT STORMWATER MANAGEMENT SYSTEM. THE SWPPP SHALL BE KEPT ON SITE AT ALL TIMES DURING ACTIVE CONSTRUCTION.

PROJECT INFORMATION

PROJECT NAME: CONVENIENCE STORE 1790
PROJECT LOCATION: HAM LAKE, ANOKA COUNTY, MINNESOTA
PROJECT OWNER: KWIK TRIP, INC.

RESPONSIBLE PARTIES

THE OWNER MUST IDENTIFY A PERSON KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMP'S WHO WILL OVERSEE THE IMPLEMENTATION OF THE SWPPP, AND THE INSTALLATION, INSPECTION AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMP'S.

SITE MANAGER: NATE BYOM – KWIK TRIP INC.

TRAINING DOCUMENTATION: CONSTRUCTION SITE MANAGEMENT (5/31/25 EXPIRATION) – UNIVERSITY OF MN

EXISTING SITE CONDITIONS

THE SITE IS LOCATED IN THE NORTHWEST QUADRANT OF THE INTERSECTION OF MN HIGHWAY 65 AND 143RD/ AVENUE NE IN HAM LAKE, ANOKA COUNTY, MINNESOTA. THE SITE IS BOUNDED ON THE NORTH BY COMMERCIAL PROPERTY, ON THE WEST BY JOHNSON STREET NE, ON THE SOUTH BY 143RD/ AVENUE NE AND ON THE EAST BY MN HIGHWAY 65. THE SITE IS CURRENTLY UNDEVELOPED GRASSLAND.

THE PROPOSED SITE BOUNDARY CONSISTS OF 2.700 ACRES. A DRAINAGE BOUNDARY OF 2.900 ACRES WILL BE CONSIDERED FOR THIS ANALYSIS, WHICH INCLUDES RUN-ON FROM THE PROPERTY NORTH OF THE SITE. THE EXISTING DRAINAGE BOUNDARY CURRENTLY CONTAINS NO IMPERVIOUS SURFACES.

THE SITE HAS A GENERALLY FLAT TOPOGRAPHY GENERALLY SLOPING TOWARDS THE EAST, WITH SLOPES GENERALLY RANGING FROM 0.5% TO 20% OVER THE DEVELOPED AREA. ELEVATIONS AT THE SITE RANGE FROM 884 IN THE CENTER OF THE EASTERN EDGE OF THE SITE, UP TO ABOUT 898 ALONG THE NORTHERN PROPERTY LINE. STORMWATER FROM THE SITE GENERALLY FLOWS EAST TO A CULVERT THAT DRAINS EAST UNDER MN HIGHWAY 65 FLOWS, OR TOWARD THE NORTHWEST TO THE TRUNK SEWER SYSTEM ON JOHNSON STREET NE.

PROPOSED SITE CONDITIONS

KWIK TRIP, INC. PLANS ON DEVELOPING THE SITE INTO A CONVENIENCE STORE WITH ASSOCIATED PARKING AND DRIVE AREAS. DURING CONSTRUCTION, APPROXIMATELY 2.9 ACRES WILL BE DISTURBED. AFTER THE SITE IS CONSTRUCTED, THE DRAINAGE BOUNDARY WILL CONTAIN APPROXIMATELY 1.351 ACRES OF IMPERVIOUS SURFACE.

STORMWATER FROM THE AREA SOUTH OF THE NORTH SIDE OF THE FUELING CANOPY WILL BE COLLECTED IN STORM SEWER AND WILL BE DIRECTED TO A FILTRATION BASIN. THE BASIN WILL OUTLET TO THE CULVERT THAT IS LOCATED IMMEDIATELY EAST OF THE FILTRATION BASIN. THE CULVERT DRAINS EAST UNDER MN HIGHWAY 65. ALL OTHER DEVELOPED PORTIONS OF THE SITE WILL BE COLLECTED IN STORM SEWER AND ROUTED TO THE TRUNK SEWER SYSTEM ON JOHNSON STREET NE, LOCATED WEST OF THE SITE, AND THEN TO THE REGIONAL POND, WHICH IS LOCATED NORTH OF THE CUL-DE-SAC JUST NORTH OF THE SITE.

SOIL INFORMATION

IN OCTOBER OF 2024, BRAUN INTERTEC DRILLED EIGHT SOIL BORINGS TO APPROXIMATE NEAR SURFACE SOILS. THE BORINGS INDICATE THAT NEAR SURFACE SOILS CONSIST PRIMARILY OF POORLY GRADED SAND AND SILTY SAND MATERIALS. THESE SOILS GENERALLY FALL WITHIN THE HYDROLOGIC SOIL GROUP (HSG) "B".

GROUNDWATER WAS FOUND TO BE PRESENT IN ALL OF THE BORINGS, AND WAS GENERALLY AT AN ELEVATION OF 880 TO 884. AN INFILTRATION RATE OF 0.45 IN/HR WAS USED FOR THE INFILTRATION BASIN, WHICH IS CONSISTENT FOR SILTY SANDS.

WETLAND CONSIDERATIONS

ACCORDING TO THE USFWS WETLANDS MAPPER, THERE IS ONE WETLAND LOCATED IN THE SE CORNER OF THE SITE. LOSS OF THIS WETLAND WAS MITIGATED AND APPROVED FOR THE ORIGINAL DEVELOPMENT.

STORMWATER RECEIVING WATERS

STORMWATER FROM THE MAJORITY OF THE DEVELOPED PORTION OF THE SITE, INCLUDING ALL FUELING AREAS, WILL BE COLLECTED IN STORM SEWER AND ROUTED TO THE EXISTING STORMWATER POND FOREBAY. ALL REMAINING AREAS NOT COLLECTED BY STORM SEWER WILL FLOW TO THE EXISTING POND VIA OVERLAND FLOW. THE POND OUTLETS TO A REGIONAL POND LOCATED EAST OF THE SITE ACROSS AKRON AVENUE.

SPECIAL/IMPAIRED WATER CONSIDERATIONS

COON CREEK IS LOCATED APPROXIMATELY 0.1 MILES NORTH OF THE SITE AND IS AN IMPAIRED WATER. BMPS INCLUDE: IMMEDIATE STABILIZATION OF EXPOSED SOIL AREAS, AND COMPLETE STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CEASES, AND TEMPORARY SEDIMENTATION BASINS FOR COMMON DRAINAGE AREAS OF FIVE (5) ACRES OR MORE.

STORMWATER MANAGEMENT PLAN

THE CITY OF HAM LAKE REQUIRES SITES TO PROVIDE A WATER QUALITY VOLUME OF 1.1-INCH OF RUNOFF FROM NEWLY CREATED IMPERVIOUS SURFACES. ACCORDING TO SECTION 3.3.4.4 OF THE COON CREEK WATERSHED DISTRICT RULES (CCWDR), WATER QUALITY FOR THE SITE MAY BE PROVIDED IN AGGREGATE FOR THE ENTIRE SITE. THE PROPOSED SITE WILL INCREASE IMPERVIOUS SURFACE BY APPROXIMATELY 1.351 ACRES. AS SUCH, THE REQUIRED WATER QUALITY VOLUME IS 0.124 ACRE-FEET. FILTRATION BASIN 10 PROVIDES A WATER QUALITY VOLUME OF 0.073 ACRE-FEET. THE WATER QUALITY VOLUME FOR A FILTRATION BASIN MUST BE REDUCED BY 50% ACCORDING TO APPENDIX C OF THE CCWDR. THEREFORE, THE FILTRATION BASIN WATER QUALITY VOLUME IS REDUCED FROM 0.072 ACRE-FEET, TO 0.036 ACRE-FEET. THE REMAINING WATER QUALITY VOLUME WILL BE ATTAINED THROUGH THE REGIONAL POND THAT WILL RECEIVE RUNOFF FROM THE REMAINING PORTIONS OF THE SITE. ACCORDING TO THE CLWELL COMMERCIAL PARK STORMWATER DRAINAGE REPORT, DATED 4/28/25, THE REGIONAL POND IS DESIGNED TO PROVIDE A WATER QUALITY VOLUME FOR 1.5-INCHES OF THE 0.707 ACRES OF IMPERVIOUS RUNOFF FOR THE SITE, WHICH INCLUDES THE 0.009 ACRES OF IMPERVIOUS THAT FLOW DIRECTLY TO JOHNSON STREET NE. THEREFORE, THE SITE WATER QUALITY VOLUME FROM THE REGIONAL POND IS 0.088 ACRE-FEET. THIS RESULTS IN A TOTAL WATER QUALITY VOLUME FOR THE SITE OF 0.124 ACRE-FT, WHICH MEETS THE REQUIREMENT.

WATER QUALITY MUST BE PROVIDED IN AGGREGATE DUE TO SITE CONDITIONS NOT ALLOWING FOR AN EXPANSION OF THE FILTRATION BASIN. DRIVELANES CANNOT BE SHRUNK DUE TO THE NEED FOR DELIVERY TRUCKS TO ACCESS THE EAST SIDE OF THE BUILDING. SHRINKING THE DRIVELANES ANY MORE THAN THEY ALREADY ARE WOULD MAKE THIS IMPOSSIBLE. THE FILTRATION AREA CANNOT BE INCREASED DUE TO GRADE CONSTRAINTS. WIDENING THE POND RESULTS IN A WIDENED BERM, WHICH THEN CANNOT FIT WITHIN THE PROPERTY BOUNDARY. ADDITIONAL FILTRATION CAN NOT BE ADDED IN THE SOUTH DUE TO GRADE CONSTRAINTS AND ADDITIONAL FILTRATION CANNOT BE PROVIDED NORTH OF THE EXISTING BASIN DUE TO THE NEED FOR A LOCATION FOR THE WATER WELL THAT WILL SERVE THE STATION STORE.

THE CCWDR REQUIRE A MIDS MODEL TO BE PERFORMED ON THE SITE TO SHOW THAT THE AVERAGE POST DEVELOPMENT TSS REMOVAL IS AT LEAST 80% FOR EACH DISCHARGE POINT. BECAUSE THE REGIONAL POND IS HANDLING WATER QUALITY FOR THE DISCHARGE TO THE WEST, THAT AREA WASN'T ANALYZED. THEREFORE, ONLY THE EAST DISCHARGE POINT WAS ANALYZED. THE MIDS ANALYSIS SHOWED THAT THE AVERAGE POST DEVELOPMENT TSS REMOVAL FOR THE EAST DISCHARGE IS 85%, MEETING AND EXCEEDING THE REQUIREMENT.

PRETREATMENT FOR THE STORMWATER TREATMENT FACILITIES WILL BE PROVIDED BY SUMP MANHOLES EQUIPPED WITH SNOUT OIL/WATER/DEBRIS SEPARATORS OR HYDRODYNAMIC SEPARATORS.

PRIOR TO START OF CONSTRUCTION

THE FOLLOWING STORMWATER POLLUTION PREVENTION MEASURES SHALL BE IMPLEMENTED PRIOR TO CONSTRUCTION. REFER TO GRADING AND EROSION CONTROL PLANS FOR LOCATIONS.

1. SILT FENCE
   SILT FENCE SHALL BE INSTALLED AT THE LIMIT OF GRADING ON ANY FILL SLOPE. ADDITIONAL SILT FENCE MAY BE REQUIRED IN CUT SLOPE AREAS. SILT FENCE SHALL ALSO BE INSTALLED AROUND ANY INFILTRATION/FILTRATION PRACTICE.
2. ROCK CONSTRUCTION ENTRANCE
   ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE FIELD ENTRANCES TO THE SITE.
3. CATCH BASINS
   ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES APPROVED BY THE LOCAL GOVERNING UNIT. THESE SHALL INCLUDE, BUT ARE NOT LIMITED TO, WIMCO PROTECTION DEVICES, INFRASAFE PROTECTION DEVICES, FILTER FABRIC, BIO ROLLS AND STRAW BALES.

DURING CONSTRUCTION

THE FOLLOWING STORMWATER POLLUTION PREVENTION MEASURES SHALL BE IMPLEMENTED DURING CONSTRUCTION. REFER TO GRADING AND EROSION CONTROL PLANS FOR LOCATIONS.

1. PHASED GRADING
   TO THE EXTENT POSSIBLE, GRADING SHALL BE PHASED TO MINIMIZE THE AMOUNT OF DISTURBED AREAS DURING SITE CONSTRUCTION.
2. TRACKED SEDIMENT
   ANY SEDIMENT TRACKED FROM THE SITE ONTO THE STREET SHALL BE REMOVED IMMEDIATELY UPON DETECTION. THE ROCK CONSTRUCTION ENTRANCE SHALL BE INSPECTED AND REPAIRED IF INUNDATED WITH SEDIMENT.
3. STOCKPILES
   STOCKPILES SHALL BE PLACED IN AN AREA THAT WILL MINIMIZE THE NEED FOR RELOCATION. IF A STOCKPILE WILL REMAIN IN PLACE FOR AN EXTENDED PERIOD OF TIME, STABILIZATION MEASURES SHALL BE IMPLEMENTED, INCLUDING BUT NOT LIMITED TO, SEEDING AND SILT FENCING. TEMPORARY STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AND CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, CONDUITS OR DITCHES.
4. TOPSOIL
   UPON GRADING COMPLETION, A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE PLACED OVER ALL DISTURBED AREAS, EXCLUDING PROPOSED STREETS AND PARKING AREAS.
5. RESTORATION
   ALL DISTURBED AREAS NOT ACTIVELY WORKED SHALL BE RESTORED WITH SEED AND MULCH, EROSION CONTROL BLANKET AND/OR SOD WITHIN 14 DAYS.
6. SLOPES
   IN ORDER TO MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES, THERE SHALL BE NO UNBROKEN SLOPE LENGTH OF GREATER THAN 75 FEET FOR SLOPES WITH A GRADE OF 3:1 OR STEEPER.
7. DRAINAGE DITCHES
   THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH THAT DRAINS WATER FROM THE SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE TO ANY SURFACE WATER. STABILIZATION MUST BE COMPLETED WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER.
8. PIPE OUTLETS
   PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS OF CONNECTION TO A SURFACE WATER.
9. CATCH BASINS
   ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES APPROVED BY THE LOCAL GOVERNING UNIT. THESE SHALL INCLUDE, BUT ARE NOT LIMITED TO, WIMCO PROTECTION DEVICES, INFRASAFE PROTECTION DEVICES, FILTER FABRIC, BIO ROLLS AND STRAW BALES.
10. DUST
   CONSTRUCTION DUST SHALL BE CONTAINED TO THE EXTENT POSSIBLE. IF THE SITE BECOMES EXCESSIVELY DUSTY, APPROPRIATE MEASURES SHALL BE TAKEN TO REDUCE DUST BEING TRANSPORTED FROM THE SITE. DUST CONTROL MEASURES INCLUDE, BUT ARE NOT LIMITED TO, WATERING AND CALCIUM CHLORIDE APPLICATION.
11. DEWATERING
   DEWATERING ACTIVITIES SHALL BE CONDUCTED WITH AND APPROVED BY THE LOCAL GOVERNING UNIT. IF THERE WILL BE ANY DEWATERING OR BASIN DRAINING THAT MAY HAVE TURBID OR SEDIMENT LADEN DISCHARGE, THE WATER MUST BE DISCHARGED TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE WHENEVER POSSIBLE. APPROPRIATE BMPS SHALL BE USED FOR EROSION AND SEDIMENT CONTROL AND ENERGY DISSIPATION.
12. CONSTRUCTION MATERIALS AND DEBRIS
   CONSTRUCTION MATERIALS SHALL BE STORED IN AN ORDERLY MANNER AND IN AN AREA THAT WILL MINIMIZE CONFLICTS WITH OTHER CONSTRUCTION ACTIVITIES. CONSTRUCTION DEBRIS SHALL BE CONTAINED IN DUMPSTERS AND REMOVED FROM THE SITE AS NECESSARY.
13. CHEMICALS
   CHEMICALS SHALL BE STORED IN A SAFE AREA IN SEALED CONTAINERS WITH THE ORIGINAL LABELING AND MATERIAL SAFETY DATA SHEETS AVAILABLE.
14. SPILLS AND CONTAMINATION
   IF FUEL, OIL OR A HAZARDOUS CHEMICAL IS SPILLED OR DETECTED DURING CONSTRUCTION ACTIVITIES, ALL APPROPRIATE AGENCIES SHALL BE IMMEDIATELY NOTIFIED, INCLUDING, BUT NOT LIMITED TO, THE MINNESOTA DUTY OFFICER AT 800-422-0798.
15. CONCRETE WASHOUT AREA
   PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. PERMITTEES MUST PROPERLY DISPOSE LIQUID AND SOLID WASTES IN COMPLIANCE WITH MPCA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY.

POST CONSTRUCTION

WHEN THE SITE HAS BEEN COMPLETELY CONSTRUCTED, THE SITE MUST UNDERGO FINAL STABILIZATION. FINAL STABILIZATION OCCURS WHEN ALL OF THE GRADING, INFRASTRUCTURE AND BUILDING ACTIVITIES HAVE BEEN COMPLETED. TO ACHIEVE FINAL STABILIZATION, THE FOLLOWING MEASURES SHALL BE COMPLETED.

1. ALL DISTURBED AREAS WITHOUT PERMANENT IMPERVIOUS SURFACES SHALL BE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER. AREAS NOT RECEIVING SOD OR EROSION CONTROL BLANKET SHALL BE SEEDED AND MULCHED.
2. SEDIMENT FROM CONVEYANCES AND TEMPORARY SEDIMENTATION BASINS THAT ARE TO BE USED AS PERMANENT WATER QUALITY MANAGEMENT BASINS SHALL BE CLEANED OUT. SEDIMENTATION BASINS SHALL BE SUFFICIENTLY CLEANED OUT TO RETURN THE BASIN TO DESIGN CAPACITY. SEDIMENT MUST BE STABILIZED TO PREVENT IT FROM BEING WASHED BACK INTO THE BASIN OR CONVEYANCES DISCHARGING OFF-SITE OR TO SURFACE WATERS.
3. WHEN STABILIZED VEGETATION HAS BEEN ESTABLISHED OVER 70 PERCENT OF THE PERVIOUS SURFACE AREA, ALL SYNTHETIC TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED. THIS INCLUDES, BUT IS NOT LIMITED TO, SILT FENCE, TREE FENCE AND CATCH BASIN INLET PROTECTION DEVICES.

SWPPP DRAWING UPDATES

UPDATE SWPPP DRAWING FOR LOCATIONS OF CONSTRUCTION DUMPSTER, PORTABLE TOILET, EQUIPMENT STAGING AREA(S), FUELING AREA(S), ETC. WHEN THEIR RESPECTIVE LOCATIONS ARE KNOWN.

INSPECTIONS & RECORD KEEPING

STORMWATER POLLUTION PREVENTION INSPECTIONS SHALL OCCUR ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. INSPECTIONS MAY BE CEASED DURING FROZEN GROUND CONDITIONS. WHERE WORK HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, THE REQUIRED INSPECTIONS AND MAINTENANCE MUST TAKE PLACE WITHIN 24 HOURS AFTER RUNOFF OCCURS AT THE SITE OR PRIOR TO RESUMING CONSTRUCTION, WHICHEVER COMES FIRST. DURING THE COURSE OF CONSTRUCTION, IT MAY BE DETERMINED THAT ADDITIONAL STORMWATER POLLUTION PREVENTION MEASURES MAY BE NEEDED, OR CERTAIN MEASURES ARE NOT PRACTICAL TO INSTALL. IN THESE CASES, AN AMENDMENT TO THE SWPPP SHALL BE MADE, AND SUPPORTING REASONS SHALL BE DOCUMENTED IN THE SWPPP.

1. THE EXCAVATOR IS RESPONSIBLE FOR ALL EROSION CONTROL INSPECTIONS.
2. RECORD NAME OF INSPECTOR AND DATE AND TIME OF INSPECTION.
3. RECORD RAINFALL AMOUNT SINCE MOST RECENT INSPECTION.
4. INSPECT ROCK CONSTRUCTION ENTRANCES FOR SEDIMENTATION. INSPECT ADJACENT STREETS FOR SEDIMENT TRACKING.
5. INSPECT SITE FOR EXCESSIVE EROSION AND SEDIMENT ACCUMULATION.
   A. INSPECT SILT FENCE AND OTHER TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES FOR EROSION, SEDIMENTATION AND MALFUNCTIONING.
   B. INSPECT FLARED END SECTIONS FOR EROSION AND SEDIMENTATION.
   C. INSPECT PONDS, INFILTRATION BASINS, TEMPORARY SEDIMENTATION BASINS AND ALL OTHER BMP'S FOR EROSION AND SEDIMENTATION.
   D. INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS FOR EVIDENCE OF SEDIMENT BEING DEPOSITED BY EROSION.
6. INSPECT SITE AND ADJACENT PROPERTIES FOR CONSTRUCTION DEBRIS, TRASH AND SPILLS.
7. INSPECT STABILIZED AREAS FOR EROSION.
8. RECORD RECOMMENDED REPAIRS, MAINTENANCE AND/OR REPLACEMENTS REQUIRED TO ENSURE EROSION AND SEDIMENTATION CONTROL MEASURES ARE SUFFICIENT.
9. RECORD RECOMMENDED AMENDMENTS TO THE SWPPP.
10. RECORD REPAIRS, MAINTENANCE AND/OR REPLACEMENTS THAT WERE COMPLETED SINCE THE LAST INSPECTION.

NOTE: FOR AREAS THAT HAVE UNDERGONE FINAL STABILIZATION, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH.

MAINTENANCE

THE OWNER/CONTRACTOR IS RESPONSIBLE FOR THE OPERATION, INSPECTION AND MAINTENANCE OF ALL STORMWATER POLLUTION PREVENTION MEASURES FOR THE DURATION OF THE PROJECT. THE FOLLOWING GUIDELINES SHALL BE USED TO DETERMINE NECESSARY REPAIRS, MAINTENANCE AND/OR REPLACEMENT OF THE EROSION AND SEDIMENTATION CONTROL MEASURES.

1. ROCK CONSTRUCTION ENTRANCES SHALL BE REPAIRED OR REPLACED IF THE ROCK BECOMES INUNDATED WITH SEDIMENT AND/OR EXCESSIVE SEDIMENT IS BEING TRACKED FROM THE SITE. SEDIMENT TRACKED ONTO ADJACENT STREETS SHALL BE REMOVED. MEASURES SHALL BE TAKEN IMMEDIATELY UPON DISCOVERY.
2. SILT FENCE SHALL BE REPAIRED OR REPLACED WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE SILT FENCE, THE SILT FENCE IS DAMAGED AND/OR THE SILT FENCE BECOMES NONFUNCTIONAL. MEASURES SHALL BE TAKEN WITHIN 24 HOURS OF DISCOVERY.
3. CATCH BASIN INLET PROTECTION DEVICES SHALL BE CLEANED WHEN SEDIMENT REACHES ½ THE HEIGHT OF THE SEDIMENT TRAP AND/OR REPAIRED OR REPLACED IF THE DEVICE BECOMES NONFUNCTIONAL. MEASURES SHALL BE TAKEN WITHIN 72 HOURS OF DISCOVERY.
4. FLARED END SECTIONS SHALL BE CLEANED IF DEBRIS IS RESTRICTING FLOW OR IF SEDIMENT HAS ACCUMULATED AT THE OUTLET. IF A FLARED END SECTION BECOMES NONFUNCTIONAL OR DAMAGED, IT SHALL BE REPAIRED OR REPLACED. MEASURES SHALL BE TAKEN WITHIN 72 HOURS OF DISCOVERY.
5. IF SEDIMENT IS OBSERVED OFF-SITE OR NEAR SURFACE WATERS, THE SOURCE OF SEDIMENT SHALL BE DETECTED AND ADDITIONAL MEASURES SHALL BE IMPLEMENTED. THE PERMITTEE(S) SHALL COORDINATE SEDIMENT RETRIEVAL FROM SURFACE WATERS WITH ALL APPROPRIATE AGENCIES. MEASURES SHALL BE TAKEN WITHIN 7 DAYS OF DISCOVERY.
6. PONDS, INFILTRATION BASINS, TEMPORARY SEDIMENTATION BASINS AND ALL OTHER BMP'S SHALL BE CLEANED IF DEBRIS IS PRESENT AND/OR EXCESSIVE SEDIMENTATION HAS OCCURRED. TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND THE SEDIMENT REMOVED WHEN SEDIMENT HAS FILLED THE BASIN TO 1/2 THE STORAGE VOLUME. NO SEDIMENT SHALL BE ALLOWED TO ACCUMULATE IN INFILTRATION BASINS. MEASURES SHALL BE TAKEN WITHIN 72 HOURS OF DISCOVERY.

NOTICE OF TERMINATION

THE PERMITTEE(S) MUST SUBMIT A NOTICE OF TERMINATION (NOT) TO THE MPCA WITHIN 30 DAYS AFTER FINAL STABILIZATION IS COMPLETE, OR ANOTHER OWNER/OPERATOR (PERMITEE) HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT UNDERGONE FINAL STABILIZATION.

QUANTITIES

THE FOLLOWING TABLE PROVIDES ESTIMATED QUANTITIES FOR STORMWATER POLLUTION PREVENTION THROUGHOUT THE PROJECT.

ITEM	UNIT	ESTIMATED QUANTITY
ROCK ENTRANCE	EA.	1
SILT FENCE	L.F.	1,375
INLET PROTECTION	EA.	11
TURF ESTABLISHMENT	AC.	1.0

SWPPP DESIGN CERTIFICATION	SWPPP INSTALLER CERTIFICATION	SWPPP INSPECTOR CERTIFICATION
[illegible]	[illegible]	[illegible]

KWIK TRIP
KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CARLSON ENGINEERING

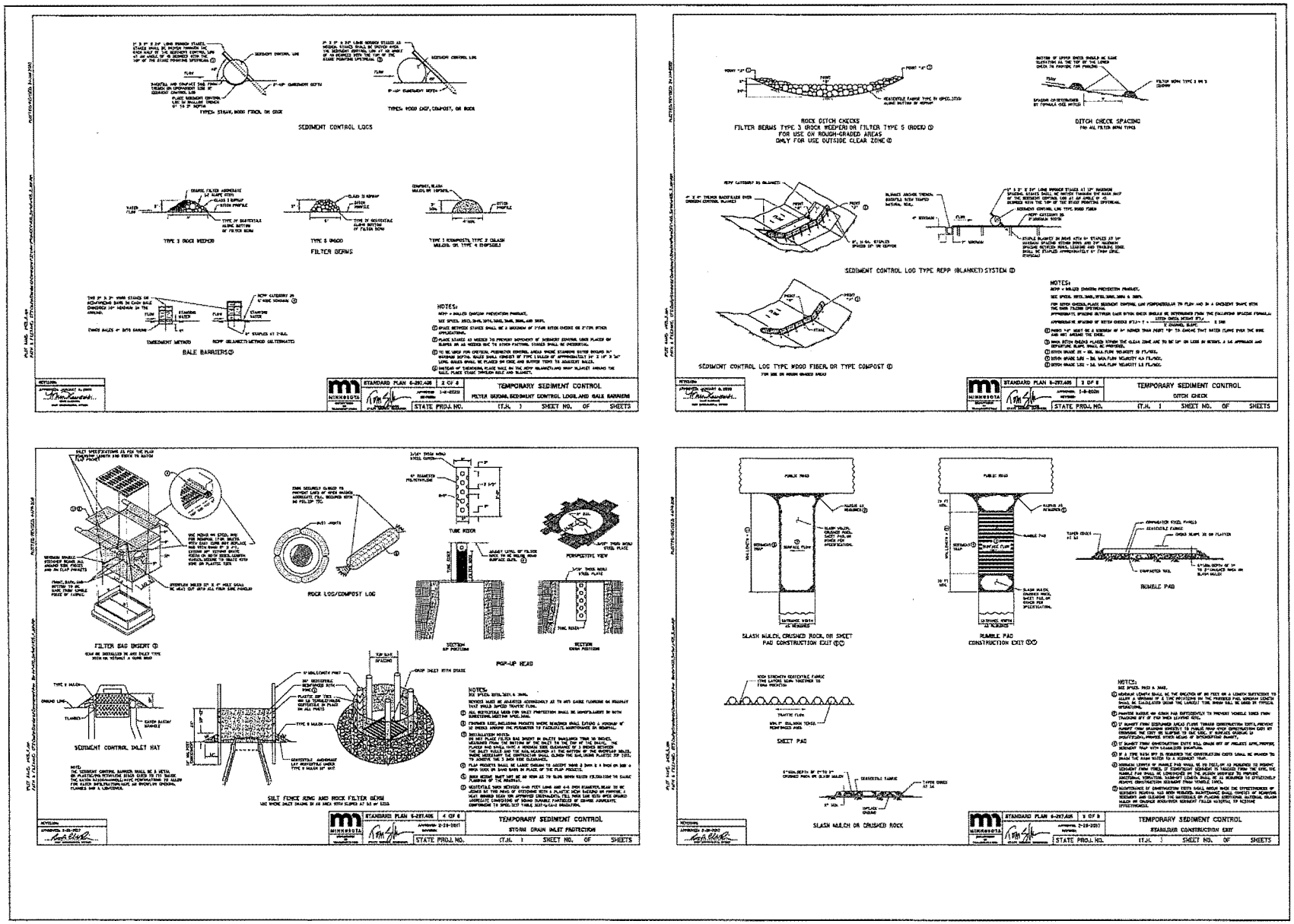
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Name: Daniel J. Wilke, P.E.
Signature: [signature]
Date: 03/21/25 License #: 53182

EROSION CONTROL NOTES

CONVENIENCE STORE #1790
MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
1	06/30/25	Per City Comments
2	07/08/25	Per City Comments
3	08/03/25	Per City Comments
4	09/18/25	San. & WM Edits
5	10/06/25	Per City Comments
6	10/06/25	Per City Comments

DRAWN BY: DJW
SCALE: GRAPHIC
PROJ. NO.: 11201-00
DATE: 2025-01-31
SHEET: C601



KWIK TRIP

KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CARLSON ENGINEERING

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Daniel J. Wilke, P.E.
Signature:
Date: 01/31/25 License #: 53187

EROSION CONTROL DETAILS

CONVENIENCE STORE #1790

MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
2	06/06/25	Per City Comments
3	07/08/25	Per City Comments
4	09/03/25	Per City Comments
5	09/19/25	Stan. & WM Edits
6	10/06/25	Per City Comments
7	10/16/25	Per City Comments

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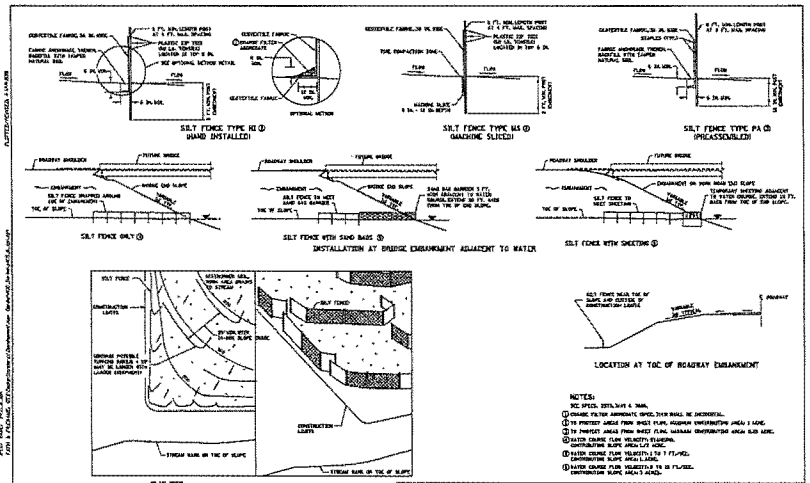
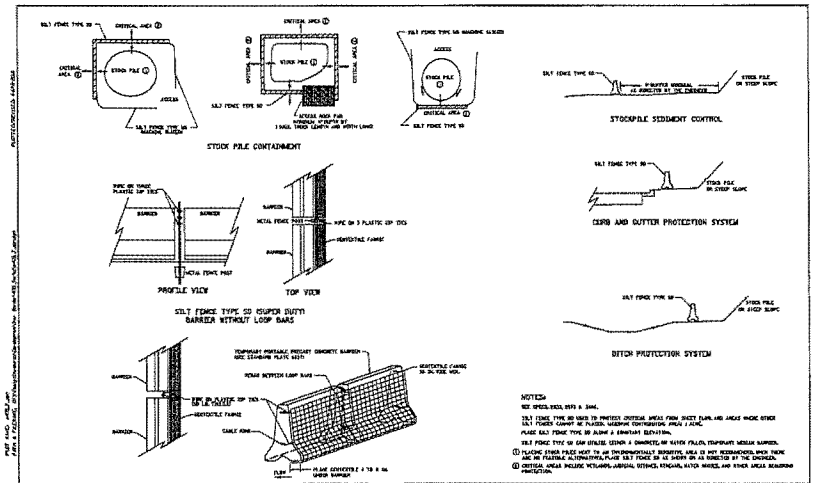
DATE	2025-01-31
SHEET	C602



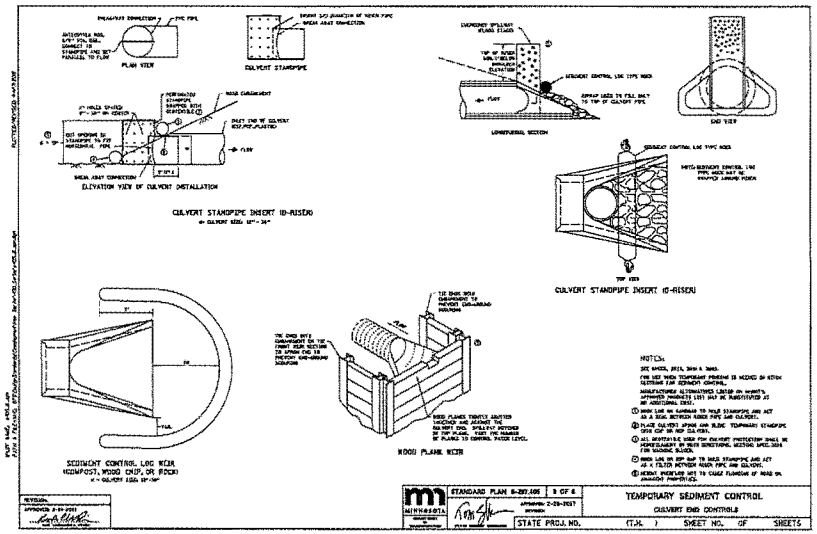
NOTES:
MC SPECS. 2573,3017 & 3886.
① GRANUL FILTER AGGREGATE SPEC. 3019 SHALL BE INCIDENTAL.
② TO PROTECT AREAS FROM SHEET FLOW, MAXIMUM UNDERMINING AREA 1 ACRE.
③ TO PROTECT AREAS FROM SHEET FLOW, MAXIMUM UNDERMINING AREA 0.25 ACRE.
④ WATER COURSE FLOW VELOCITY: STANDARD CONTRIBUTING SLOPE AREA 1/2 ACRE.
⑤ WATER COURSE FLOW VELOCITY: 1 TO 3 FT./SEC. CONTRIBUTING SLOPE AREA 1 ACRE.
⑥ WATER COURSE FLOW VELOCITY: 3 TO 10 FT./SEC. CONTRIBUTING SLOPE AREA 3 ACRES.

STANDARD PLAN 6-297.405	6 OF 9	TEMPORARY SEDIMENT CONTROL SILT FENCE
STATE PROJ. NO.	(T.H.) SHEET NO. OF SHEETS	



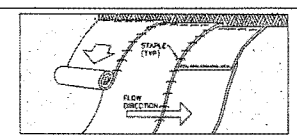
NOTES:
MC SPECS. 2573,3017 & 3886.
SILT FENCE TYPE 50 USED TO PROTECT CRITICAL AREAS FROM SHEET FLOW AND AREAS WHERE OTHER SILT FENCE CANNOT BE PLACED. MAXIMUM CONTRIBUTING AREA 1 ACRE.
PLACE SILT FENCE TYPE 50 ALONG A CONSTANT ELEVATION.
SILT FENCE TYPE 50 CAN UTILIZE LEGS: 4 DIAMETER, OR WATER FILLED, TEMPORARY MEDIUM BARRIER.
① PLACING STOCK PILES NEAT TO AN ENVIRONMENTALLY SENSITIVE AREA IS NOT RECOMMENDED. WHEN THERE ARE NO FEASIBLE ALTERNATIVES, PLACE SILT FENCE 50 AS SHOWN ON AS DIRECTED BY THE ENGINEER.
② CRITICAL AREAS INCLUDE WETLANDS, JURISDICTIONAL DITCHES, STREAMS, WATER MAINS, AND OTHER AREAS REQUIRING PROTECTION.

STANDARD PLAN 6-297.405	7 OF 9	TEMPORARY SEDIMENT CONTROL SUPER DUTY SILT FENCE
STATE PROJ. NO.	(T.H.) SHEET NO. OF SHEETS	



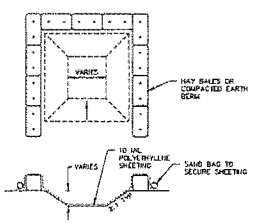
NOTES:
MC SPECS. 2573, 3017 & 3886.
USE WEIR WITH TEMPORARY PIPELINE IS MEANT TO BETTER MANAGE THE SEDIMENT CONTROL.
MANUFACTURED ALTERNATIVES LISTED ON MNDOT'S APPROVED PRODUCT LIST MAY BE SUBSTITUTED AS ANY ADDITIONAL DETAILS.
① WEIR CAN BE SUBBLE TO THE ELEVATION AND ACT AS A SEAL BETWEEN RISER PIPE AND GROUND.
② PLACE CAN BE USED OFTEN AND BLOCK TEMPORARY STANDPIPE OR PIPE ON THE SIDE OF CULVERT.
③ ALL MATERIALS USED FOR CULVERT PROTECTION SHALL BE HOMOGENEOUS IN SIZE DIRECTIONAL SEDIMENT SPEC. 3014 FOR SEDIMENT BLOCKS.
④ WEIR CAN BE ON TOP BUT TO BACK STANDPIPE AND ACT AS A FILTER BETWEEN WEIR PIPE AND GROUND.
⑤ NORMAL OVERFLOW MUST BE CLEAR FLOWING OF WEIR ON ANGLED PERPENDICULAR.

STANDARD PLAN 6-297.405	3 OF 6	TEMPORARY SEDIMENT CONTROL CULVERT END CONTROLS
STATE PROJ. NO.	(T.H.) SHEET NO. OF SHEETS	



NOTES:
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER AND/OR SEED.
2. BEGIN AT THE TOP OF THE SLOPE (OR CHANNEL) BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS DOWN (STARTING DOWNSTREAM PROCEEDING UPSTREAM) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH A MINIMUM 4" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH MINIMUM 6" OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4" APART TO SECURE BLANKETS.
6. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF THE CHANNEL. PLACE A SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
7. THE TERMINAL ENDS OF THE BLANKETS MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

1 EROSION CONTROL BLANKET
C603 NO SCALE



NOTES:
1. THE WASHOUT MUST HAVE SUFFICIENT VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
2. LIQUID AND SOLID WASHOUT WASTE SHALL NOT CONTACT THE GROUND.
3. LIQUID AND SOLID WASHOUT WASTE SHALL BE DISPOSED OF IN COMPLIANCE WITH MPCA RULES.
4. A SIGN SHALL BE INSTALLED INDICATING THE LOCATION OF THE WASHOUT FACILITY.

2 CONCRETE WASHOUT
C603 NO SCALE

1. TURF ESTABLISHMENT SHALL APPLY TO ALL DISTURBED AREAS AND SHALL BE ACCORDING TO MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (LATEST EDITION) EXCEPT AS MODIFIED BELOW.
2. TURF ESTABLISHMENT SHALL OCCUR AS SOON AS POSSIBLE BUT IN NO CASE MORE THAN 7 DAYS.
3. SEED: MNDOT MIXTURE 25-141 AT 60 POUNDS PER ACRE.
4. DORMANT SEED: SHALL BE APPLIED AT TWICE THE NORMAL RATE AFTER NOVEMBER 1ST.
5. MULCH: TYPE 1 AT 2 TONS PER ACRE (DISK ANCHORED).
6. FERTILIZER: TYPE 10-10-10 AT 200 POUNDS PER ACRE.

3 TURF ESTABLISHMENT
C603 NO SCALE

KWIK TRIP

KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-6960

CARLSON ENGINEERING
3406 MEADOWOOD ROAD, SUITE 100, BLAINE, MN 55449
PH. 763.489.2958 | FAX 763.489.9419
CARLSON-ENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Daniel J. Weber, P.E.
Signature:
Date: 01/31/25 License #: 53147

EROSION CONTROL DETAILS

CONVENIENCE STORE #1790

MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
3	06/30/25	Per City Comments
4	07/08/25	Per City Comments
5	08/05/25	Per City Comments
6	09/19/25	San. & WM Edits
7	10/08/25	Per City Comments
8	10/08/25	Per City Comments

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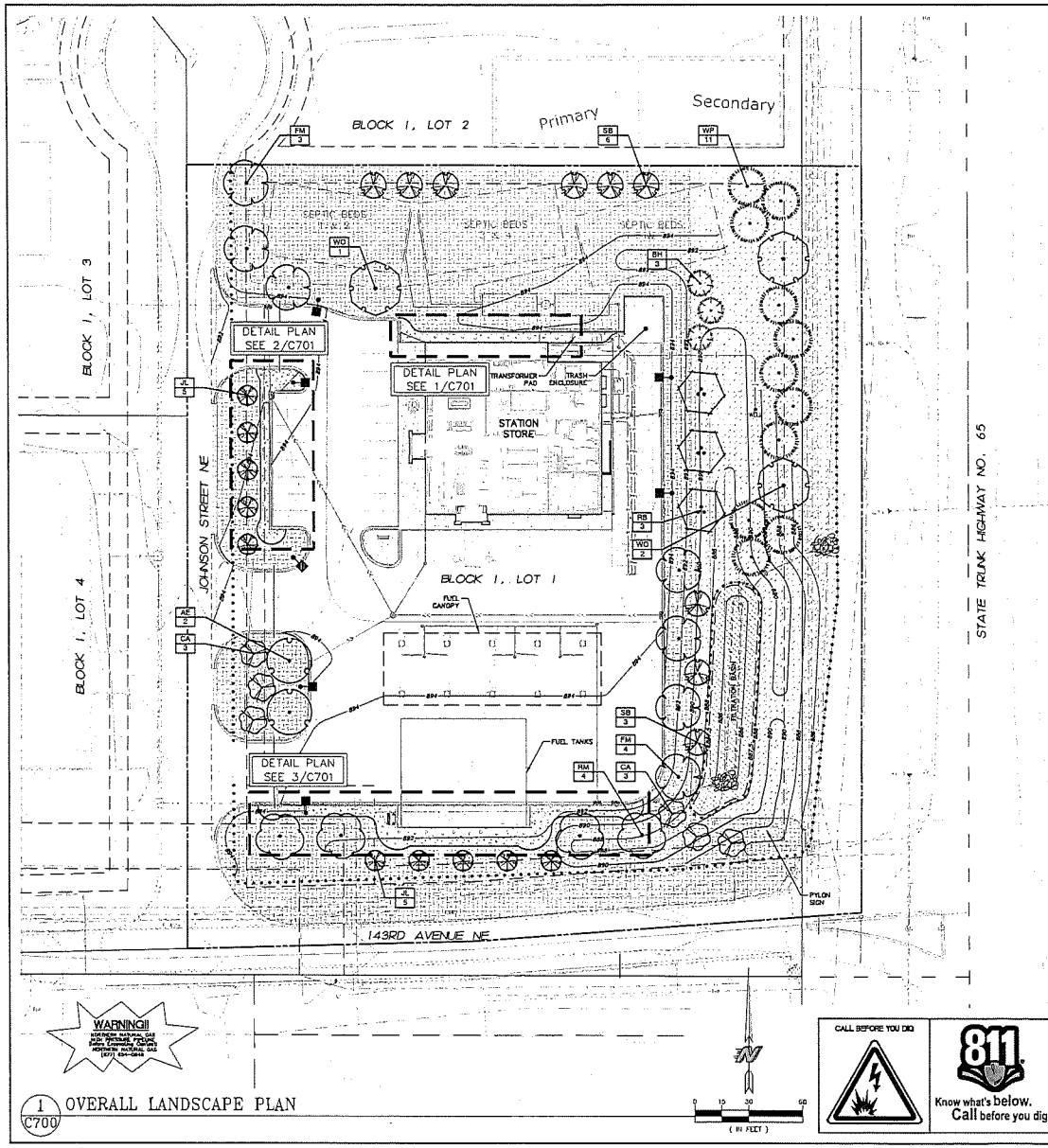
PROJ. NO.	11291-00
DATE	2025-01-31
SHEET	C603



1 OVERALL LANDSCAPE PLAN
C700

CALL BEFORE YOU DIG

811 Know what's below. Call before you dig.

LANDSCAPE PLAN NOTES

1. EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION START. ANY DISCREPANCIES FOUND THAT AFFECT THE WORK SHALL BE REPORTED TO THE OWNER/LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING OR APPROVING ANY ADDITIONAL WORK REQUIRED.

2. UTILITY LOCATES. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL PUBLIC AND PRIVATE UTILITIES, INCLUDING IRRIGATION LINES, AT LEAST 48 HOURS BEFORE EXCAVATING OR IN ACCORDANCE WITH STATE LAW. IN MINNESOTA, CALL GOPHER STATE ONE-CALL AT 651-454-0002 FOR FIELD LOCATION OF PUBLIC UNDERGROUND UTILITY LINES. ALL LOCATES AND ITEMS NOTED AS TO-BE VERIFY ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR AT THEIR EXPENSE.

3. PERMITS. CONTRACTOR SHALL VERIFY WITH THE OWNER/LANDSCAPE ARCHITECT THAT THE REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION START. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.

4. EXISTING ITEMS TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING PAVEMENT, STRUCTURES, UTILITIES, TREES, SITE AMENITIES, ETC. THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DAMAGE (AT CONTRACTOR'S EXPENSE) TO EXISTING ITEMS TO REMAIN.

5. CONSTRUCTION STAGING AND ACCESS. CONTRACTOR SHALL VERIFY THE LOCATION FOR CONSTRUCTION STAGING AND SITE ACCESS WITH THE OWNER/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PEDESTRIAN AND VEHICLE ACCESS WITHIN AND ADJACENT TO THE SITE THROUGHOUT THE CONSTRUCTION PERIOD UNLESS OTHERWISE NOTED. LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE PERMITTED. ALL WASTE AND/OR UNUSED MATERIAL SHALL BE PROMPTLY REMOVED FROM THE SITE.

6. SITE REMOVALS. REFER TO CIVIL PLANS FOR GENERAL SITE REMOVALS. ALL ITEMS NOTED TO BE REMOVED SHALL BE COMPLETED BY THE CONTRACTOR AND IMMEDIATELY DISPOSED OF OFF-SITE, IN ACCORDANCE WITH LOCAL REGULATIONS, UNLESS OTHERWISE NOTED. COORDINATE WITH OWNER/LANDSCAPE ARCHITECT FOR ANY ITEMS NOTED AS "REMOVED BY OTHERS" OR "REMOVE AND SALVAGE."

7. UTILITY COORDINATION. REFER TO CIVIL PLAN SHEETS FOR INFORMATION RELATED TO PROPOSED UTILITIES. COORDINATE WITH ELECTRICAL CONTRACTORS FOR SITE ELECTRICAL WORK AND SITE LIGHTING.

8. CONSTRUCTION STAKING. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING CONTROL POINTS AND ALL CONSTRUCTION FIELD STAKING DURING THE COURSE OF THE PROJECT.

9. DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT/WALKWAY, OR OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.

10. PLAN QUANTITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MATERIAL QUANTITIES PER PLAN. MATERIAL SCHEDULES ARE PROVIDED SOLELY FOR CONTRACTOR'S CONVENIENCE.

11. REFERENCE SPECIFICATIONS. THE FOLLOWING SPECIFICATIONS SHALL GOVERN THIS PROJECT ACCORDING TO THE FOLLOWING ORDER:
    1. ADDENDA, WITH THOSE OF A LATER DATE HAVING PRECEDENCE OVER THOSE OF AN EARLIER DATE.
    2. LANDSCAPE SPECIFICATIONS.
    3. PLAN DRAWINGS.
    4. PLANT / MATERIAL SCHEDULES.
    5. CITY STANDARD SPECIFICATIONS AND DETAILS.
    6. MnDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION.

LANDSCAPE SPECIFICATIONS

1. TREE PROTECTION. ALL TREES NOT SPECIFICALLY NOTED OR MARKED ON SITE FOR REMOVAL SHALL REMAIN PROTECTED AND UNDISTURBED DURING CONSTRUCTION. TREE PROTECTION SHALL EXTEND TO THE DRIP LINE, WITHIN WHICH NO CONSTRUCTION ACTIVITY, MATERIAL STORAGE, OR VEHICLE PARKING SHALL BE PERMITTED. TREE PROTECTION FENCING SHALL BE ERECTED PRIOR TO CONSTRUCTION START PER PLANS OR AS DIRECTED BY OWNER/LANDSCAPE ARCHITECT AND SHALL CONSIST OF 4' TALL HEAVY DUTY ORANGE CONSTRUCTION FENCING WITH 8' STEEL FENCE POSTS SPACED 6' O.C. MAX.

2. EROSION CONTROL. REFER TO CIVIL PLAN SHEETS FOR STORMWATER POLLUTION PREVENTION PLAN (SWPPP), AND TEMPORARY AND PERMANENT STORMWATER BMPS, INCLUDING SILT FENCE, BIO-ROLLS, INLET PROTECTION, EROSION CONTROL BLANKETING, DUST CONTROL, SWEEPING AND ROCK CONSTRUCTION ENTRANCE. ALL DISTURBED AREAS SHALL RECEIVE PERMANENT STABILIZATION IN ACCORDANCE WITH THE LANDSCAPE PLAN WITHIN 7 DAYS AFTER CONSTRUCTION ACTIVITY IN THE DISTURBED AREA HAS CEASED. IN THE EVENT PERMANENT STABILIZATION IN ACCORDANCE WITH THE LANDSCAPE PLAN WITHIN 7 DAYS, TEMPORARY STABILIZATION BMPS MUST BE IMPLEMENTED WITHIN 7 DAYS USING.

3. CLEARING AND GRUBBING. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING AND GRUBBING ALL AREAS INDICATED AS BEING DISTURBED OR OTHERWISE SHOWN ON PLANS. CLEARING AND GRUBBING SHALL INCLUDE REMOVAL AND DISPOSAL OF ALL TREES, STUMPS, BRUSH, GRASS, ROOTS AND OTHER ORGANIC MATERIAL AT AN APPROVED OFF-SITE DISPOSAL LOCATION.

4. SOIL PREPARATION. REFER TO GEOTECHNICAL REPORT FOR ANY REQUIRED SOIL CORRECTIONS, AMENDMENTS OR ADDITIONAL INFORMATION (IF APPLICABLE). EXISTING TOPSOIL SHALL BE STRIPPED FROM ALL DISTURBED AREAS AND STOCKPILED IN AN APPROVED LOCATION FOR RE-SPREAD. ALL AREAS WHERE SOIL HAS BEEN COMPACTED BY CONSTRUCTION ACTIVITY AND THAT ARE INDICATED TO BE SODDED, SEEDED OR PLANTING BED SHALL BE DE-COMPACTED TO A MINIMUM DEPTH OF 12 INCHES BY SOIL RIPPING, TILLING OR OTHER APPROVED SOIL LOOSENING METHOD.

5. TOPSOIL MATERIAL. ALL EXISTING, AMENDED OR IMPORTED TOPSOIL SHALL MEET THE REQUIREMENTS OF MNDOT TOPSOIL TYPE A. A MINIMUM 4 INCH DEPTH OF TOPSOIL SHALL BE PLACED ON ALL AREAS TO BE SODDED OR SEEDED. A MINIMUM 12 INCH DEPTH OF TOPSOIL SHALL BE PLACED WITHIN ALL PLANTING BED AREAS. ALL TOPSOIL SHALL BE FINE GRADED, RAKED AND DRAGGED TO PROVIDE A SMOOTH, UNIFORM SURFACE. TOPSOIL GRADES SHALL BE WITHIN .1 FEET OF INDICATED FINISHED GRADE AND SHALL BE TRUE TO GRADIENTS SHOWN ON PLANS. REFER TO CIVIL PLAN SHEETS FOR INFILTRATION BASIN SOIL REQUIREMENTS.

6. SEEDING AND TURF ESTABLISHMENT. CONTRACTOR SHALL OBTAIN OWNER/LANDSCAPE ARCHITECT'S APPROVAL OF FINAL GRADES AND TOPSOIL PREP PRIOR TO SEEDING. APPLY 12-12-12 GRANULAR STARTER FERTILIZER AT A RATE OF 250 LBS PER ACRE PRIOR TO SEEDING. SEEDS SHALL BE SOWED IN 2 PERPENDICULAR PASSES, EACH PASS AT ONE-HALF THE INDICATED RATE, VIA BROADCAST SPREADER, DROP SEEDER OR DRILL SEEDER. FOLLOWING SEED APPLICATION, INSTALL TYPE 3N EROSION CONTROL BLANKET ON ALL SLOPES GREATER THAN 4:1. IN ALL OTHER AREAS, APPLY HYDROMULCH COVER (MUST BE A SEPARATE OPERATION FROM SEEDING) AT A TARGETED DRY WEIGHT RATE OF 3,000 LBS PER ACRE. SOIL SHALL BE KEPT MOIST DURING ESTABLISHMENT WITH ADDITIONAL RE-SEEDING AS NECESSARY TO ACHIEVE A HEALTHY, UNIFORM STAND OF GRASS, FREE OF WEEDS AND WITH COVERAGE EXCEEDING 75% IN ANY 10'x10' AREA PRIOR TO FINAL ACCEPTANCE.

7. SODDING. CONTRACTOR SHALL OBTAIN OWNER/LANDSCAPE ARCHITECT'S APPROVAL OF FINAL GRADES AND TOPSOIL PREP PRIOR TO SODDING. APPLY 12-12-12 GRANULAR STARTER FERTILIZER AT A RATE OF 250 LBS PER ACRE PRIOR TO SODDING AND ROLL TOPSOIL TO CREATE A UNIFORM SURFACE FOR LAYING SOD. SOD SHALL NOT BE CUT MORE THAN 24-HOURS IN ADVANCE OF INSTALLATION. CONTRACTOR SHALL KEEP SOD MOIST FOR A MINIMUM OF 30 DAYS AND SHALL BE RESPONSIBLE FOR MAINTAINING THE SOD UNTIL FINAL ACCEPTANCE.

8. PLANT MATERIAL. ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS. OWNER/LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION. NO SUBSTITUTION OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

9. PLANT MATERIAL SUBSTITUTIONS. ALL REQUESTS FOR PLANT SUBSTITUTIONS SHALL BE MADE IN WRITING TO THE OWNER/LANDSCAPE ARCHITECT AND MUST BE APPROVED BY THE CITY.

10. PLANT INSTALLATION AND ESTABLISHMENT. REFER TO STANDARD PLANTING DETAILS. CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL BY OWNER/LANDSCAPE ARCHITECT PRIOR TO PLANTING. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE.

11. MULCH MATERIAL. DOUBLE SHREDDED HARDWOOD MULCH OR ROCK MULCH AS INDICATED ON PLANS. ALL MULCH SHALL BE CLEAN AND FREE OF NOXIOUS WEEDS, SOIL OR OTHER DELETERIOUS MATERIAL AND SHALL BE INSTALLED OVER A NON-WOVEN GEOTEXTILE FABRIC (INDICATIVE) OR OTHER APPROVED WEED BARRIER TO A MINIMUM SETTLED DEPTH OF 4". MULCH SHALL BE HELD BACK FROM PLANT STEMS/TRUNKS A MINIMUM OF 3". WOOD MULCH SHALL BE PLACED AROUND INDIVIDUAL TREES TO A 4' MINIMUM DIAMETER. MULCH SHALL BE INSTALLED WITHIN 48-HOURS OF PLANT INSTALLATION.

12. LANDSCAPE EDGING. INSTALL LANDSCAPE EDGING BETWEEN ALL MULCH AREAS AND TURF. EDGING SHALL BE COMMERCIAL GRADE BLACK POLYETHYLENE OR VINYL EDGING, 0.1 INCH THICK BY 5 INCHES DEEP, V-LIPPED BOTTOM, HORIZONTALLY GROOVED, 1-INCH ROUND TOP, EXTRUDED IN STANDARD LENGTHS, WITH 8-INCH STEEL ANGLE STAKES.

13. IRRIGATION. DESIGN, FURNISH AND INSTALL A COMPLETE UNDERGROUND IRRIGATION SYSTEM FROM APPROVED POINT(S)-OF-CONNECTION WITHIN THE SITE COVERING ALL TURF AND PLANTING AREAS AS SHOWN ON THE LANDSCAPE PLAN. IRRIGATION PLANS TO BE PREPARED BY A QUALIFIED IRRIGATION DESIGNER AND SUBMITTED TO OWNER/LANDSCAPE ARCHITECT FOR APPROVAL. IRRIGATION SYSTEM SHALL BE DESIGN BUILT BY THE CONTRACTOR AND SHALL UTILIZE MATCH PRECIPITATION HEADS, HEAD TO HEAD COVERAGE AND WEATHER COMPENSATING SMART CONTROLLER.

14. MAINTENANCE. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE, INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE MOWING, TRIMMING, WATERING, FERTILIZING, WEED AND PESTICIDE CONTROL, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL RETAIN RESPONSIBILITY FOR ALL PLANT MATERIAL THROUGH THE COMPLETION OF THE WARRANTY PERIOD.

15. WATERING. UPON ESTABLISHMENT OF SEED AND INSTALLATION OF PLANTS, CONTRACTOR SHALL MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS AND TURF AREAS A MINIMUM OF ONCE A WEEK. MORE FREQUENT WATERING MAY BE REQUIRED DURING PERIODS OF HOT, DRY WEATHER. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER IN THE ABSENCE OF PERMANENT IRRIGATION. TEMPORARY IRRIGATION, TREE WATERING BAGS, OR HAND-WATERING ARE ACCEPTABLE.

16. [illegible]

17. FINAL ACCEPTANCE. UPON SUBSTANTIAL COMPLETION OF THE WORK, CONTRACTOR SHALL REQUEST FINAL ACCEPTANCE OF THE WORK IN WRITING BY THE OWNER/LANDSCAPE ARCHITECT. IF ANY WORK IS FOUND TO BE INCOMPLETE OR UNSATISFACTORY IN THE OPINION OF THE OWNER/LANDSCAPE ARCHITECT, A WRITTEN PUNCH LIST WILL BE PREPARED LISTING ALL ITEMS THAT REQUIRE COMPLETING OR CORRECTING BEFORE FINAL ACCEPTANCE.

18. WARRANTY. ALL PLANTS, MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR TWO (2) YEARS FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND MATERIAL.

KWIK TRIP

KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CARLSON ENGINEERING
3990 PHEASANT RIDGE DRIVE NE, SUITE 200, BLAINE, MN 55449
TEL 763.493.2600 * FAX 763.493.2608
CARLSON-ENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Name: Ryan J. Buttery, RLA
Signature:
Date: 01/31/25 License #: 56346

LANDSCAPE PLAN
CONVENIENCE STORE #1790
MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
1	06/16/25	Per City Comments
2	06/30/25	Per City Comments
3	07/08/25	Per City Comments
4	09/03/25	Per City Comments
5	09/19/25	San. & WM Edits
6	10/06/25	Per City Comments

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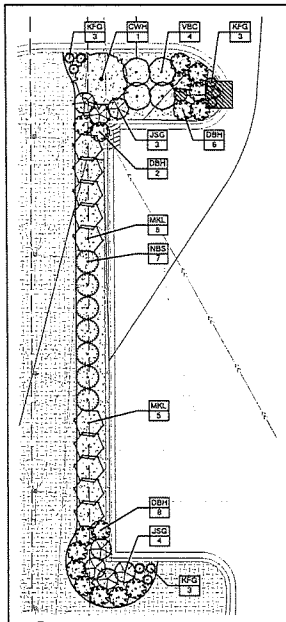
SCALE	GRAPHIC
PROJ. NO.	11281-00
DATE	2025-01-31
SHEET	C700



1 C701 LANDSCAPE PLAN ENLARGEMENT

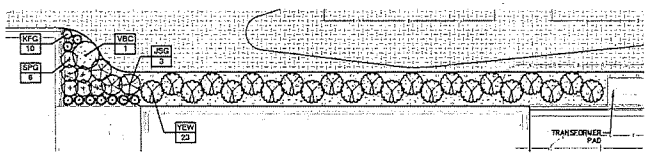
LANDSCAPE QUANTITIES

±500 LF POLY EDGING – BLACK

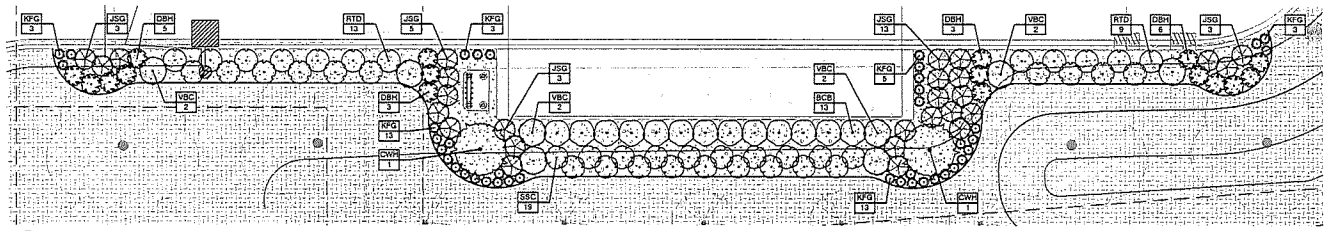
PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
TREES						
	RM	4	Acer rubrum 'Northwood'	Northwood Red Maple	2" Cal.	B&B
	FM	7	Acer x freemanii 'Sienna'	Sienna Glen Maple	2" Cal.	B&B
	RB	3	Betula nigra Clump Form, 2" Cal Equivalent	River Birch Multi-Trunk	8' HL	B&B
	WO	3	Quercus bicolor	Swamp White Oak	2" Cal.	B&B
	AE	2	Ulmus americana 'Princeton'	American Elm	2" Cal.	B&B
CONIFEROUS TREES						
	BH	3	Picea glauca densata	Black Hills Spruce	6' HL	B&B
	WP	11	Pinus strobus	White Pine	6' HL	B&B
ORNAMENTAL TREES						
	SB	9	Amelanchier x grandiflora 'Autumn Brilliance' Clump Form, 1.5" Cal Equivalent	Autumn Brilliance Serviceberry	7' HL	B&B
	CA	6	Malus x 'Prairifire'	Prairifire Crabapple	1.5" Cal.	B&B
	JL	10	Syringa reticulata 'Ivory Silk' White Flowers	Ivory Silk Japanese Tree Lilac	1.5" Cal.	B&B

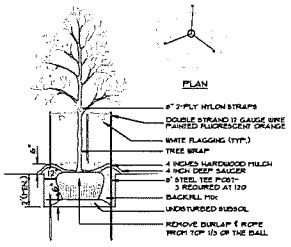
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
SHRUBS						
	BCB	13	Aronia melanocarpa 'Viking'	Viking Black Chokeberry	#5 Cont.	
	SSC	19	Clethra alnifolia 'Hummingbird'	Summersweet	#5 Cont.	
	RTD	22	Cornus sericea 'Alleman's Compact'	Dwarf Red Twig Dogwood	#5 Cont.	
	DBH	33	Diervilla lonicera	Dwarf Bush Honeysuckle	#5 Cont.	
	CWH	3	Hamamelis virginiana NATIVE	Common Witch Hazel	#5 Cont.	
	NBS	7	Physocarpus opulifolius 'Seward' TM	Summer Wine Seward Ninebark	#5 Cont.	
	SPG	6	Spiraea x bumalda 'Goldflame' Gold Foliage, Red Flowers	Goldflame Spiree	#5 Cont.	
	MKL	10	Syringa patula 'Miss Kim'	Miss Kim Lilac	#5 Cont.	
	VBC	13	Viburnum trilobum 'Bailey Compact' Red Fall Color	Bailey's Compact American Cranberry Bush	#5 Cont.	
EVERGREEN SHRUBS						
	JSG	37	Juniperus chinensis 'Sea Green'	Sea Green Juniper	#5 Cont.	
	YEW	23	Taxus x media 'Tauntonii'	Tauton Yew	#5 Cont.	
GRASSES						
	KFG	59	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#3 Cont.	
GROUND COVERS						
	ROCK	3,528 sf	Rock Mulch Non-Woven Geotextile Incidental	1.5" Trap Rock Mulch	4" Depth	
	SOD	47,295 sf	Turf Sod Bluegrass	Kentucky Bluegrass	sod	
	TI	25,257 sf	Type I - Native Seed Mix Refer to notes for acceptable seeding methods. Seeding Rate 50.0 lb/ac	MnDOT Seed Mix 35-241	seed	
	TII	3,365 sf	Type II - Stormwater Seed Mix Refer to notes for acceptable seeding methods Seeding Rate 52.0 lb/ac	MnDOT Seed Mix 33-261	seed	



2 C701 LANDSCAPE PLAN ENLARGEMENT



3 C701 LANDSCAPE PLAN ENLARGEMENT

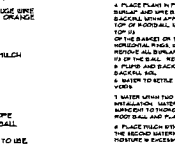


A DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

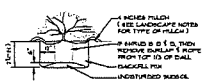
1. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING
2. TRIM OUT DEAD WOOD AND WEAK AND/OR DEFORMED TWIGS. DO NOT CUT A LEADER. DO NOT PRUNE EVEN
3. SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED BACKFILL SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 1" ABOVE THE FINISHED GRADE
4. PLACE PLANT IN PLANTING HOLE WITH BURLAP AND WIRE BASKET, IF UNCUT INTACT. BACKFILL WITH APPROXIMATELY 12" OF THE TOP OF ROOTBALL. WATER PLANT. REMOVE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS, WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM TOP 1/3 OF THE BALL. REMOVE ALL TAGS
5. FLUFF AND BACKFILL WITH BACKFILL SOIL
6. WATER TO SETTLE PLANTS AND FILL VOIDS
7. WATER WITHIN TWO HOURS OF INSTALLATION. WATERING MUST BE SUFFICIENT TO THOROUGHLY SATURATE ROOT BALL AND PLANTING HOLE
8. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS SUFFICIENT

NOTE: GUY ASSEMBLY, OPTIONAL. GUY CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR MAINTAINING TREE IN A PLUMB POSITION FOR THE DURATION OF THE GUARANTEE PERIOD

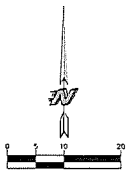
GUY ASSEMBLY: 14" POLYPROPYLENE OR POLYETHYLENE SUB FOLD (HOT MELT) STRAP (TYP.) DOUBLE STRAND 14 GA. WIRE, PVC FOLDED STEEL POINTS (INDOOR SUPP) @ 144" O.C. (SEE STAKING DIAGRAM)



B CONIFEROUS TREE PLANTING DETAIL
NOT TO SCALE



C SHRUB & CONTAINER PLANTING DETAIL
NOT TO SCALE



KWIK TRIP

KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8950

CARLSON ENGINEERING
3010 PLEASANT RIDGE DRIVE NE, SUITE 100, ALMOND, WI 54909
TEL 715.479.7900 | FAX 715.479.7919
CARLSON-ENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Name: Ryan J. Ruttger, RLA
Signature:
Date: 01/31/25 License #: 56345

LANDSCAPE PLAN
CONVENIENCE STORE #1790
MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION
1	05/16/25	Per City Comments
2	06/30/25	Per City Comments
3	07/08/25	Per City Comments
4	08/13/25	Per City Comments
5	09/10/25	San. & WM Edits
6	10/08/25	Per City Comments

DRAWN BY	RJR
SCALE	GRAPHIC
PROJ. NO.	11201-00
DATE	2025-01-31
SHEET	C701

GENERAL NOTES:

1. FOOTCANDLE LEVELS SHOWN ON THIS PLAN ARE CALCULATED AT GRADE LEVEL
2. ALL POLES SHALL BE INSTALLED A MINIMUM OF 3'-0" FROM BACK OF CURB TO EDGE OF POLE BASE UNLESS NOTED
3. POLE THAT ARE LOCATED AT CORNER OF ISLAND SHALL BE A MINIMUM OF 6'-0" FROM BACK OF CURB TO EDGE OF POLE BASE. POLES THAT MUST BE INSTALLED LESS THAN 6'-0" FROM BACK OF CURB TO EDGE OF POLE BASE SHALL HAVE PROTECTIVE BOLLARDS INSTALLED AROUND THE POLE BASE COORDINATE WITH KWIK TRIP PRIOR TO INSTALLATION

KEYED NOTES:

1. COORDINATE LOCATION AND MOUNTING HEIGHT OF SECURITY CAMERA WITH OWNER
2. CONTRACTOR SHALL POLE MOUNT FIXTURE 6'-0" FROM BACK OF CURB TO EDGE OF POLE BASE

FIXTURE QUANTITIES

D20	- 35
S7E	- 6
CF	- 20
P13	- 2
P13L	- 1
P1F	- 2
P1FL	- 3

PROVIDE (7) 10' POLES

FIXTURE SYMBOLS:

- LED LIGHT MOUNTED UNDER FUEL CANOPIES
- LED STRIP LIGHT MOUNTED IN CABLE
- RECESSED LED DOWNLIGHT
- POLE MOUNTED LED FIXTURE
- CAMERA

FIXTURE TYPES:

D20 - RECESSED LED DOWNLIGHT GOTHAM EVO-35/30-BAR-WD-120-TRW

S7E - LED STRIP LIGHT MOUNTED IN CABLE LITHONIA TZL-W4-L96-1000LU-FST-MVOLT

CF - LSI LIGHTING SCV-LED-23L-SCFT-UNV-CUM-50-WHT MOUNTED UNDER GAS CANOPY MOUNT FIXTURES WITH FORWARD THROW OPTIC AIMING IN DIRECTION OF ARROW

P13 - LSI LIGHTING MRS-LED-16L-SIL-34-UNV-50-70CRI-WHT

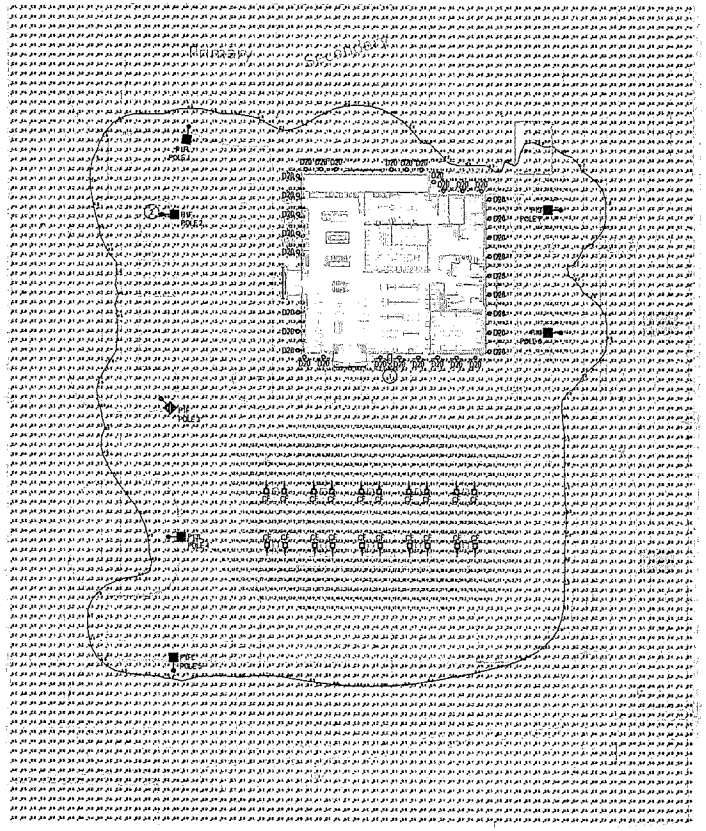
P13L - LSI LIGHTING MRS-LED-16L-SIL-34-UNV-50-70CRI-WHT-IL

P1F - LSI LIGHTING MRS-LED-16L-SIL-FT-UNV-50-70CRI-WHT

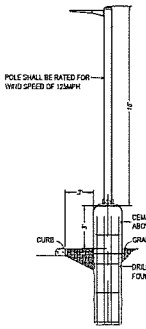
P1FL - LSI LIGHTING MRS-LED-16L-SIL-FT-UNV-50-70CRI-WHT-IL

CALCULATION STATISTICS

OVERALL SITE:
AVERAGE: 4.8
MAXIMUM: 55.2
MINIMUM: 0.0



PHOTOMETRIC SITE PLAN
SCALE 1" = 30'-0"



LOT LIGHT ELEVATION DETAIL
NOT TO SCALE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the state of Minnesota

Mark Czarnecki Reg. No. 14340
Date 07-15-24

2024-0195.47

GRAEF
273 West Wisconsin Avenue, Suite 300
Milwaukee, WI 53203
414 / 258 1500
414 / 258 0037 fax

KWIK TRIP
KWIK STAR

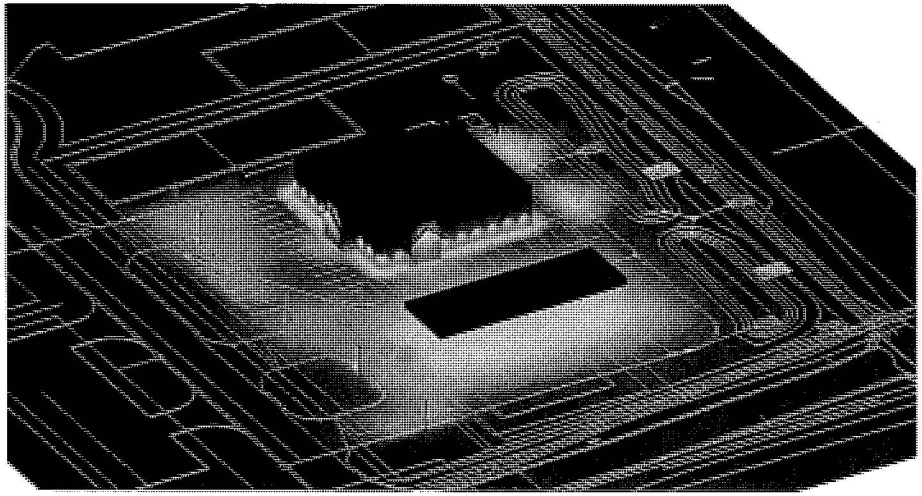
KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CARLSON McCAIN

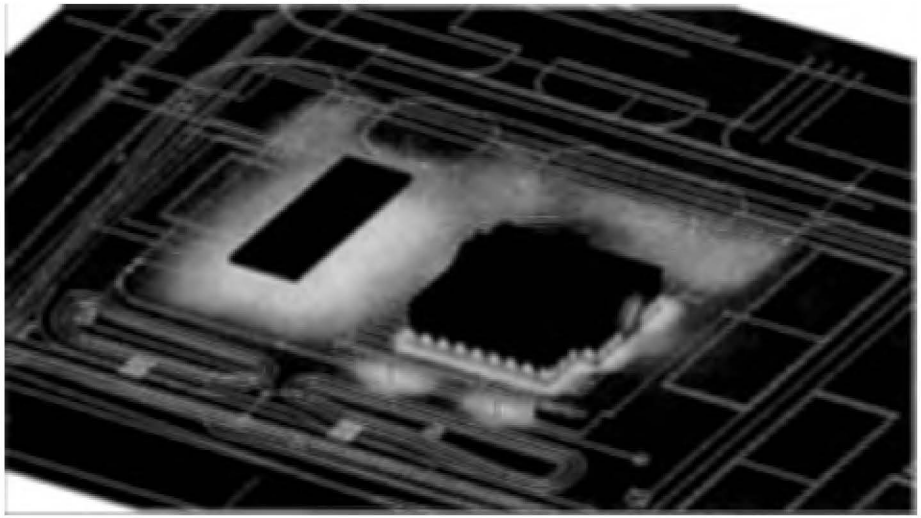
PHOTOMETRIC SITE PLAN
CONVENIENCE STORE #1790
MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION

DRAWN BY	BAB / DLC
SCALE	AS SHOWN
PROJ. NO.	11791-00
DATE	2024-07-16
SHEET	C800



PHOTOMETRIC RENDERING PLAN
NOT TO SCALE



PHOTOMETRIC RENDERING PLAN
NOT TO SCALE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the state of Minnesota

Alex Gawinski Reg. No. 54540

Date 07-12-24

2024-0195-47

GRAEF
375 West Wisconsin Avenue, Suite 300
Milwaukee, WI 53203
414 / 259 1500
414 / 259 0037 fax

KWIK TRIP
KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CARLSON McCAIN

PHOTOMETRIC RENDERING PLANS
CONVENIENCE STORE #1790
MN HIGHWAY 65 & 143RD AVENUE NE
HAM LAKE, MINNESOTA

#	DATE	DESCRIPTION

DRAWN BY	BAB / DLC
SCALE	AS SHOWN
PROJ. NO.	11201-00
DATE	2024-07-16
SHEET	C801

Excerpts from Article 11 of the Ham Lake City Code

...

11-1800 LANDSCAPING IN COMMERCIALLY ZONED AREAS
In all areas of the City zoned CD-1, CD-2, CD-3 or CD-4, the following conditions shall apply to landscaping and ground cover.

11-1810 Landscape Plan Required No building permit shall be issued for construction on a vacant lot, nor for any addition to an existing building involving the addition of 500 square feet or more of additional building space, unless the applicant shall have first submitted and obtained approval of the City Council, after review by the Planning Commission, of a landscaping plan meeting the requirements of this code.

11-1820 Installation Required No certificate of occupancy shall be issued for any construction which required a landscaping plan unless the applicant has installed all of the elements of the landscaping plan, or unless the applicant has posted security acceptable to the City to guarantee timely installation of all landscaping.

11-1830 Time for Submission The landscaping plan shall be submitted, whenever possible, at the time of site plan approval. If the landscaping plan is not submitted at the time of site plan approval, it must be separately reviewed by the Planning Commission and approved by the City Council prior to the issuance of any building permits.

11-1840 Contents and Specifications
The landscaping plan shall be a quality document prepared at a scale of one-inch equals thirty feet, showing all relevant dimensions. Fifteen copies of the plan shall be submitted by the applicant. The following data shall be displayed on the plan, legibly labeled:

A. Perimeter of all buildings, signs or other structures;
B. Parking lots and walkways, identifying pavement material;
C. Areas of decorative rock, identifying type of rock;
D. Areas of lawn;
E. Other areas where other than natural wooded vegetation is to be used as ground cover, identifying the ground cover to be used;
F. Locations, trunk size, height and species of all trees to be planted;
G. Locations where existing natural wooded vegetation will remain undisturbed;
H. All other landscaping features to be used.

11-1850 MINIMUM LANDSCAPING REQUIREMENTS

11-1851 Paved Surfaces All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall be surfaced with asphalt or concrete, to specifications established by the City's engineer.

11-1852 Ground Cover On any side of a lot which abuts a public road, the area from the road right-of-way to the nearest building side shall be entirely covered with ground cover consisting of pavement, decorative rock bordered with edging, lawn grass intended for regular mowing, mulch, bark, wood chips or other commonly used landscaping ground cover. Shingles, aggregate and clay mixtures such as Class V material, recycled concrete or asphalt, and other non-conventional ground covers shall not be permitted. Loose ground cover shall be installed to a depth of at least three inches. Any area which is covered by landscaping ground cover (not lawn or pavement) shall also include one decorative shrub for each ten square feet of ground cover.

Side yards and rear yards which do not contain existing natural wooded vegetation shall either be covered with ground cover in the manner stated above for front yards, or shall be planted so as to encourage the emergence of natural wooded vegetation, through the planting of tree species expected to reach a height of at least twenty five feet. Areas so prepared shall not be required to have mown lawn areas, but may be allowed to return to a natural state.

11-1853 Tree Plantings Trees which are planted outside of areas intended to return to a natural wooded state shall be of a variety indigenous to the local climate. Deciduous trees shall, when planted, have a trunk size of at least one and one half inches at a height of four feet from ground level. Conifers shall have a height of at least five feet. Tree locations are subject to review and approval of the City in the landscaping plan review process, and while no specific number of trees are required, the following general principles shall be observed;

A. Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years;

B. Decorative trees shall be planted along the right of way lines of adjacent public roadways;

B. The use of conifers shall be encouraged and preferred.

C. Whenever possible, an attempt will be made to preserve stands of existing vegetation, particularly treed or wooded areas.

11-1860 Case by Case Evaluation

Recognizing that the City contains a wide variety of commercial land, the landscape approval process shall be on a case by case basis. Where wetlands are present, or where large distances separate a commercial lot from adjacent lands, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial

relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.

COON CREEK
WATERSHED DISTRICT

NOTICE OF PERMIT APPLICATION STATUS

Project:	Kwik Trip 1790 - Ham Lake
Date:	July 29, 2025
Applicant:	Kwik Trip, Inc. Attn: Nathan Byom 1626 Oak Street LaCrosse, WI 54602
Permit Application#:	P-25-019
Purpose:	construction of a convenience store and associated stormwater treatment features
Location:	Kwik Trip 1790 - Ham Lake, Parcel 3 - Elwell Commercial Park, Ham Lake

At their meeting on 07/28/2025 the Board of Managers of the Coon Creek Watershed District **Approved with Conditions** the above referenced project with 3 conditions and 4 stipulations. **This is NOT a permit.**

Prior to permit issuance, the following conditions must be fulfilled. Please respond to each of these items in writing when resubmitting application materials to the District.

Conditions:

1. Submittal of a performance escrow in the amount of $3,395.00.
2. Provide MnDOT approval for discharge into ditch.
3. Provide proof of recording of a fully executed Operations and Maintenance Agreement for the perpetual inspection and maintenance of all proposed stormwater management practices after review and approval by the District.

After issuance, the permit will include the following stipulations that need to be fulfilled before permit closeout:

Stipulations:

1. The applicant must apply for coverage under the Minnesota Pollution Control Agency's (MPCA's) Construction Stormwater Permit (Permit No: MNR100001).
2. Submittal of as-builts for the stormwater management practices and associated structures listed in Tables 2 and 3 of the Application Review Report dated 7/23/2025, including volume, critical elevations and proof of installation for hydrodynamic separators.
3. Completion of a post construction infiltration test on the Filtration Basin by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
4. If dewatering is required, provide DNR dewatering permit prior to construction. If

a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rules. If you have any questions, please call 763-755-0975.

Sincerely,

Erin Margl

Erin Margl
Watershed Development Coordinator

cc: File P-25-019
Eileen Weigel, Stantec
Dave Krugler, City of Ham Lake
Jennifer Bohr, City of Ham Lake